

PLANNING COMMISSION AGENDA

Meetings: Third Tuesday - 7:00 p.m.

Tuesday, March 15, 2022

City Council Chambers ♦ Second Floor ♦ 112 West Cass Street ♦ Albion, MI 49224

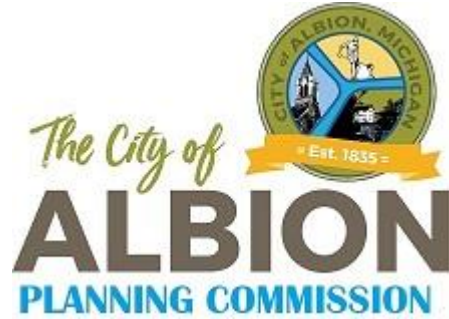
Page

- I. CALL TO ORDER (REMINDER: TURN OFF CELL PHONES)
- II. ROLL CALL OF THE COMMISSION
 - A PUBLIC HEARING - SPECIAL USE PERMIT APPLICATION FOR A MANUFACTURED HOUSING COMMUNITY AT 500 BEMER STREET ALBION, MI 49224
 - B PUBLIC HEARING - AN ORDINANCE TO AMEND CHAPTER 100, TO AMEND ARTICLE II, BY AMENDING SECTION 2.2, DEFINITIONS, AND TO AMEND ARTICLE VII, TO AMEND SECTION 7.24A, MEDICAL MARIHUANA FACILITIES OVERLAY DISTRICTS, AND TO AMEND SECTION 7.24B, ADULT USE MARIHUANA ESTABLISHMENTS OVERLAY DISTRICTS
- III. APPROVAL OF PRIOR MEETING MINUTES
 - A MINUTES
[PLANNING COMMISSION - 15 Feb 2022 - Minutes - Pdf](#)
- IV. CORRESPONDENCE
- V. ORDER OF BUSINESS
 - A DISCUSSION/APPROVAL - SPECIAL USE PERMIT APPLICATION - 500 BEMER STREET - DONALD WESTPHAL
[Output Document \(AIR-22-415\) - Pdf](#)
[amenity areas](#)
[Community center front elevation](#)
[WILDFLOWER CROSSING floor plan](#)
 - B DISCUSSION/APPROVAL - OVERLAY DISTRICT
[Overlay District Map for Planning Commission 10-12-21](#)
[Overlay District Map](#)
[Affidavit of Mail - Marihuana Overlay District Expansion Public Hearing 2-28-22](#)
 - C DISCUSSION/APPROVAL - APPLICATION FOR SITE PLAN REVIEW - 923 BURSTEIN DRIVE - ANA DREAM LLC
[Output Document \(AIR-22-412\) - Pdf](#)

- 117 - 151
- D. APPROVAL OF MEDICAL MARIHUANA LICENSE #12/G17 APPLICATION FOR ANA DREAM LLC - TRANSFERRED FROM COMCO LLC
 - E DISCUSSION/APPROVAL - SITE PLAN REVIEW - 1007 INDUSTRIAL DRIVE
[1007 Industrial - Site Plan Review Application - 1-7-22](#)
[1007 Industrial - Site Plan Review Application - Planning and Building Recommendation 2-17-22](#)
 - F UPDATE/DISCUSSION - COMPREHENSIVE PLAN
 - G EXCUSE ABSENT BOARD MEMBER
- VI. ADJOURNMENT
- VII. PUBLIC COMMENTS

PLANNING COMMISSION PUBLIC HEARING PROCESS

- 1) THE PLANNING COMMISSION CHAIR OPENS THE HEARING
- 2) CHAIR SUMMARIZED THE PROCESS
- 3) STAFF PRESENTS REPORT ON APPLICANT'S REQUEST
- 4) CHAIR READS ANY CORRESPONDENCE INTO THE RECORD
- 5) PUBLIC SPEAKING PORTION OF HEARING
 - INDIVIDUALS IN SUPPORT
 - OPPOSITION SPEAKERS
 - QUESTIONS & REBUTTAL (DIRECTED THROUGH THE CHAIR)
 - PUBLIC SPEAKING PORTION OF HEARING CLOSED
- 6) FINDING OF FACTS
- 7) BOARD BEGINS DELIBERATIONS



MINUTES
PLANNING COMMISSION
Tuesday, February 15, 2022 @ 7:00 PM
City Council Chambers

I CALL TO ORDER (Reminder: turn off cell phones)

Chair George Strander called the meeting to order at 7:00PM

II ROLL CALL of the Commission

PRESENT: Victoria Snyder, George Strander, Tom Pitt, Scott Kipp,
Mark Lelle, Lenn Reid, Albert Amos, Sharon Ponds, Joseph Verbeke
ABSENT: None
CITY STAFF PRESENT: Ian Arnold-Planning/Zoning Director, Haley
Snyder-City Manager, Pamela Beck-Deputy Clerk/Deputy Treasurer

Sufficient representation to establish quorum-so declared. .

III APPROVAL OF Prior Meeting MINUTES

MINUTES

To approve January 19, 2022 minutes as presented.
Moved by Mark Lelle. Second by Albert Amos. Carried

IV CORRESPONDENCE-NONE

V Order of Business

A -UPDATE/DISCUSSION OF COMPREHENSIVE PLAN

Director Ian Arnold announced the Public Meeting to be held February
16, 2022 at 7:00PM in the Ludington Center. In response to question of

notice for the meeting; the meeting was as a FB event, posted on the City's Facebook, and on the City's website. Commissioners were to share the event along with others as word of mouth.

Upcoming March 15th meeting will be a full agenda as many action items have recently surfaced.

B-EXCUSE ABSENT BOARD MEMBER

All Present

VI PUBLIC COMMENTS - NONE

VII ADJOURNMENT

Moved by Mark Lelle. Second by Tom Pitt.
Adjourned at 7:07PM

PLANNING COMMISSION PUBLIC HEARING PROCESS

- 1) THE PLANNING COMMISSION CHAIR OPENS THE HEARING
- 2) CHAIR SUMMARIZED THE PROCESS
- 3) STAFF PRESENTS REPORT ON APPLICANT'S REQUEST
- 4) CHAIR READS ANY CORRESPONDENCE INTO THE RECORD
- 5) PUBLIC SPEAKING PORTION OF HEARING
 - INDIVIDUALS IN SUPPORT
 - OPPOSITION SPEAKERS
 - QUESTIONS & REBUTTAL (DIRECTED THROUGH THE CHAIR)
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- 6) FINDING OF FACTS
- 7) BOARD BEGINS DELIBERATIONS

Pamela Beck, Deputy
Clerk/Deputy Treasurer

PLANNING COMMISSION AGENDA ITEM REPORT



To: Planning Commission
Subject: DISCUSSION/APPROVAL - SPECIAL USE PERMIT APPLICATION - 500 BEMER STREET - DONALD WESTPHAL
Meeting: PLANNING COMMISSION - 15 Mar 2022
Department: Planning & Building Department
Staff Contact: Ian Arnold, Director Building & Planning

RECOMMENDATION:

Conditional Approval

ATTACHMENTS:

[500 Bemer - Special Use Permit Application - Planning and Building Recommendation 2-17-22](#)

[500 Bemer Street - Special Use Permit Application 2-25-22](#)

[Planning Questions DPW 500 Bemer Street 2-28-22](#)

[Briefing Memo - Planning Commission 03152022](#)

City of Albion

Department of Planning and Building
112 West Cass Street
Albion, Michigan 49224

Phone: (517)-629-7189
Email: larnold@cityofalbionmi.gov



Report to Planning Commission – February 25, 2022 500 Bemer Street, Application for Special Use Permit

Background:

Herein is the Department of Planning and Building's recommendation on the Special Use permit application submitted for a manufactured housing community to be constructed at 500 Bemer Street by Donald Westphal and Westunn Communities. This use is a special use, permitted with Planning Commission approval. Your approval will follow the standards for approval outlined in section five, six, and seven as they relate to this Special Use application. The proposed manufactured housing community is on a lot which is conforming to lot standards, and the structures planned therein conform to setback requirements.

I have met with Mr. Westphal or his team twice prior to their submittal of this application and site plan. Once in receipt of his application, I worked with Deputy Clerk Pamela Beck to distribute appropriate notice required for a Public Hearing. After my own review of Mr. Westphal's application and site plan, I distributed the same to the City Engineer, the City Building Official, the Director of Public Works, and the Director of Public Safety. Their comments returned to me have either been included in your packet, brought by me today, or can be delivered by them at this meeting.

In my review of the Site Plan, I found a few deficiencies to the list of site plan data required in Section 5.3 A of the Zoning Ordinance. The ordinance permits me to withhold a Site Plan from Planning Commission review if I feel their application is incomplete. Due to the number of deficiencies in this application, and the nature of them, I did not feel it was necessary to withhold their review. When there are deficiencies that are not too great or unreasonable, the ordinance allows me to request corrections/additions in writing to the applicant so that they can provide clarity or documentation to satisfy those deficiencies. Provided they return to me these updates prior to this meeting, their application will be valid for your consideration.

Recommendation:

City Staff and Contractors have returned comments, and I have requested clarification of application materials. Provided that the requested application materials are produced, and staff questions answered, I would be pleased to see this development begin. I am recommending conditional approval, contingent upon the satisfaction of outstanding materials, and questions raised by the parties solicited for comment.

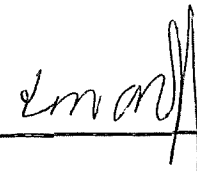
CITY OF ALBION—ZONING SERVICE INVOICE

For Office Use Only:

2022-15

Property Address: <u>500 Beme St.</u>	Property Owner: <u>Westman Communities LLC</u>
Parcel Number: <u>51-017-201-03</u>	Applicant: <u>Donald Westman</u>

Zoning Permits	Fee	Due	Fee	Due
Single Family Residential Uses:			Site Plan Review:	
New Home	\$45	_____	Subdivision/Site Condo/PUD Review	
Addition/Alteration	\$15	_____	Base Fee	\$350
Accessory Structure	\$45	_____	Plus Consultant Charges	_____
Change in Use	\$45	_____	Other Uses	
Signs/Billboards	\$45	_____	Base Fee	\$275
Fences/Screening	\$45	_____	Plus Consultant Charges	_____
Home Occupation	\$45	_____	Zoning Board of Appeals/Sign Appeals Board:	
Other	\$45	_____	Variance Application (Including Zoning Permit Fee):	
Multiple Family Uses:			Single Family Uses	\$250
New Construction	\$45	_____	Other Uses	\$250
Addition/Alteration	\$45	_____	Building Board of Appeals:	
Accessory Structure	\$45	_____	Outdoor or Sidewalk Café Appeal	
Repair/Replace	\$45	_____		\$100
Change in Use	\$45	X	Residential	\$100
Signs/Billboards	\$45	_____	Commercial	\$100
Fences/Screening	\$45	_____	Land Division/Combination	
Home Occupation	\$45	_____	Per Lot	\$55
Other	\$45	_____	Meet & Bounds Description	\$90
Commercial and Industrial Uses:			Lot Line Adjustment	\$55
New Construction	\$45	_____	Other Fees	
Addition/Alteration	\$45	_____	Special Fee	\$45
Accessory Structure	\$45	_____	Re-Inspection Fee	\$45
Repair/Replace	\$45	_____	Publications, Maps, Copies:	
Change in Use	\$45	X	Zoning Ordinance	
Signs/Billboards	\$45	_____	(Map Included)	\$50
Fences/Screening	\$45	_____	Zoning District Maps	
Home Occupation	\$45	_____	11 1/2" x 17"	\$25
Other	\$45	_____	30" x 42"	\$50
Special Use Permits:			Other Blueprints (per page)	\$50
Single Family	\$250	_____	Other GIS Maps (per page)	\$50
Other Uses	\$250	X	Data Copies/Zoning Reports	
Plus Consultant Charges		_____	(\$3/1st.25 e. add. pg.)	\$3.+
Rezoning Applications:			Grand Total	
Rezoning Application	\$375	_____	<u>\$295.00</u>	
Text Amendment	\$275	_____		

Fee Total Approved By: 

Date: 2/16/22

CITY OF ALBION
Date 02/16/2022 1:41:28 PM
Ref ZONING PERMITS
Receipt 40176020
Amount \$295.00

Ian,

I am sending today the needed application for Wildflower Crossing site plan approval. My transmission includes the following:

2 copies of the application for special land use approval and zoning approval.

2 copies of the addendum to the special land use approval.

2 copies of the State permit to construct.

12 copies of the landscape buffer plan

Check in the amount of \$295.00 (special use permit:\$250.00 ,Zoning permit:\$45.00)

12 copies of the plans are being forwarded to you by Robb Lamer.

Please let me know that you have received the materials and scheduled our item on the agenda for the March 15 planning commission meeting.



Donald Westphal

3478 PearTree Court

Oakland, Michigan 48363

Donaldcwestphal40@gmail.com

248-379-8200

Application Instructions: Complete all sections of this form. Type or use black ink. No application will be considered submitted or processed by the Planning Department until a complete application and all required documents are received.

Required Documents:

- Twelve sets of plans, drawn to scale in black line or blueprint, showing the:
 - ◆ shape and dimensions of the lot to be built upon or to be changed in its use,
 - ◆ exact location, size, and height of all buildings or structures (including fences) on the lot,
 - ◆ location of sidewalks, public streets, and curb cuts,
 - ◆ location and dimensions of improved driveways and parking areas.
- Proof of payment for zoning permit application fee.

Fee: \$250.00

Additional Instructions: The applicant, or a representative with a letter of authority or power of attorney for the applicant, must be present at a meeting of the Albion Planning Commission and at a public hearing concerning this application.

1. Property Information:

Street Address: <i>Use Complete Street Address, e.g. 101 North Main Street</i> 27 MILE ROAD & 500 BEMER ST.		Parcel Number 51-017-201-03
Zoning District R-2	Parcel Type: <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Commercial	<input type="checkbox"/> Industrial <input type="checkbox"/> Other (describe)

2. Owner Information:

Name: <i>Include Contact Person If Applicable</i> WESTONN COMMUNITIES		Phone 248-379-8200
Street Address: <i>Use Complete Street Address, e.g. 101 North Main Street</i> 34026 ANNA'S WAY SUITE 1	City, State Zip Code: LONGNECK DE 19966	

3. Applicant Information:

Name: <i>Include Contact Person If Applicable</i> DONALD C. WESTPHAL		Phone 248-379-8200
Street Address: <i>Use Complete Street Address, e.g. 101 North Main Street</i> 3478 PEARTREE COURT SUITE 1	City, State Zip Code: OAKLAND, MI. 48363	

4. PROPOSED USE OF SITE: *SEE ATTACHED*

Use space below or attach additional pages describing the present and proposed uses of the property for which a new zoning classification is requested. Explain reasons why the applicant believes a Special Use Permit should be granted.

5. Certification

I hereby certify that I am the owner of record of the named property, or that the special use permit is requested by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, I agree to allow members of the Albion Planning Commission and Planning Department staff to inspect the site as a part of the consideration of this request. I hereby affirm that if this special use permit is granted, I will comply with all general and specific special-use conditions required by the Planning Commission under the zoning ordinances. However, I retain the right to decline the special use permit if I find those conditions unacceptable. Finally, should a special use permit be granted, I shall apply for and receive all applicable permits before beginning any construction.

Signature of Applicant: <i>Donald C Westphal</i>	Phone <i>248-379-8200</i>	Date <i>02/10/22</i>
Street Address: Use Complete Street Address, e.g. 101 North Main Street <i>3478 PEAR TREE COURT</i>		City, State, Zip Code <i>OAKLAND, MI 48363</i>

For Planning Department Use Only

6. Evaluation and Determination

Application Received: <u><i>2/14/2022</i></u>	Initials: <u><i>JA</i></u>
Application Completed: <u><i>2/14/2022</i></u>	Initials: <u><i>JA</i></u>
Fee Paid: \$ <u><i>250</i></u> <u><i>2/16/2022</i></u>	Initials: <u><i>JA</i></u>
Public Notice In Newspaper: <u><i>2/24/2022</i></u>	Initials: <u><i>JA</i></u>
Letter to Nearby Properties: <u><i>2/25/2022</i></u>	Initials: <u><i>JA</i></u>
Public Hearing Date: <u><i>3/15/2022</i></u>	Initials: <u><i>JA</i></u>
Planning Commission Action: Granted/Denied <u> </u> / <u> </u> / <u> </u>	Initials: <u> </u>
Applicant Notified of Planning Commission Action: <u> </u> / <u> </u> / <u> </u>	Initials: <u> </u>

Notes:

Attachment to special use Permit for
Wildflower Crossing manufactured Home Community expansion
February 10, 2022

#4. Proposed use of the property:

Proposed is the site plan for the manufactured Home Community. The Completed portion of the community is filling at a good rate and the expansion proposed has obtained a State of Michigan Mobile Home Park permit to construct. A copy of this permit is attached to this submission. The proposed expansion is planned to the same standard as the existing community.

Ch. 100, 7.20

The Albion Ordinance ^{*}#7 References the requirements of the Mobile Home Commission Rules. These plans have been approved per the Attached permit to construct and as such meet the requirements of the Albion ordinance in:

4-F, 7-C, D-4, E-10, F-4,8,9,11, and 12

G: there are no site-built buildings proposed at this time

Attached is a landscape buffer plan as required in section D-1&2



CITY OF ALBION—APPLICATION FOR ZONING PERMIT

City of Albion Planning Department (517) 629-7189

SAFEbuilt (269) 729-9244

**ALBION ZONING ORDINANCE
ARTICLE II. ADMINISTRATION AND ENFORCEMENT**

Section 30-23. Zoning Permit

(a) No land shall be used or occupied and no structure shall be designed, erected, altered or used hereafter until a zoning permit shall have been issued by the zoning inspector. It shall be the duty of the zoning inspector to issue a zoning permit, provided he is satisfied that the building, structure or premises, and the proposed use thereof, conform with all the requirements of this chapter. A zoning permit issued by the zoning inspector shall be required prior to the issuance of any building permit.

Application Instructions: Complete all applicable sections of this form. Type or use black ink. No application will be considered submitted or processed by the Planning Department until a completed application and all required documents are received.

Required Documents:

- Plot Plan or Site Plan as required (see handout materials)
- Proof of ownership
- Proof of payment for zoning permit application fee (see fee schedule invoice)

Residential and Commercial Application for Zoning Fee: \$45.00

1. Property Information:

Property Zoned: **R-2**

FOR OFFICE USE ONLY	
Permit #	2022-16
Stamp here for "Date Received"	2/14/22
Received by	JA
Deposit to Account #101-400-483.00	
Stamp here for "Paid"	ICU 2/16/22
Amount	\$45.00
Stamp here for "Approved/Deny"	
Date	

Street Address: <i>Use Complete Street Address, e.g. 101 North Main Street</i>	Parcel Number
27 MILE ROAD - ALBION	51-017-201-03
Use Classification:	
<input checked="" type="checkbox"/> Residential	<input type="checkbox"/> Commercial
<input type="checkbox"/> New Construction	<input type="checkbox"/> Existing Construction
	<input type="checkbox"/> Industrial

2. Owner Information:

Name: <i>Include Contact Person If Applicable</i>	Phone
WESTONN COMMUNITIES	248-379-8200
Street Address:	City, State Zip Code:
34026 ANNA'S WAY SUITE 1	LONGNECK, DE 19966

3. Applicant Information:

Name: <i>Include Contact Person If Applicable</i>	Phone
DONALD C. WESTPHAL	248-379-8200
Street Address:	City, State Zip Code:
3478 PEAR TREE COURT	OAKLAND, MI. 48363
Federal Employee ID Number/Social Security Number	Workers Compensation Insurance Carrier

4. Plan Review Requirements

PLEASE ATTACH ADDITIONAL SHEETS TO ILLUSTRATE THE WORK BEING DONE. It is highly recommended that you show all public streets, sidewalks, and utilities that are near or will be affected by your project. For projects close to property lines, include any structures that may neighbor the property where the alteration will take place

5. Project Information: (Plot Plan is not required for projects that are only repair/replace.)

Estimated Start Date: <i>06/22</i>	Estimated Finish Date: <i>07/23</i>	Project Cost/Bid Price:																		
<p>Application Request: <i>Check all that apply.</i></p> <table style="width:100%; border:none;"> <tr> <td><input checked="" type="checkbox"/> New Construction</td> <td><input type="checkbox"/> Relocation</td> <td><input type="checkbox"/> Home Occupation</td> </tr> <tr> <td><input type="checkbox"/> Addition</td> <td><input type="checkbox"/> Land Division</td> <td><input type="checkbox"/> Accessory Structure</td> </tr> <tr> <td><input type="checkbox"/> Foundation Only</td> <td><input type="checkbox"/> Variances</td> <td><input type="checkbox"/> Alteration</td> </tr> <tr> <td><input type="checkbox"/> Extraction/Fill/Grade</td> <td><input type="checkbox"/> Planned Unit Development</td> <td><input type="checkbox"/> Repair/Replace</td> </tr> <tr> <td><input type="checkbox"/> Fence(s)/Screening</td> <td><input type="checkbox"/> Change in Use</td> <td><input type="checkbox"/> Demolition</td> </tr> <tr> <td><input type="checkbox"/> Sign(s)/Billboard(s)</td> <td><input type="checkbox"/> Telecommunications</td> <td><input type="checkbox"/> Other</td> </tr> </table> <p>* Note, Describe Application Activity: <i>CONSTRUCT 229 NEW MANUFACTURED HOMESITES; EXPANSION OF EXISTING WILDFLOWER MANUFACTURED HOME COMMUNITY</i></p>			<input checked="" type="checkbox"/> New Construction	<input type="checkbox"/> Relocation	<input type="checkbox"/> Home Occupation	<input type="checkbox"/> Addition	<input type="checkbox"/> Land Division	<input type="checkbox"/> Accessory Structure	<input type="checkbox"/> Foundation Only	<input type="checkbox"/> Variances	<input type="checkbox"/> Alteration	<input type="checkbox"/> Extraction/Fill/Grade	<input type="checkbox"/> Planned Unit Development	<input type="checkbox"/> Repair/Replace	<input type="checkbox"/> Fence(s)/Screening	<input type="checkbox"/> Change in Use	<input type="checkbox"/> Demolition	<input type="checkbox"/> Sign(s)/Billboard(s)	<input type="checkbox"/> Telecommunications	<input type="checkbox"/> Other
<input checked="" type="checkbox"/> New Construction	<input type="checkbox"/> Relocation	<input type="checkbox"/> Home Occupation																		
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<input type="checkbox"/> Foundation Only	<input type="checkbox"/> Variances	<input type="checkbox"/> Alteration																		
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<input type="checkbox"/> Fence(s)/Screening	<input type="checkbox"/> Change in Use	<input type="checkbox"/> Demolition																		
<input type="checkbox"/> Sign(s)/Billboard(s)	<input type="checkbox"/> Telecommunications	<input type="checkbox"/> Other																		
<p>Structure Frame: <i>Check all that apply</i></p> <input type="checkbox"/> Steel <input type="checkbox"/> Concrete <input type="checkbox"/> Masonry <input type="checkbox"/> Wood <input type="checkbox"/> Other		<p>Exterior Wall: <i>Check all that apply</i></p> <input type="checkbox"/> Steel <input type="checkbox"/> Concrete <input type="checkbox"/> Masonry <input type="checkbox"/> Wood <input type="checkbox"/> Other																		
Are there any structural assemblies that are being fabricated off site?		<input type="checkbox"/> YES <input type="checkbox"/> NO																		
Will there be heating, air conditioning, or ducting installed as a part of this project?		<input type="checkbox"/> YES <input type="checkbox"/> NO																		
Will this project include new or upgraded attachments to water or sewer facilities?		<input type="checkbox"/> YES <input type="checkbox"/> NO																		
Will this project include the installation of new electrical circuits or fixtures?		<input type="checkbox"/> YES <input type="checkbox"/> NO																		
Will this project change the footprint of the existing structure(s)?		<input type="checkbox"/> YES <input type="checkbox"/> NO																		
Manufactured/ Modular – Serial Number:																				

6. Site Plan Projects [As Required in Section 30-422 (1) (2)]

All Projects Regulated By Section (30-421)		
<input type="checkbox"/> Multi-Family	<input checked="" type="checkbox"/> Mobile Home District	<input checked="" type="checkbox"/> Special Use Permits
<input type="checkbox"/> Commercial/Business	<input type="checkbox"/> Plats	<input type="checkbox"/> Planned Unit Development
<input type="checkbox"/> Industrial	<input type="checkbox"/> Condominium	<input type="checkbox"/> Other _____

7. Declarations and Certification

Applicants who wish to appeal the decision of the Zoning Administrator must do so in writing to the Planning Department within 10 days of receiving notification that the Zoning Permit has been denied. The Zoning Board of Appeals typically meets on the second Wednesday of each month and will seek to deal with all appeals in a timely fashion.

Remember to contact SAFEbuilt at (269) 729-9244 to see what building permits will be required for the project. SAFEbuilt will not issue an occupancy permit until all ZONING and BUILDING permits have been completed and approved by the appropriate authorities.

*I hereby certify that I am the **owner** of record of the named property and that I have authorized the proposed work. I further agree to conform to all applicable laws of this jurisdiction. If a permit for work described in this application is issued, I certify that the code official or the code official's authorized representative shall have the authority to enter areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit.*

Signature of Owner: <i>Ronald C. Wentzel</i>	Phone <i>248 379-8200</i>	Date <i>02/10/22</i>
Street Address: <i>3478 PEAR TREE COURT</i>	City, State, Zip Code <i>OAKLAND, MI 48363</i>	

I hereby certify that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the code official or the code official's authorized representative shall have the authority to enter areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit.

Signature of Applicant: <i>Ronald C. Wentzel</i>	Phone <i>248-379-8200</i>	Date <i>02/14/22</i>
Street Address: <i>3478 PEARTREE COURT</i>	City, State, Zip Code <i>OAKLAND, MI 48363</i>	

PLANS APPROVAL & PERMIT TO CONSTRUCT

Michigan Department of Licensing and Regulatory Affairs
Bureau of Construction Codes
Plan Review Division
P.O. Box 30254
Lansing, MI 48909
Authority: 1987 P.A. 96

ISSUE DATE: 12/17/2021

EXPIRATION DATE: 12/17/2026

COMMUNITY NAME: WILDFLOWER CROSSING

CITY/TOWNSHIP: ALBION

COUNTY: CALHOUN

PERMIT NO: PR2020MHP-000008

PERMIT TYPE: Expansion

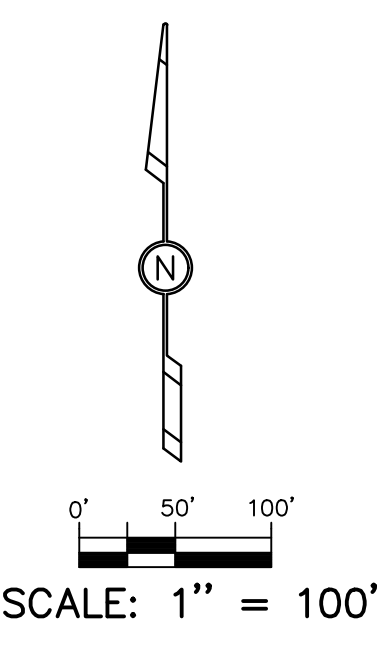
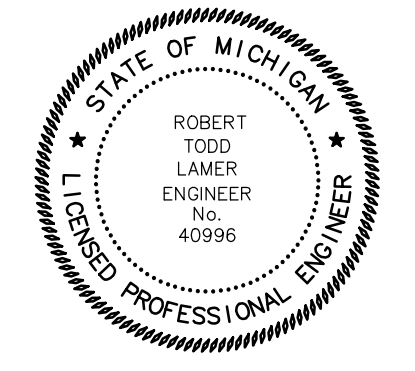
NO. OF SITES: 229

SITE SEQUENCE: 37-94, 149-245, 268-341

27 MILE RD
ALBION, MI 49224


THE APPROVED CONSTRUCTION DOCUMENTS, CHANGES AND VARIANCES FOR THIS PROJECT MUST BE AVAILABLE AT THE SITE OF WORK AND SHALL BE OPEN TO INSPECTION BY THE DEPARTMENT OR ITS AUTHORIZED REPRESENTATIVE. THIS APPROVAL AND PERMIT IS FOR THE DESIGN AND LICENSING PURPOSES ONLY. CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH THE APPLICABLE CODES AND BE APPROVED BY THE AUTHORITY HAVING JURISDICTION.

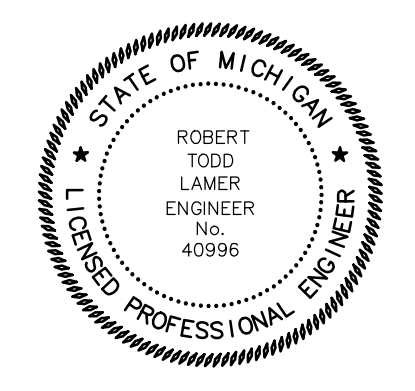
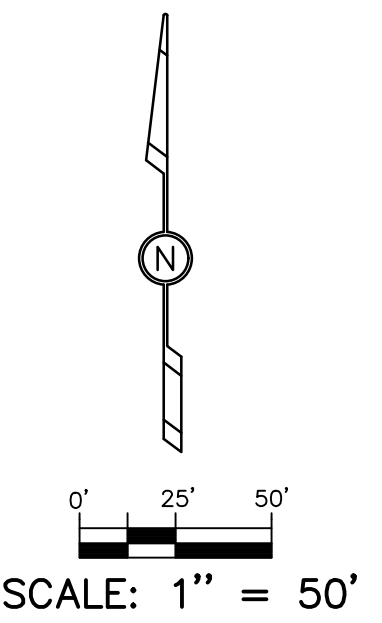
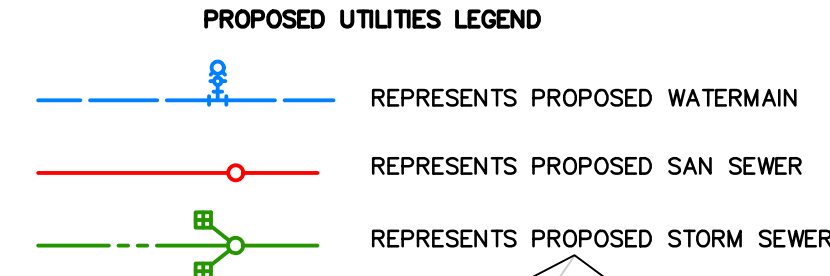
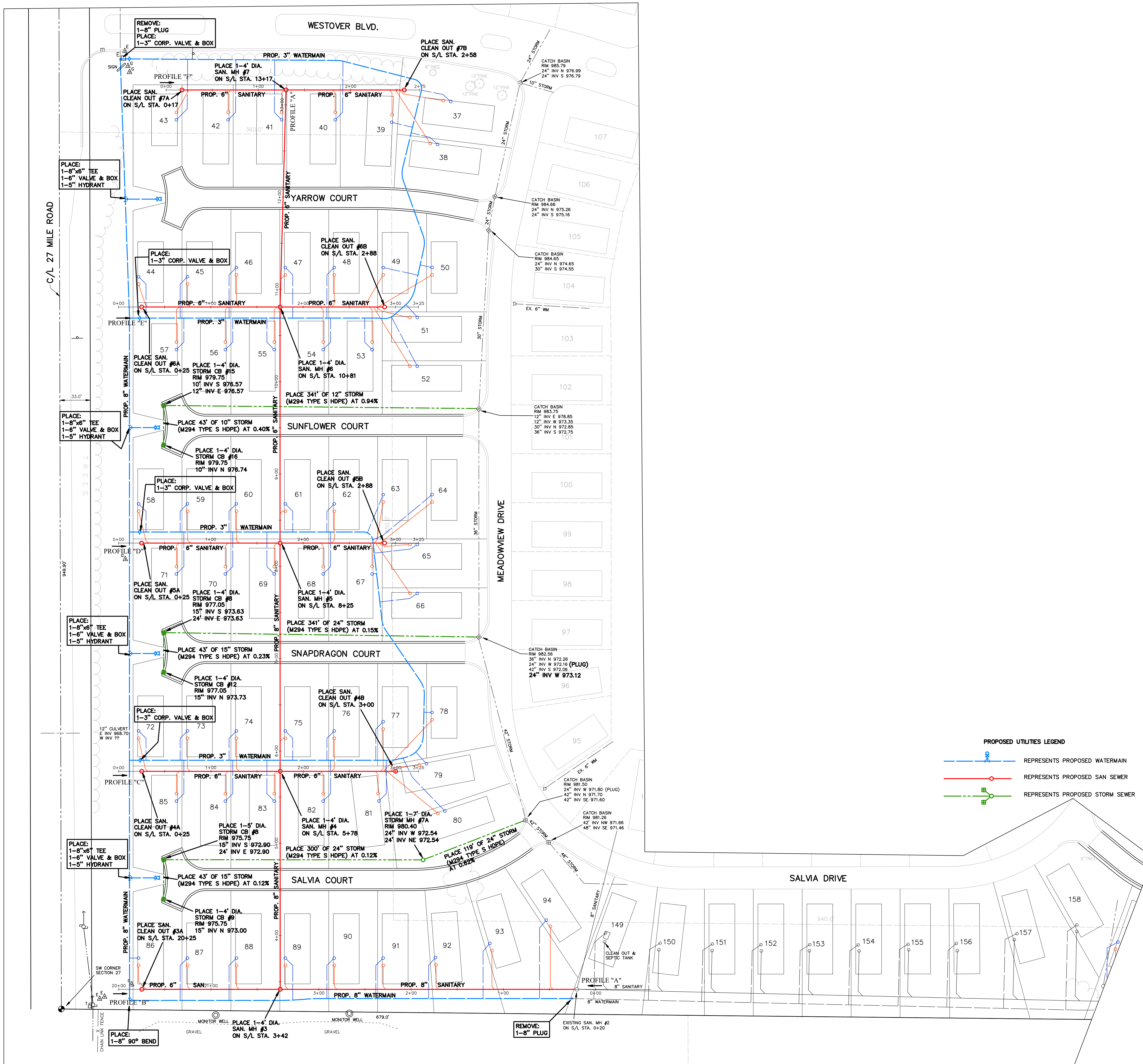
You are required to contact the Licensing Division at (517) 241-9316 or LARA-BCC-Licensing@michigan.gov



- LEGEND**
- ⊕ = UTILITY POLE & GUY WIRE
 - ⊙ = SIGN
 - ⊞ = CATCH BASIN
 - ☐ = TELEPHONE BOX
 - ⊙ = BURIED GAS LINE MARKER
 - ⊕ = BURIED ELECTRIC MARKER
 - = FENCE LINE
 - = OVERHEAD WIRES

COVER SHEET
RE: WESTOVER PHASE 2
 FOR: WESTPHAL ASSOCIATES
 ATTN: DONALD WESTPHAL
 71 N. LIVERNOIS, SUITE A
 ROCHESTER, MI 48307
 PART OF SECTIONS 27 & 34, T2S, R4W, SHERIDAN TOWNSHIP, CALHOUN COUNTY, MICHIGAN

10/28/21	REV. PER EGLE COMMENTS	JUB	DRAWN BY: JDR	PROJ. ENG.: RTL	 <p>planners • engineers • surveyors 5252 Clyde Park, S.W. • Grand Rapids, MI 49509 Phone: (616) 531-3660 www.exxelengineering.com</p>	SHEET 1 of 12
8/24/2021	REV. PER EGLE COMMENTS	JUB	APPROVED BY: VAD	PROJ. SURV.: VAD		
DATE	REVISION	BY	FILE NO.: 211204E	DATE: 04/12/2021		



Know what's below.
Call before you dig.

PROPOSED UTILITIES WEST
RE: WILDFLOWER CROSSING PHASE 2
 FOR: WESTPHAL ASSOCIATES
 ATTN: DONALD WESTPHAL
 71 N. LIVERNOIS; SUITE A
 ROCHESTER, MI 48307
 PART OF SECTIONS 27 & 34, T2S, R4W, SHERIDAN TOWNSHIP, CALHOUN COUNTY, MICHIGAN

exxel engineering, inc.
 planners • engineers • surveyors
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 Phone: (616) 531-3660 www.exxelengineering.com

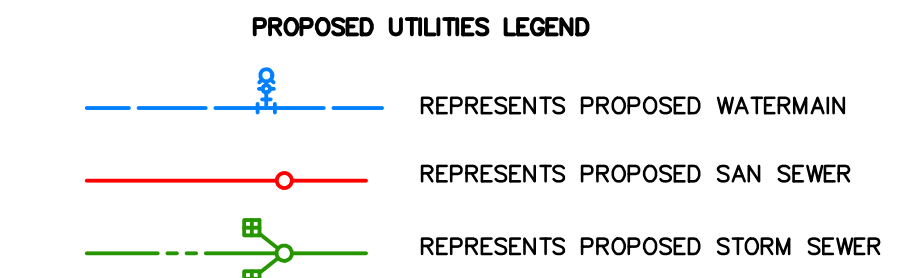
10/28/21	REV. PER EGLE COMMENTS	JOB	DRAWN BY: JDR	PROJ. ENG.: RTL	SHEET 2 of 12
8/24/2021	REV. PER EGLE COMMENTS	JOB	APPROVED BY: VAD	PROJ. SURV.: VAD	
DATE	REVISION	BY	FILE NO.: 211204E	DATE: 06/24/2021	

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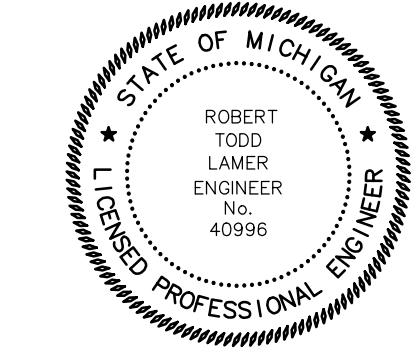
PROPOSED UTILITIES EAST
RE: WILDFLOWER CROSSING PHASE 2
 FOR: WESTPHAL ASSOCIATES
 ATTN: DONALD WESTPHAL
 71 N. LIVERNOIS, SUITE A
 ROCHESTER, MI 48307
 PART OF SECTIONS 27 & 34, T2S, R4W, SHERIDAN TOWNSHIP, CALHOUN COUNTY, MICHIGAN



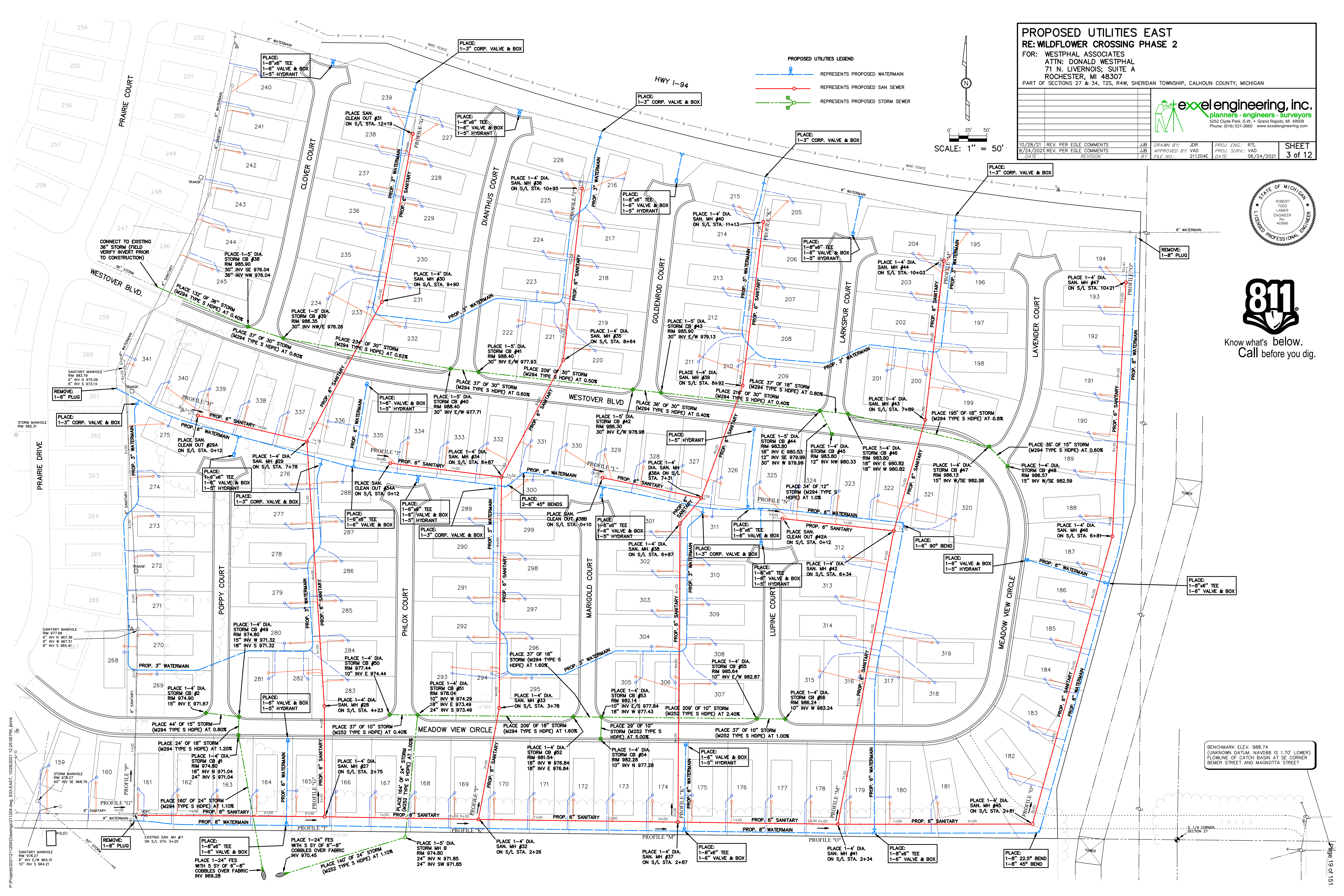
10/28/21	REV. PER EGLE COMMENTS	JJB	DRAWN BY: JDR	PROJ. ENG.: RTL	SHEET 3 of 12
8/24/2021	REV. PER EGLE COMMENTS	JJB	APPROVED BY: VAD	PROJ. SURV.: VAD	
	REVISION	BT	FILE NO.: 211204E	DATE: 06/24/2021	



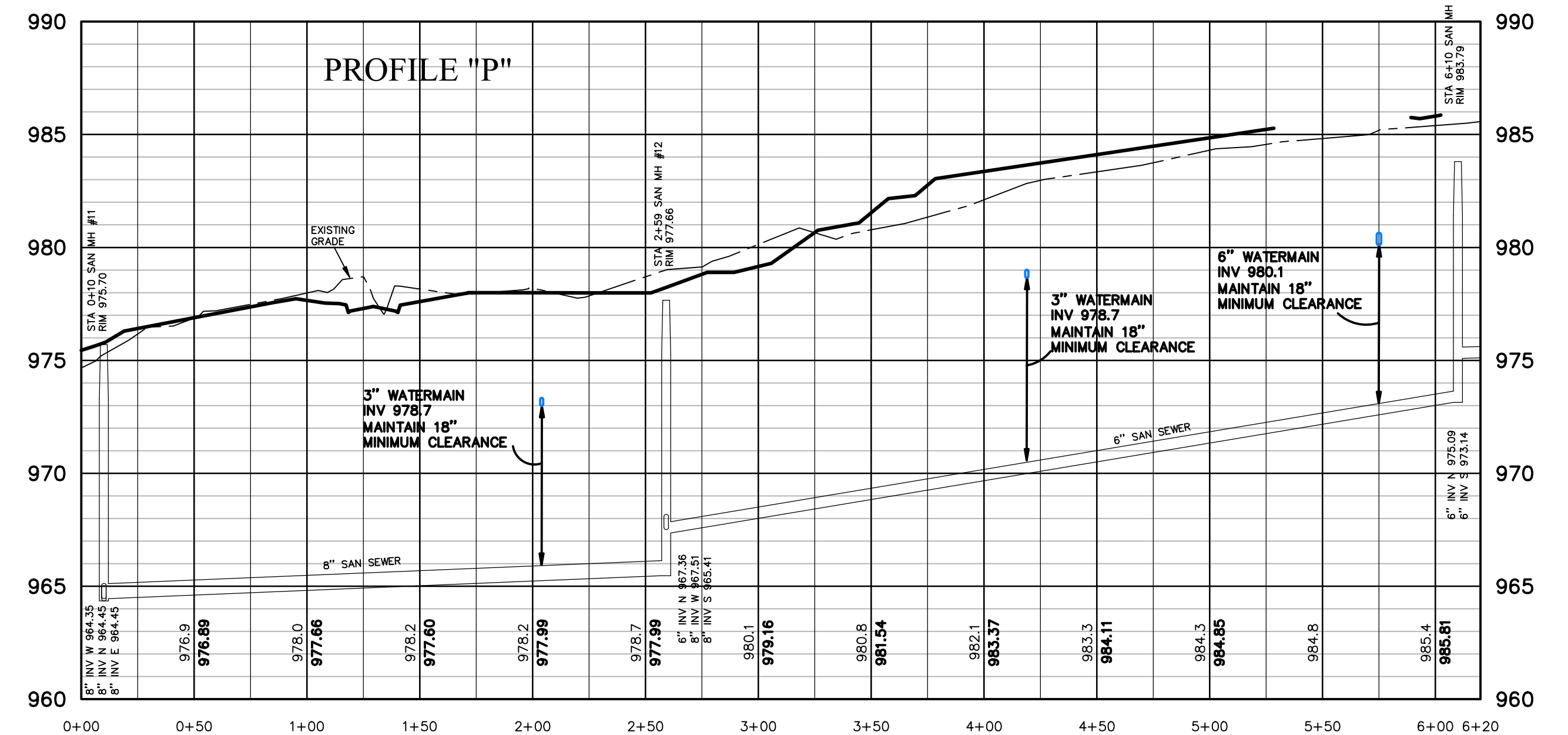
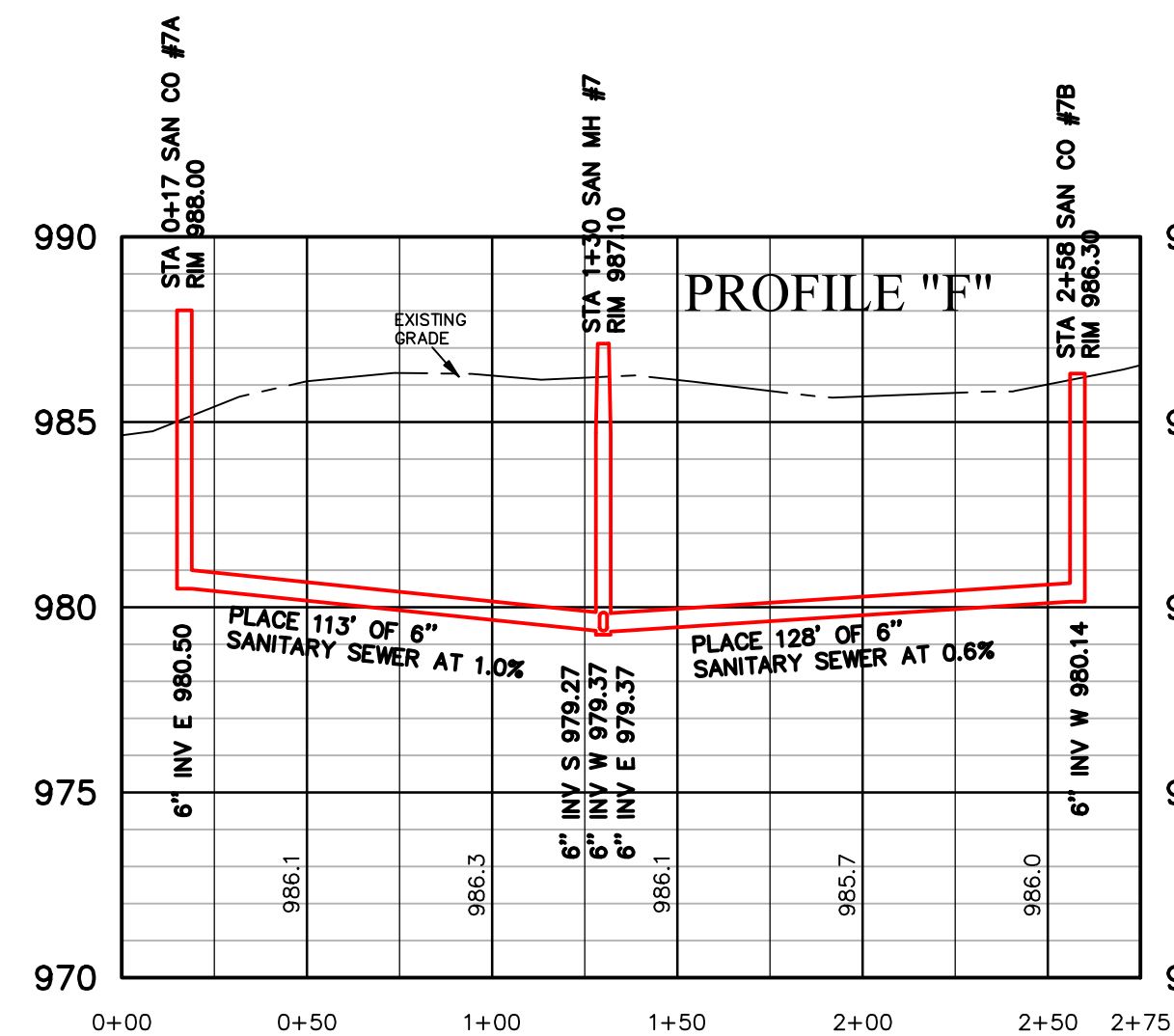
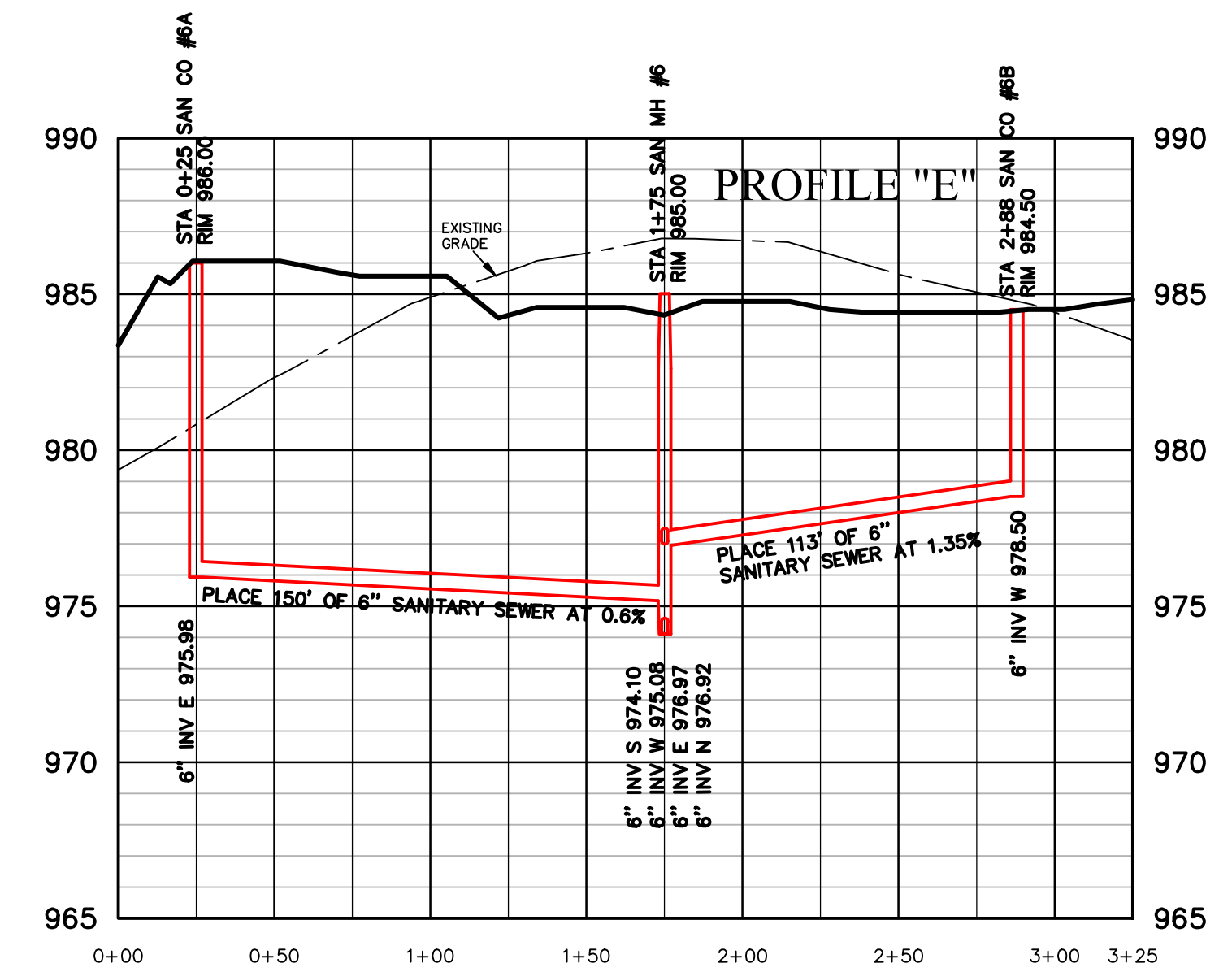
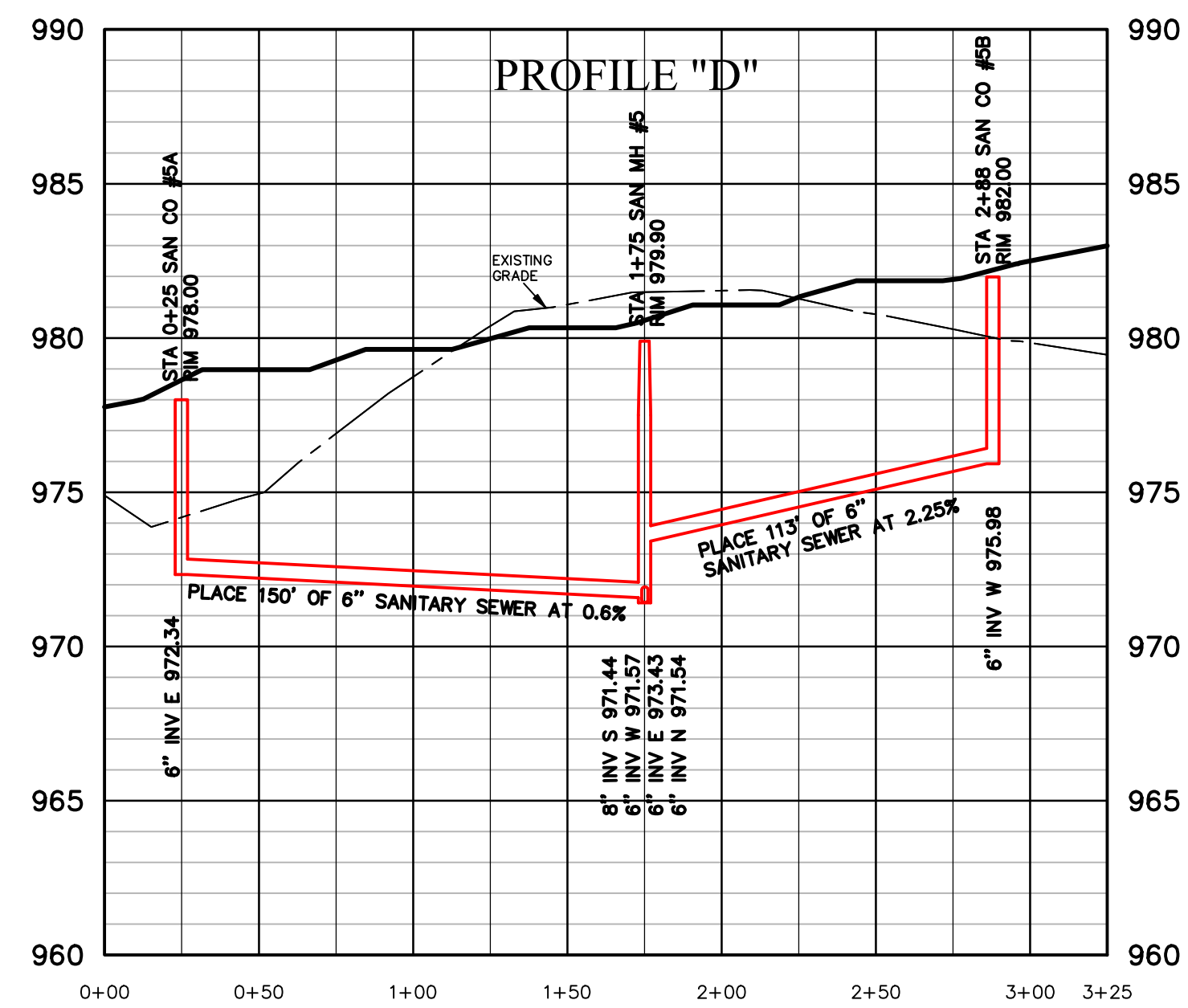
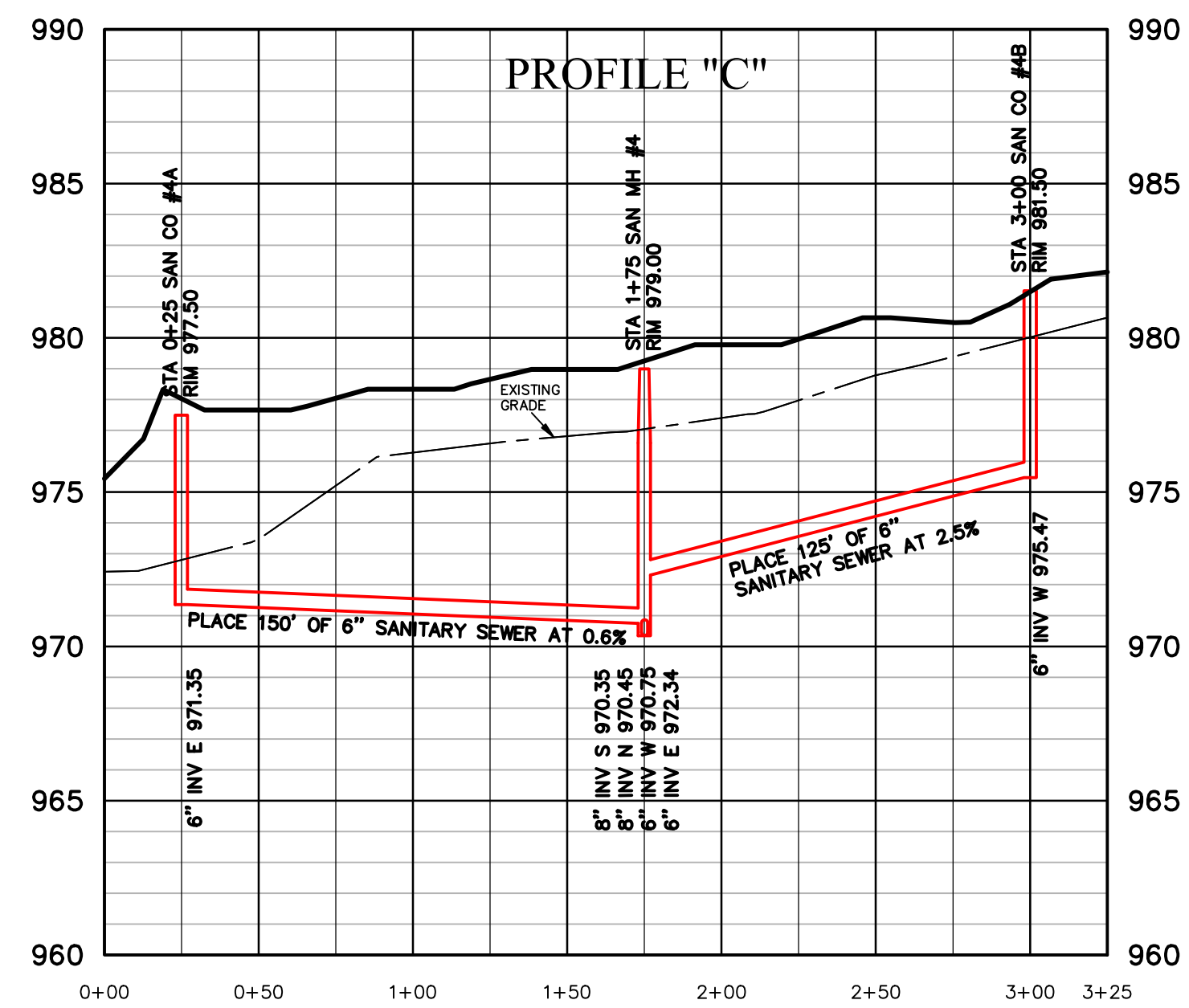
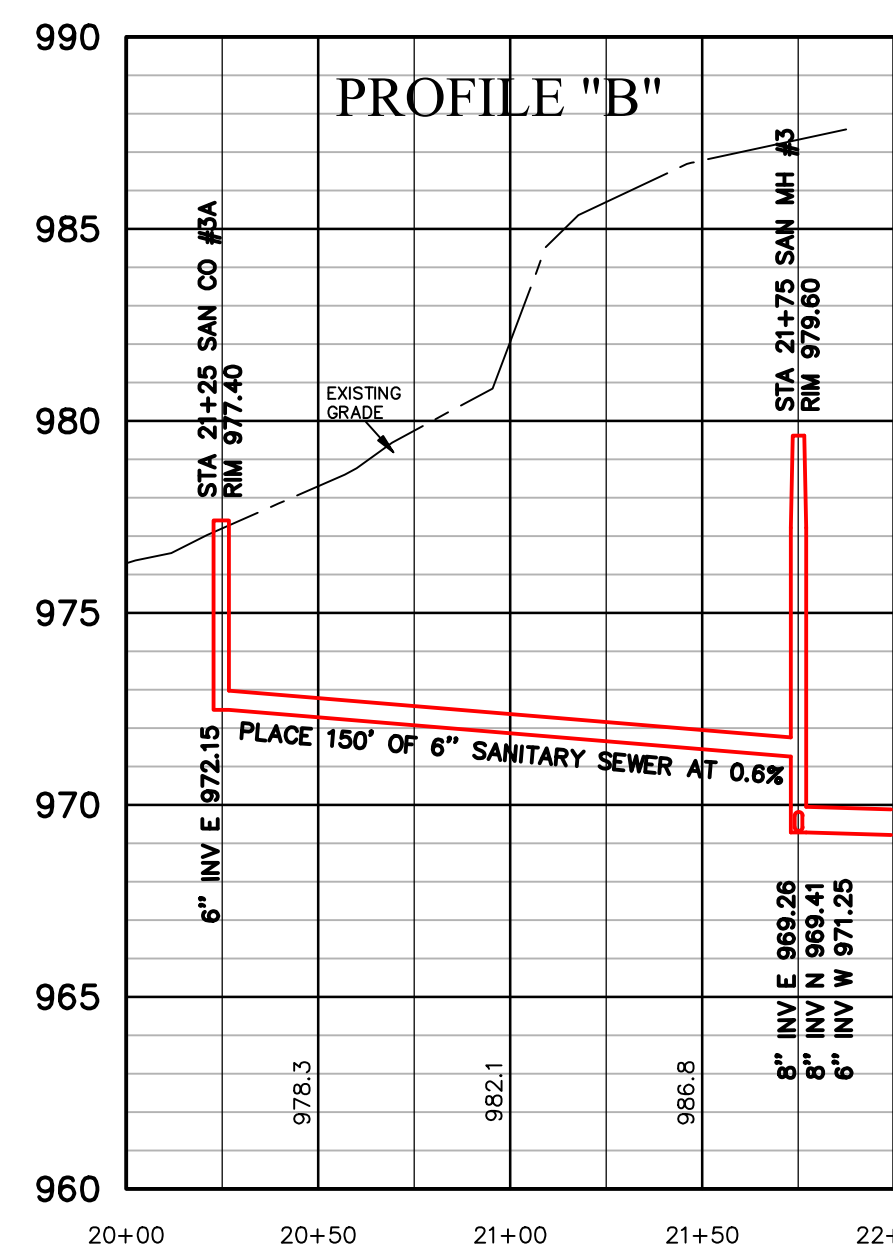
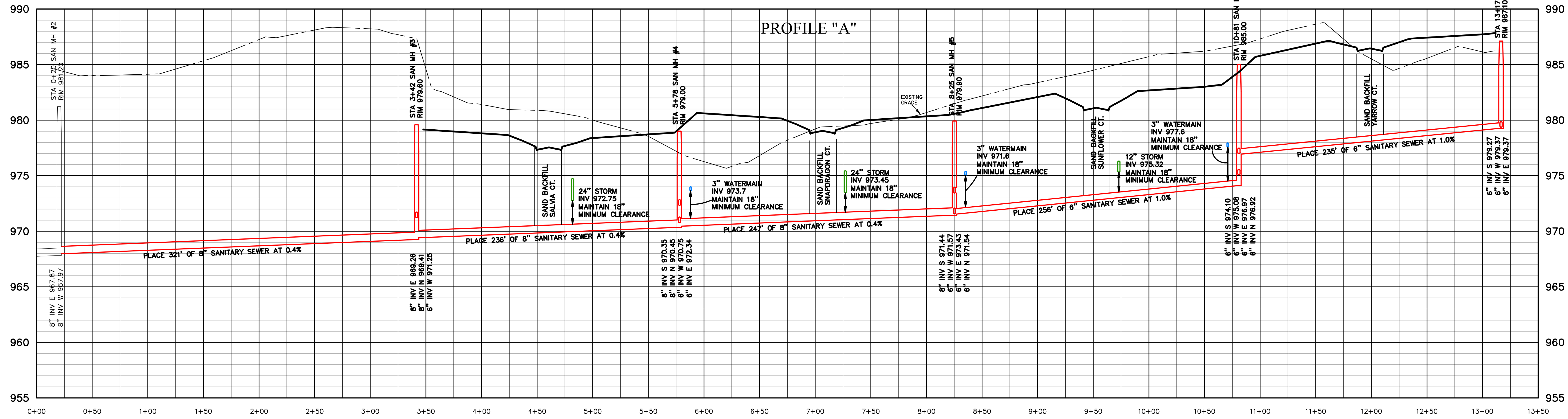
SCALE: 1" = 50'



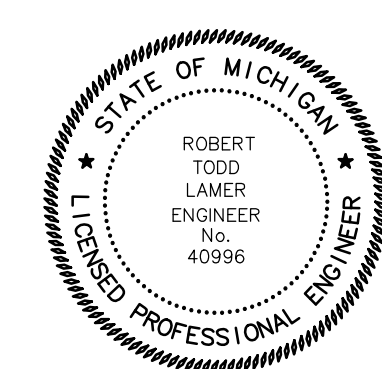
Know what's below.
Call before you dig.



BENCHMARK ELEV. 988.74
 (UNKNOWN DATUM, NAVD88 IS 1.70' LOWER)
 FLOWLINE OF CATCH BASIN AT SE CORNER
 BEYER STREET AND MAGNOTTA STREET



HORIZONTAL SCALE : 1"=50'
VERTICAL SCALE : 1"=5'

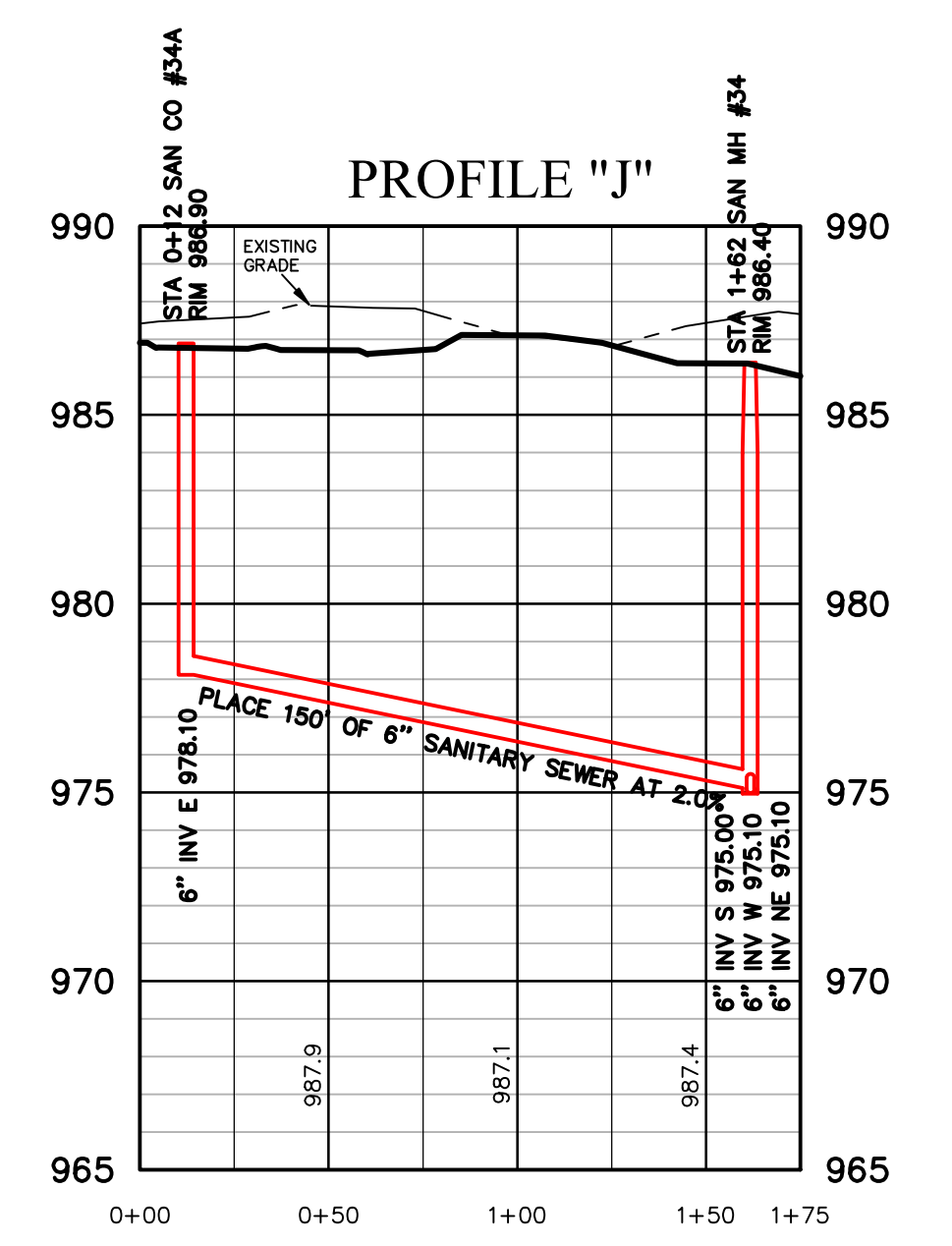
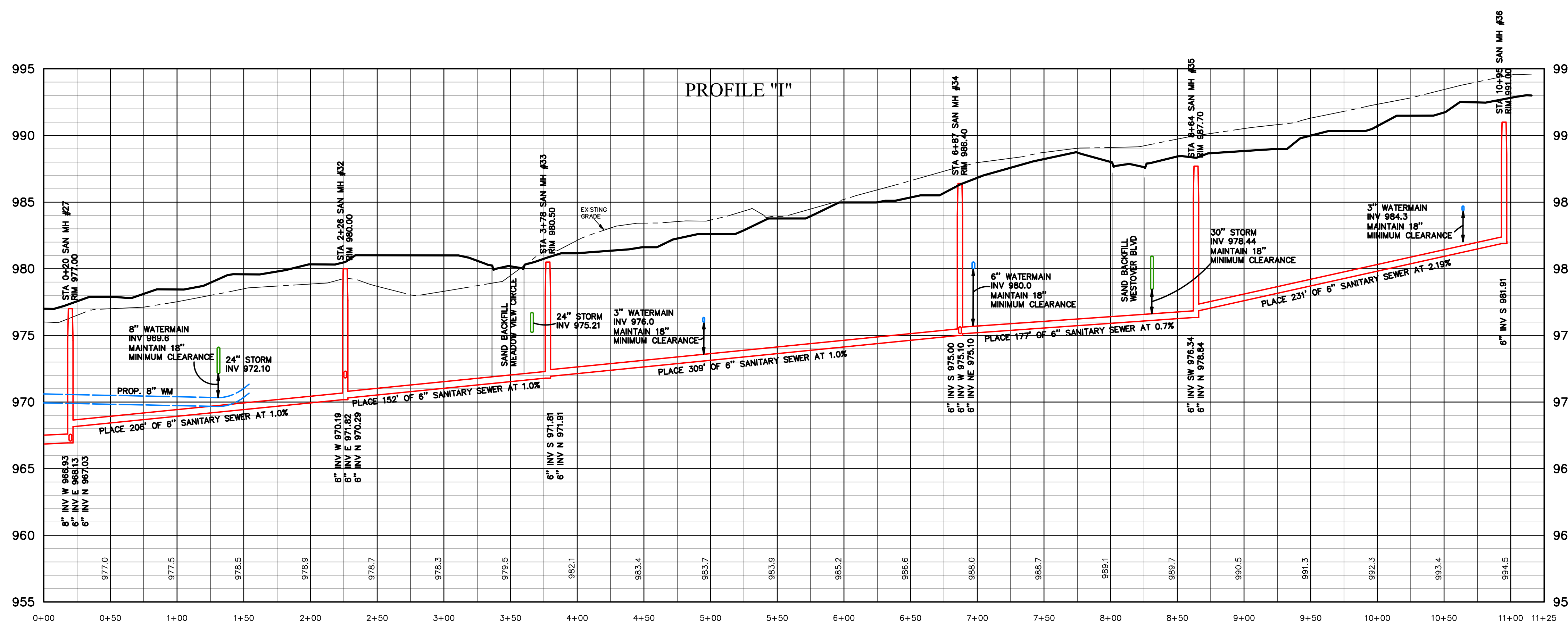
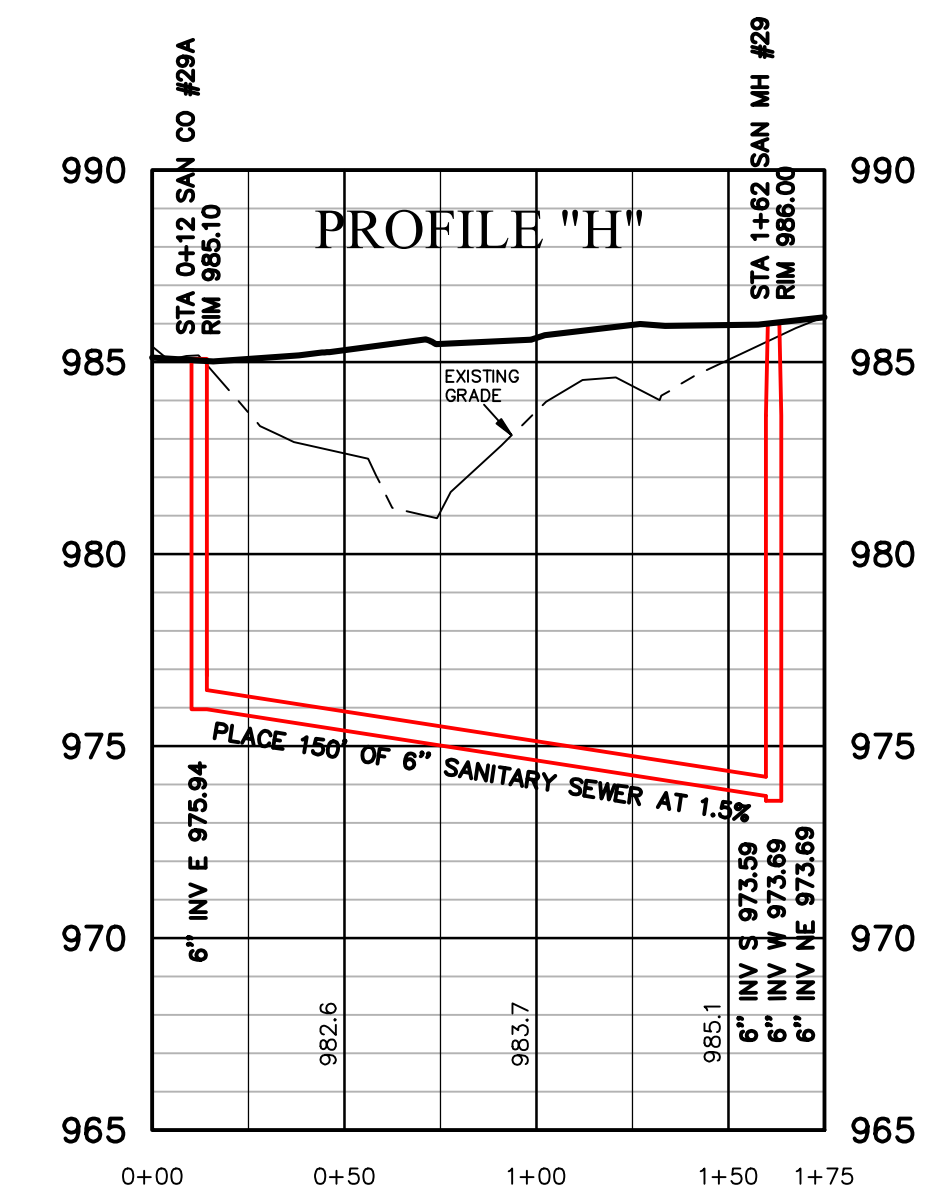
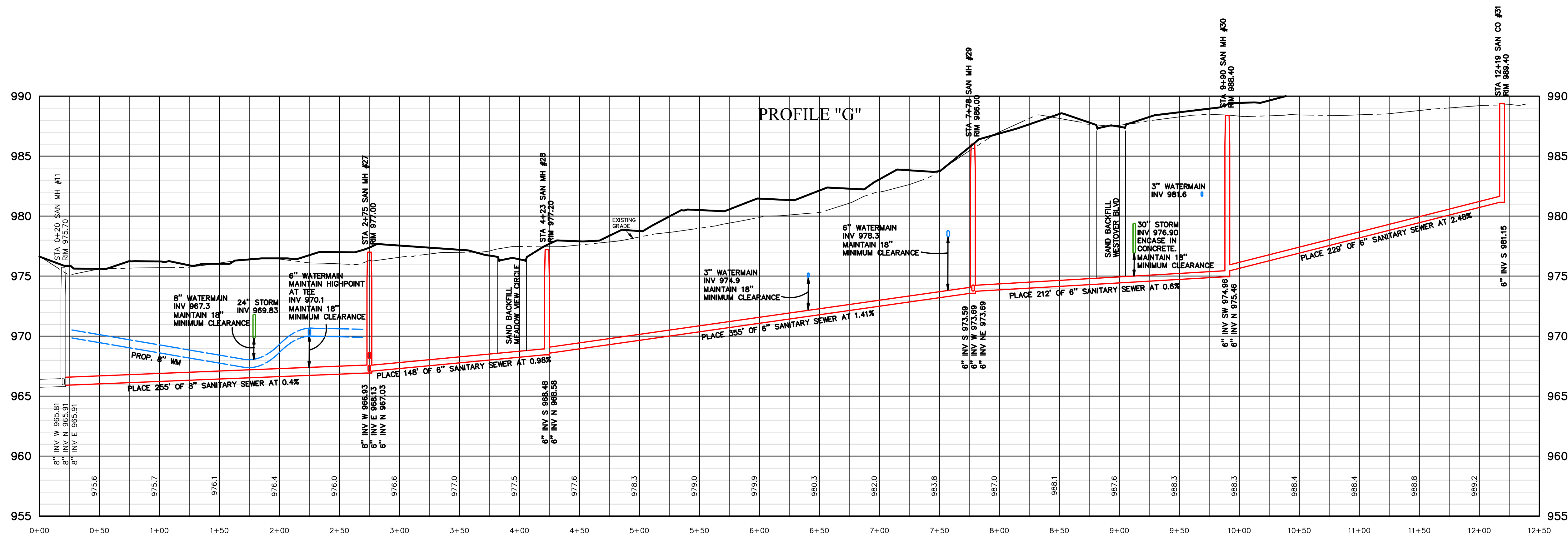


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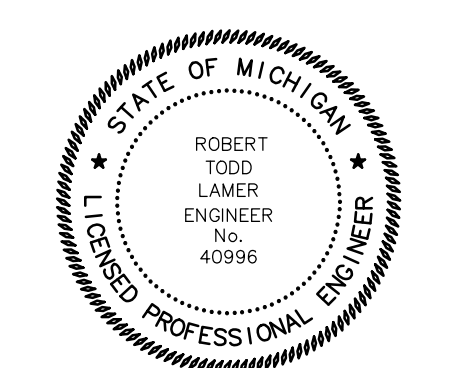
SANITARY SEWER PROFILES
RE: WILDFLOWER CROSSING PHASE 2
 FOR: WESTPHAL ASSOCIATES
 ATTN: DONALD WESTPHAL
 71 N. LIVERNOIS, SUITE A
 ROCHESTER, MI 48307
 PART OF SECTIONS 27 & 34, T2S, R4W, SHERIDAN TOWNSHIP, CALHOUN COUNTY, MICHIGAN

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 Phone: (616) 531-3660 • www.exxelengineering.com

10/28/21	REV. PER EGLE COMMENTS	JLB	DRAWN BY: JDR	PROJ. ENG.: RTL	SHEET 4 of 12
8/24/2021	REV. PER EGLE COMMENTS	JLB	APPROVED BY: VAD	PROJ. SURV.: VAD	
DATE	REVISION	BY	FILE NO.: 211204E	DATE: 06/24/2021	



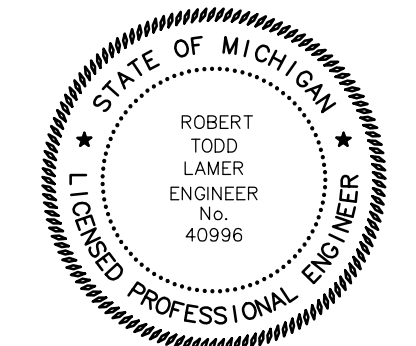
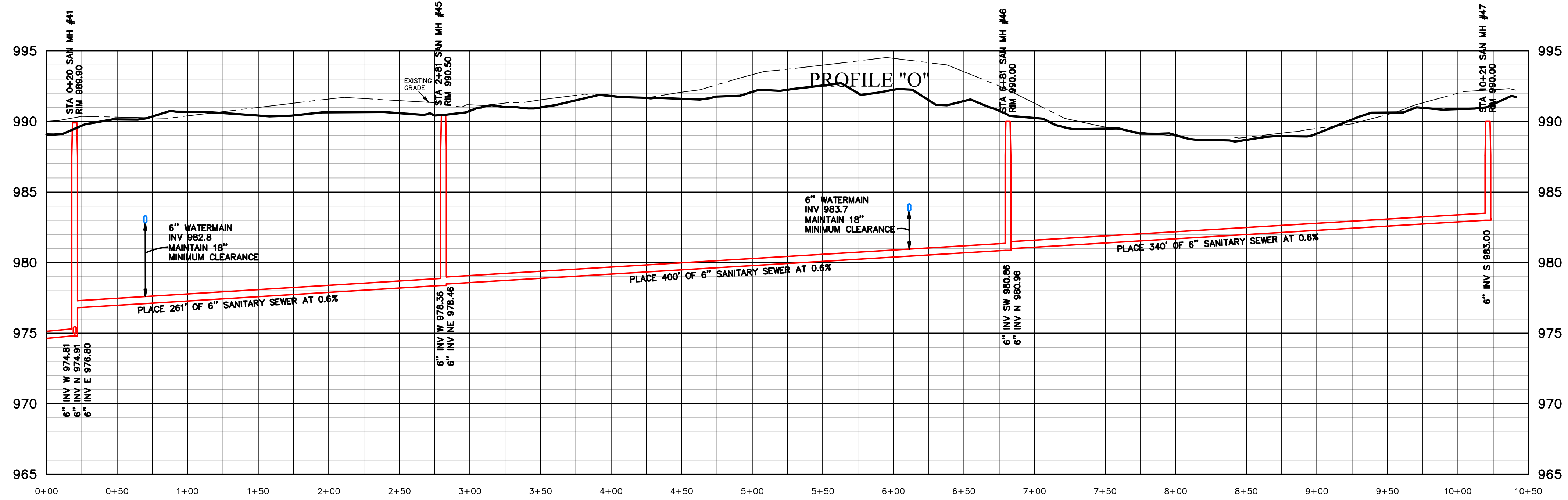
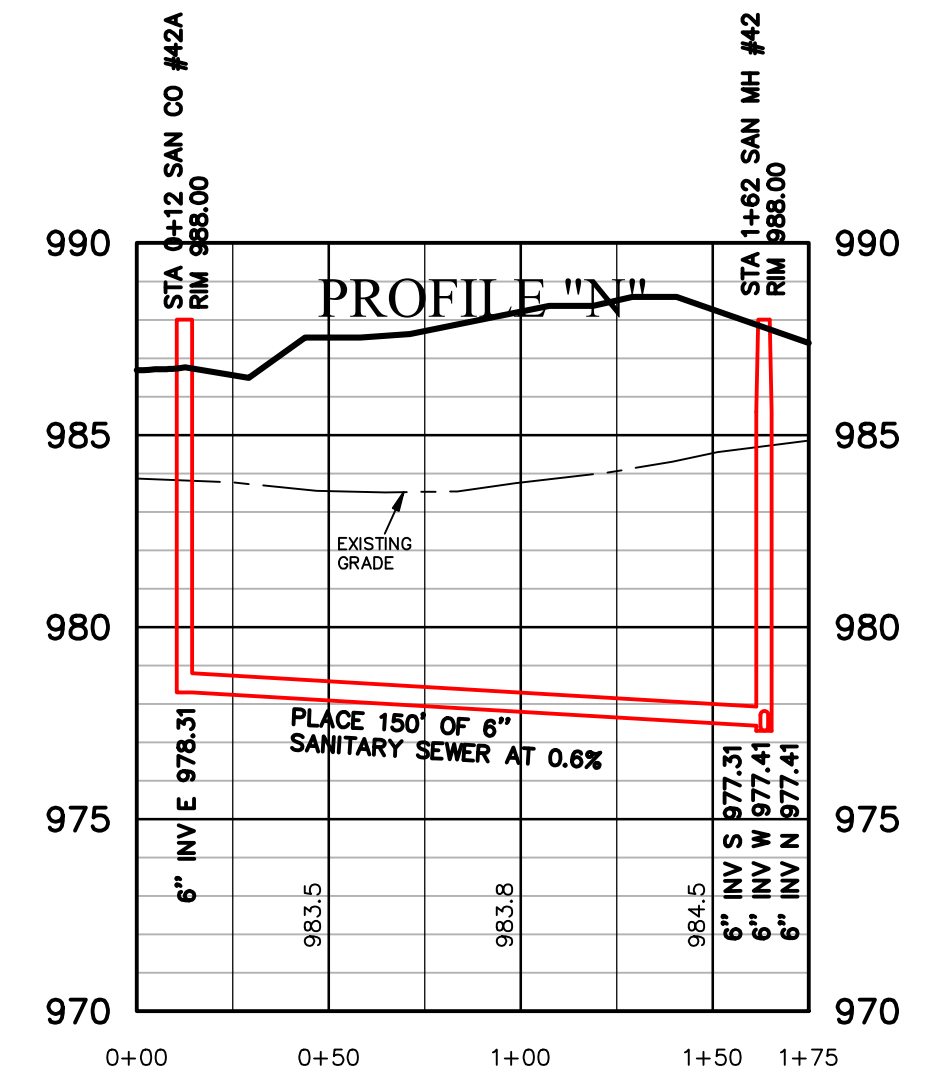
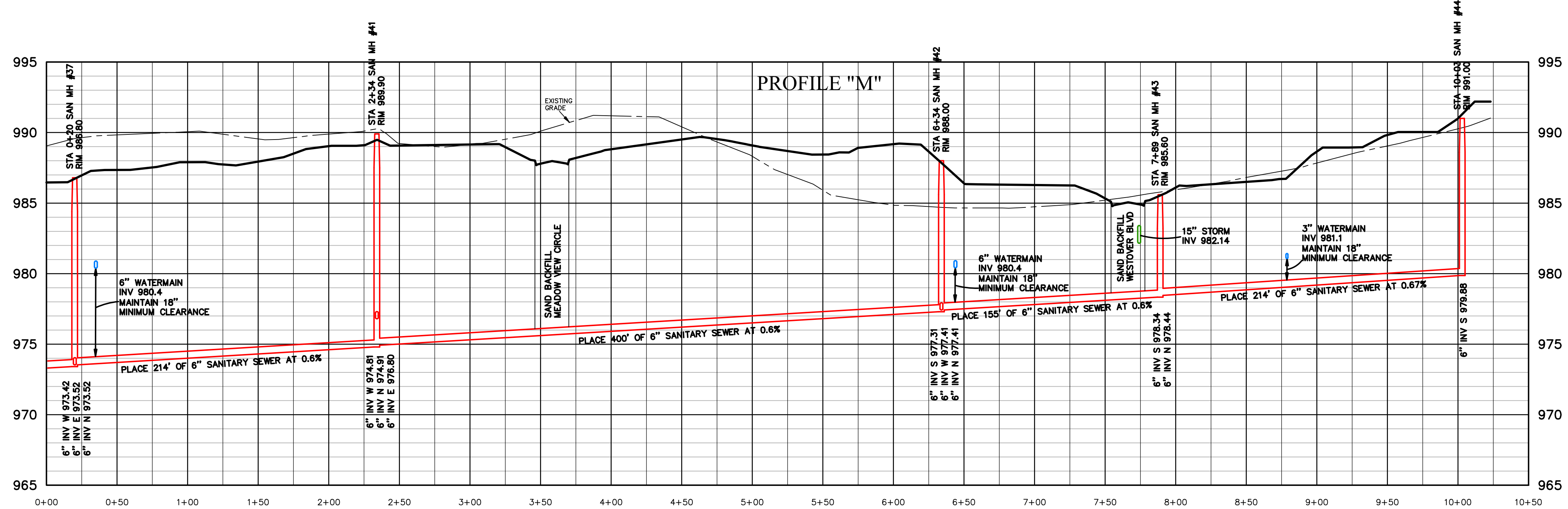
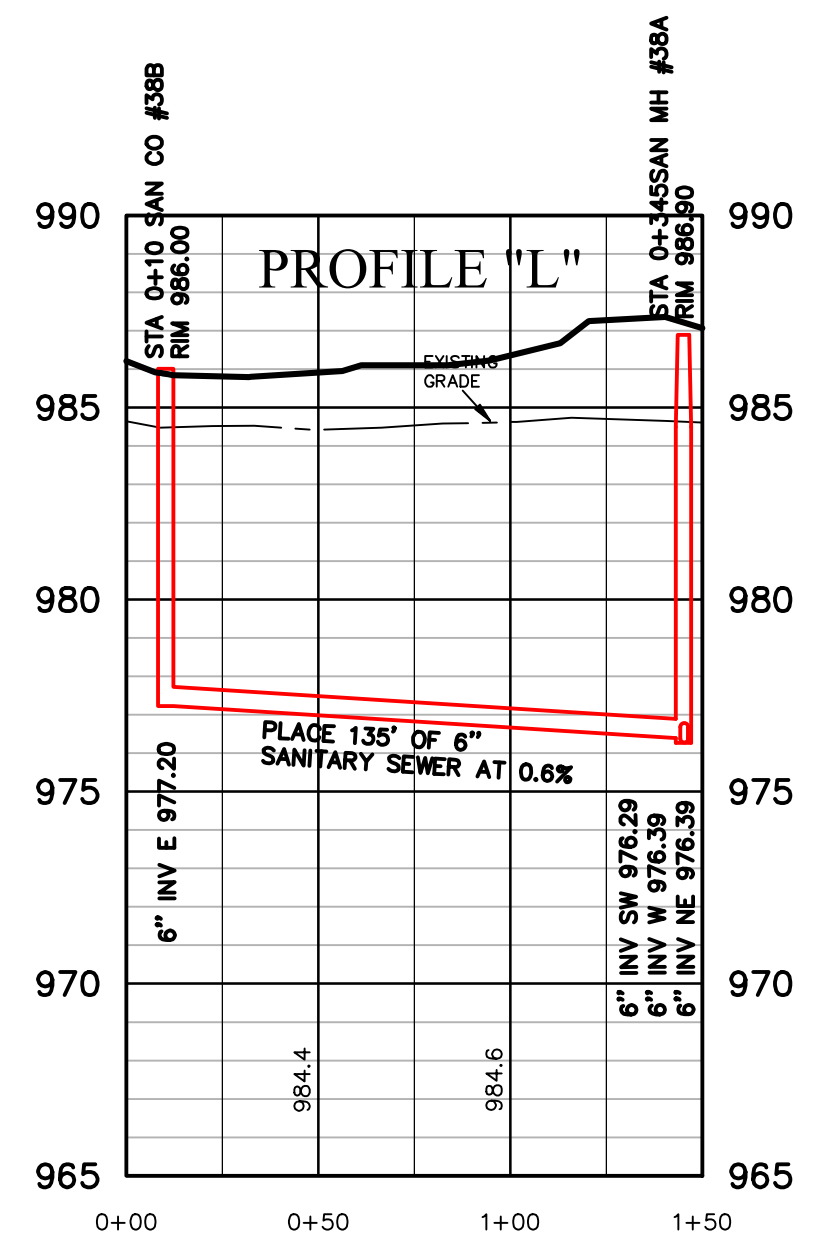
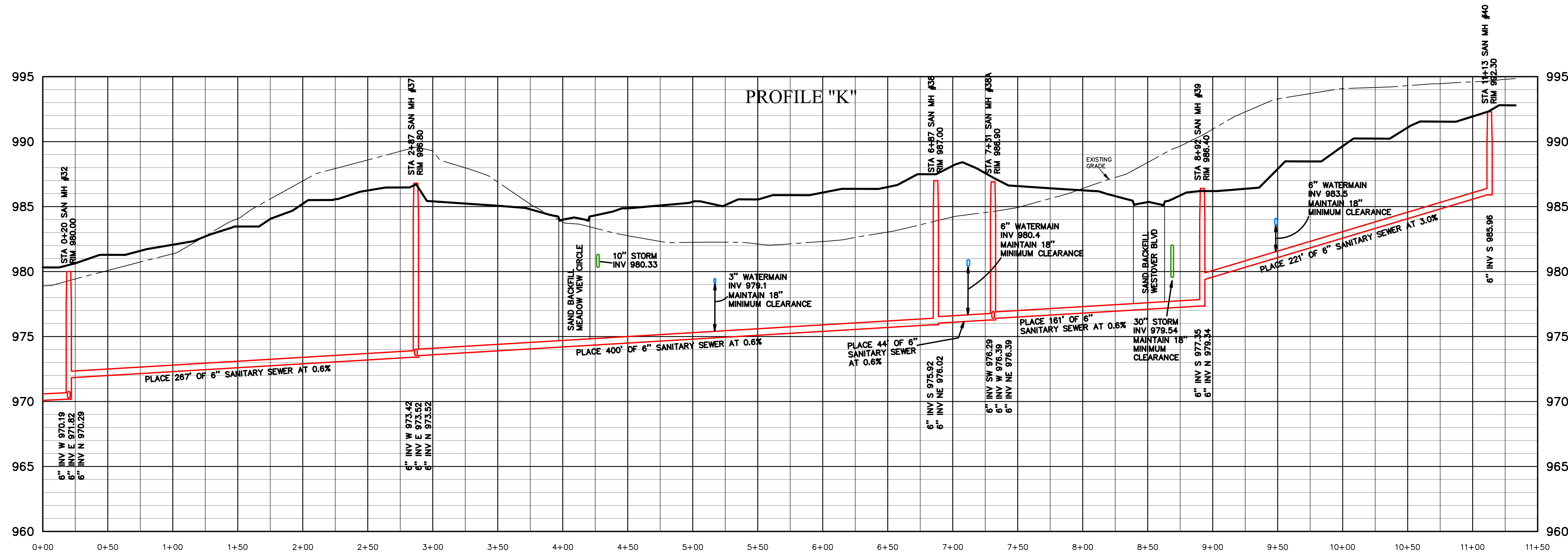
HORIZONTAL SCALE : 1"=50'
VERTICAL SCALE : 1"=5'



SANITARY SEWER PROFILES
RE: WILDFLOWER CROSSING PHASE 2
FOR: WESTPHAL ASSOCIATES
ATTN: DONALD WESTPHAL
71 N. LIVERNOIS, SUITE A
ROCHESTER, MI 48307
PART OF SECTIONS 27 & 34, T2S, R4W, SHERIDAN TOWNSHIP, CALHOUN COUNTY, MICHIGAN

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10/28/21	REV. PER EGLE COMMENTS	JUB	DRAWN BY: JDR	PROJ. ENG.: RTL	SHEET 5 of 12
8/24/2021	REV. PER EGLE COMMENTS	JUB	APPROVED BY: VAD	PROJ. SURV.: VAD	
DATE	REVISION	BY	FILE NO.: 211204E	DATE: 06/24/2021	



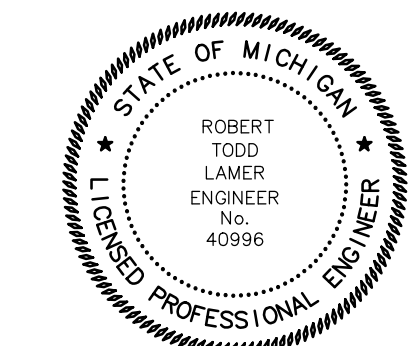
Know what's below.
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HORIZONTAL SCALE : 1"=50'
VERTICAL SCALE : 1"=5'

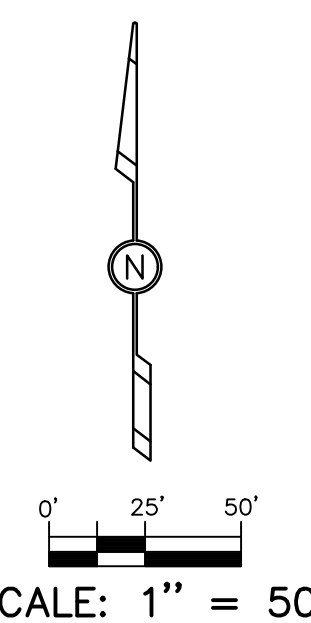
SANITARY SEWER PROFILES
RE: WILDFLOWER CROSSING PHASE 2
 FOR: WESTPHAL ASSOCIATES
 ATTN: DONALD WESTPHAL
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 ROCHESTER, MI 48307
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10/28/21	REV. PER EGLE COMMENTS	JLB	DRAWN BY: JDR	PROJ. ENG.: RTL	SHEET 6 of 12
8/24/2021	REV. PER EGLE COMMENTS	JLB	APPROVED BY: VAD	PROJ. SURV.: VAD	
DATE	REVISION	BY	FILE NO.: 211204E	DATE: 06/24/2021	



Know what's below.
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SITE GRADING AND SOIL EROSION CONTROL
RE: WILDFLOWER CROSSING PHASE 2
 FOR: WESTPHAL ASSOCIATES
 ATTN: DONALD WESTPHAL
 71 N. LIVERNOIS; SUITE A
 ROCHESTER, MI 48307
 PART OF SECTIONS 27 & 34, T2S, R4W, SHERIDAN TOWNSHIP, CALHOUN COUNTY, MICHIGAN

10/28/21	REV. PER EGLE COMMENTS	JOB	DRAWN BY: JDR	PROJ. ENG.: RTL	SHEET
8/24/2021	REV. PER EGLE COMMENTS	BY	APPROVED BY: VAD	PROJ. SURV.: VAD	7 of 12
DATE	REVISION	BY	FILE NO.: 211204E	DATE: 06/24/2021	

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 Phone: (616) 531-3660 www.exxelengineering.com

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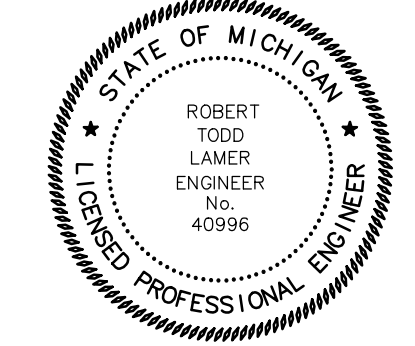
SITE GRADING AND SOIL EROSION CONTROL
RE: WILDFLOWER CROSSING PHASE 2

FOR: WESTPHAL ASSOCIATES
 ATTN: DONALD WESTPHAL
 71 N. LIVERNOIS, SUITE A
 ROCHESTER, MI 48307
 PART OF SECTIONS 27 & 34, T2S, R4W, SHERIDAN TOWNSHIP, CALHOUN COUNTY, MICHIGAN



10/28/21	REV. PER EGLE COMMENTS	JJB	DRAWN BY: JDR	PROJ. ENG.: RTL	SHEET 8 of 12
8/24/2021	REV. PER EGLE COMMENTS	JJB	APPROVED BY: VAD	PROJ. SURV.: VAD	
	REVISION	BY	FILE NO.: 211204E	DATE: 06/24/2021	

SCALE: 1" = 50'



Know what's below.
 Call before you dig.

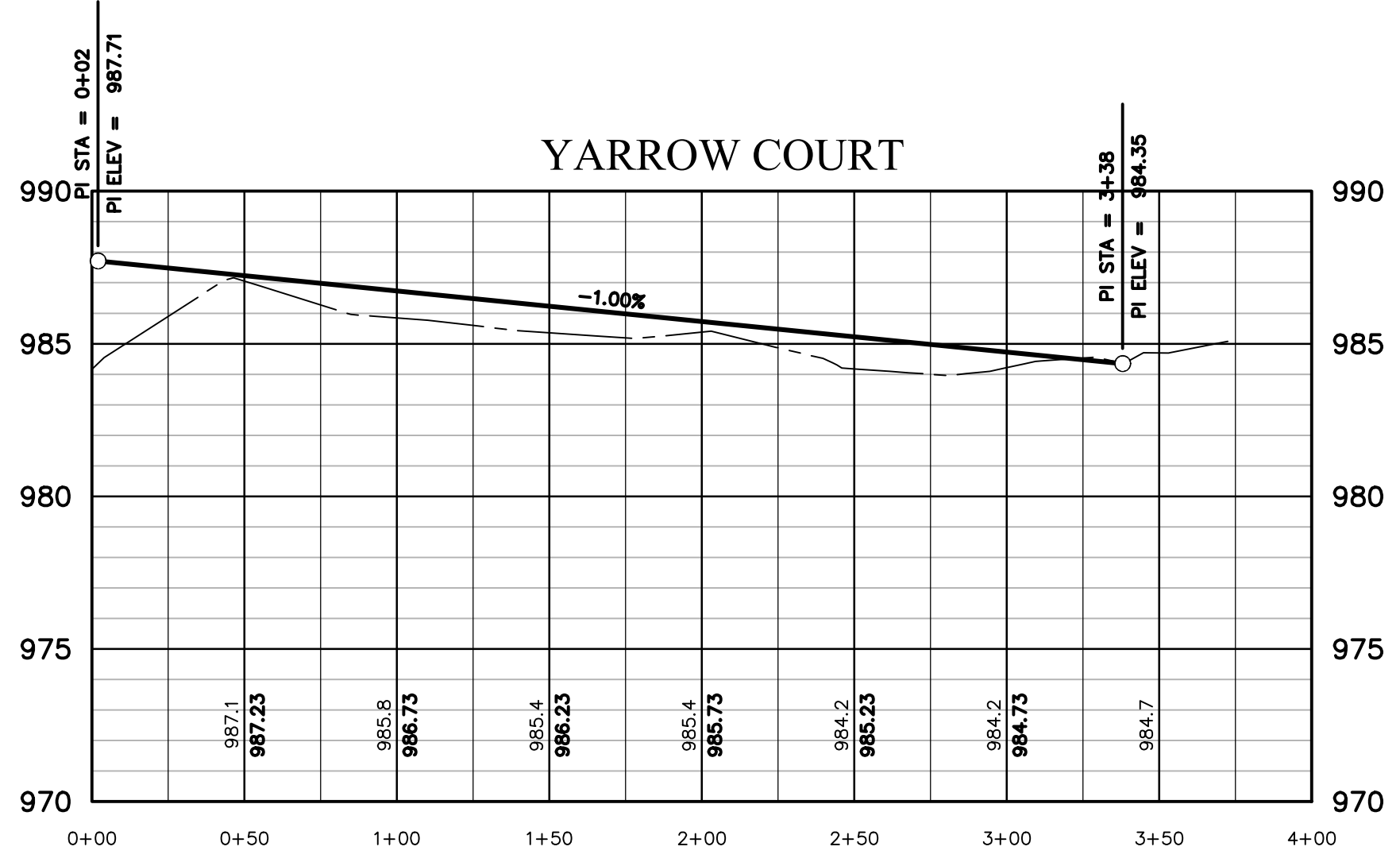


BENCHMARK ELEV. 988.74
 (UNKNOWN DATUM, NAVD88 IS 1.70' LOWER)
 FLOWLINE OF CATCH BASIN AT SE CORNER
 BEMER STREET AND MAGNOTTA STREET

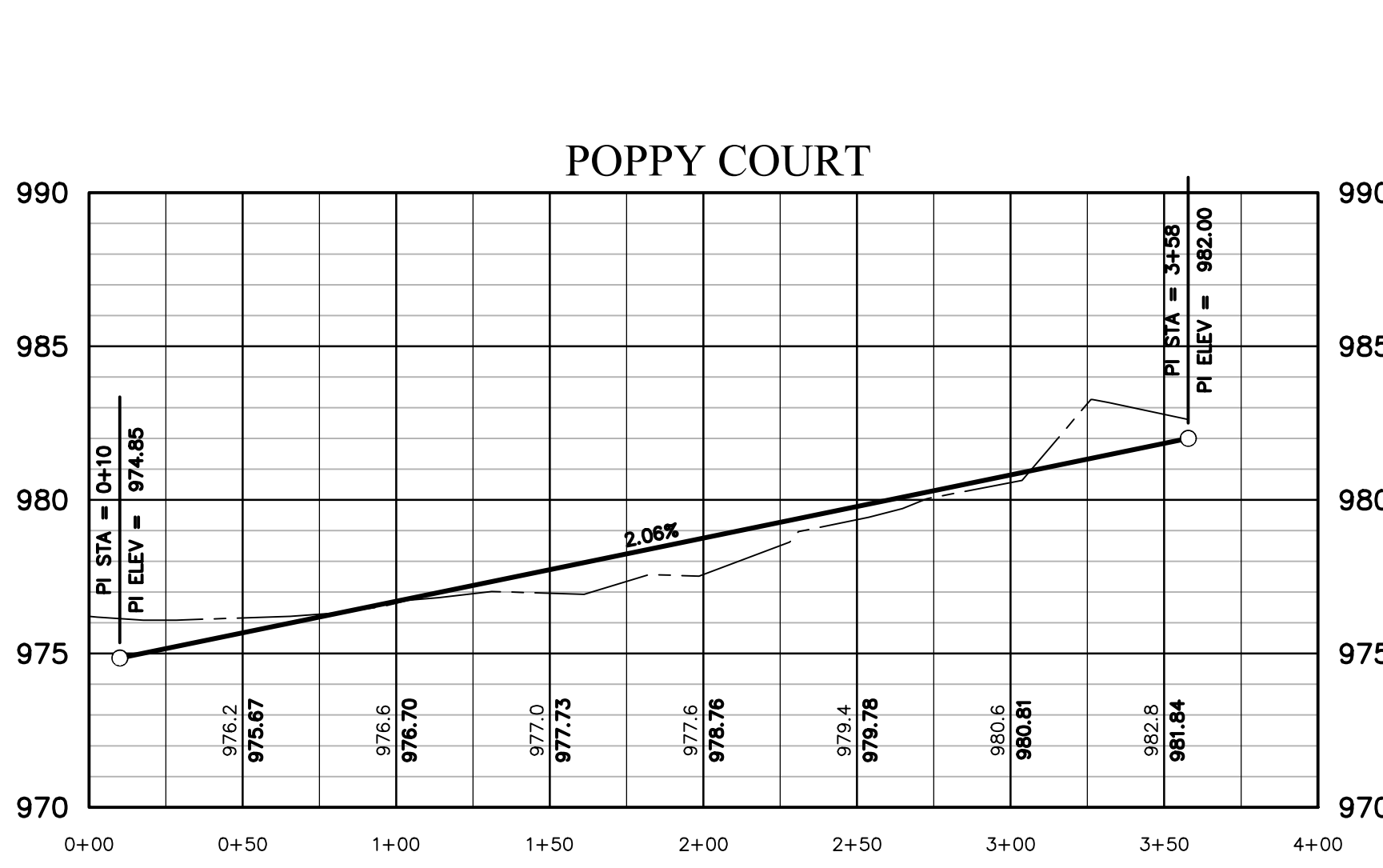
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8/24/2021

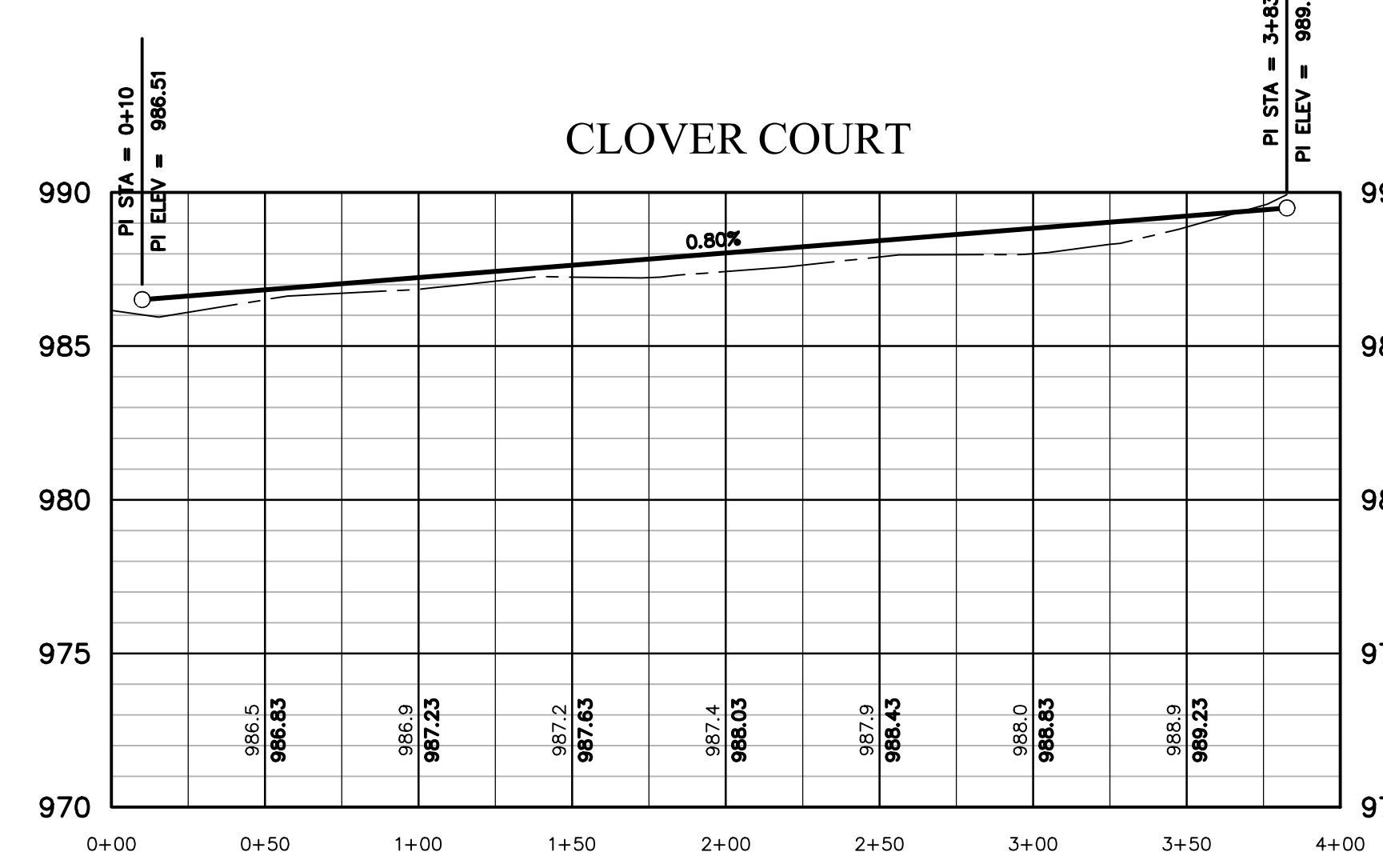
YARROW COURT



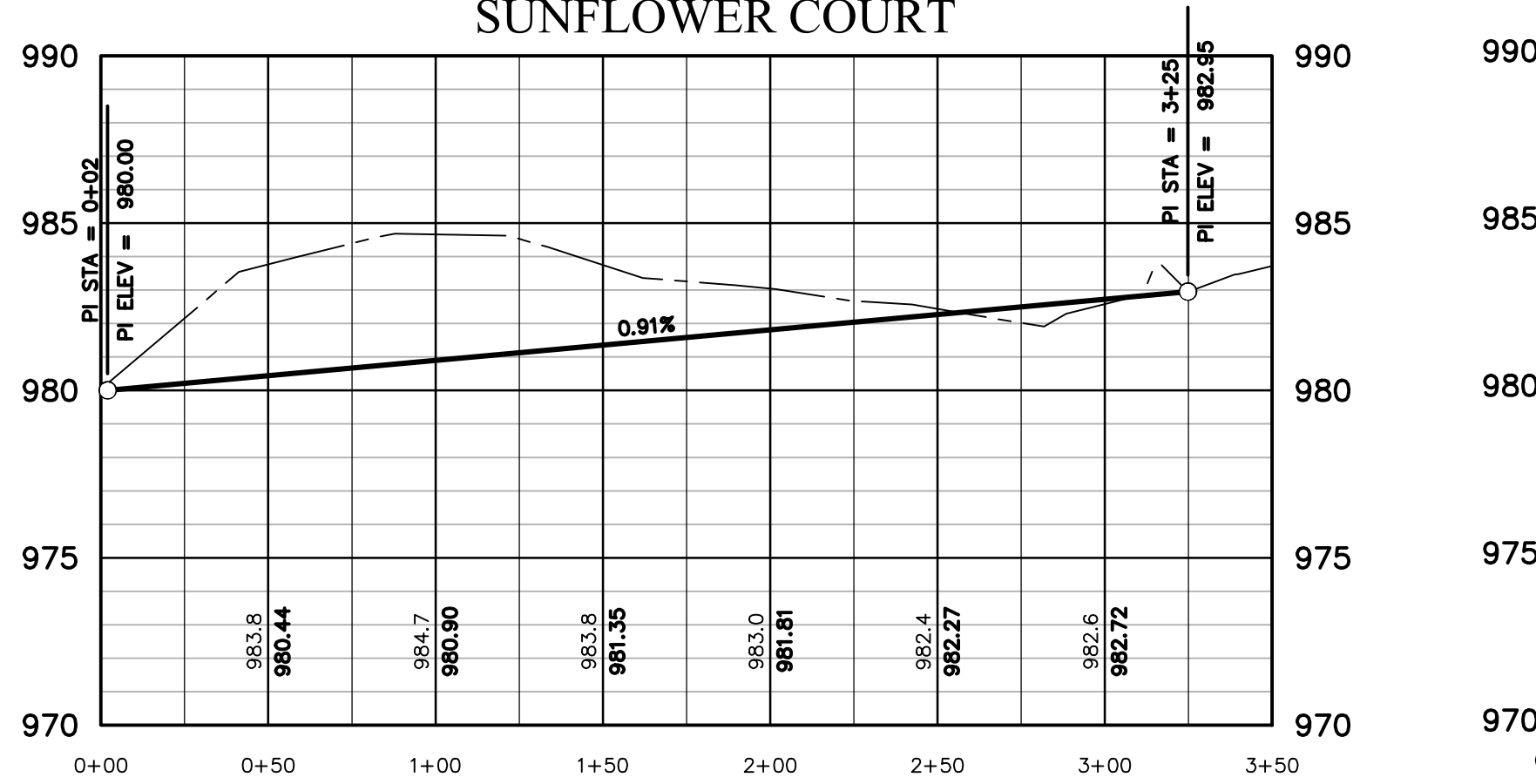
POPPY COURT



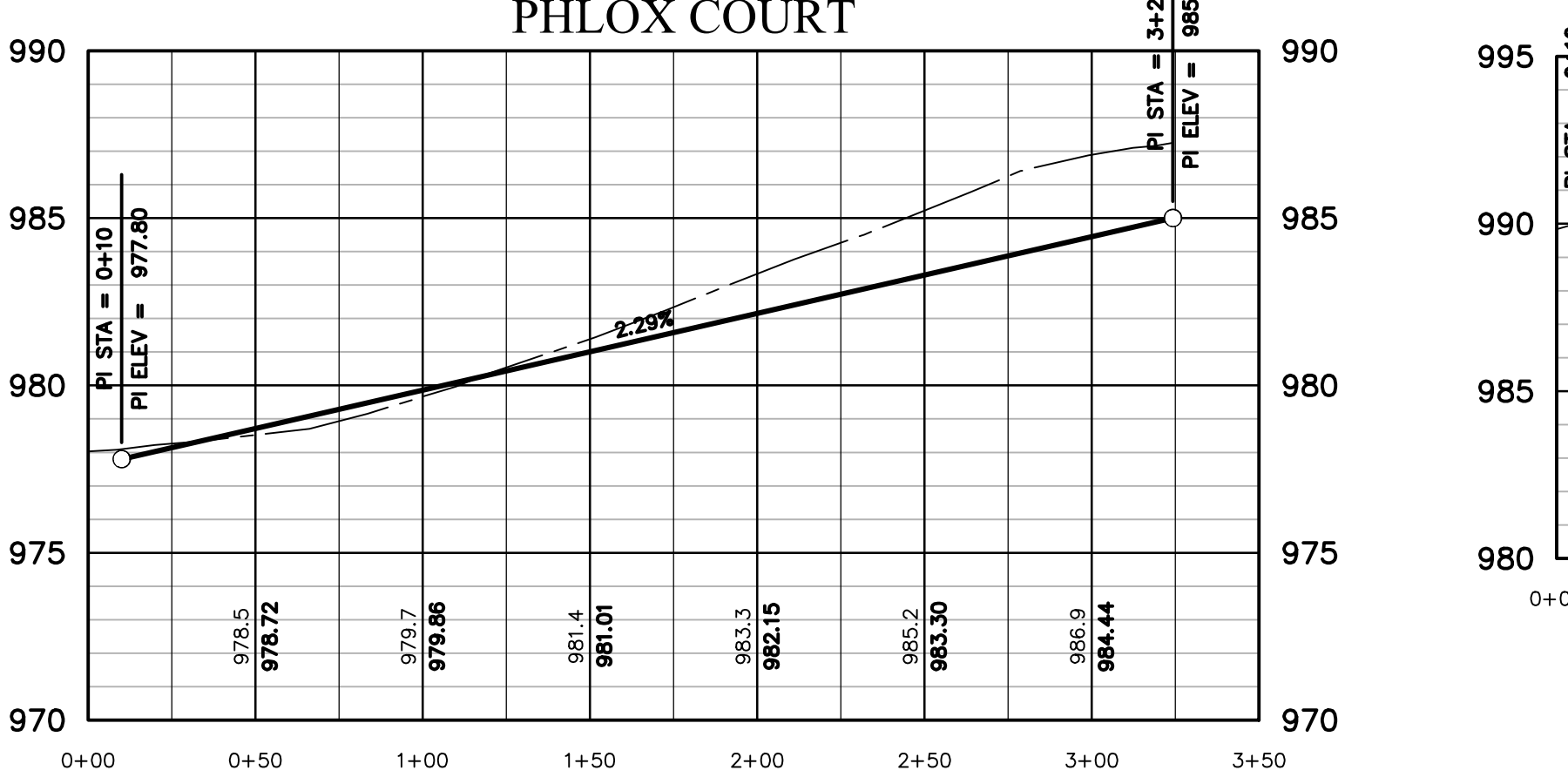
CLOVER COURT



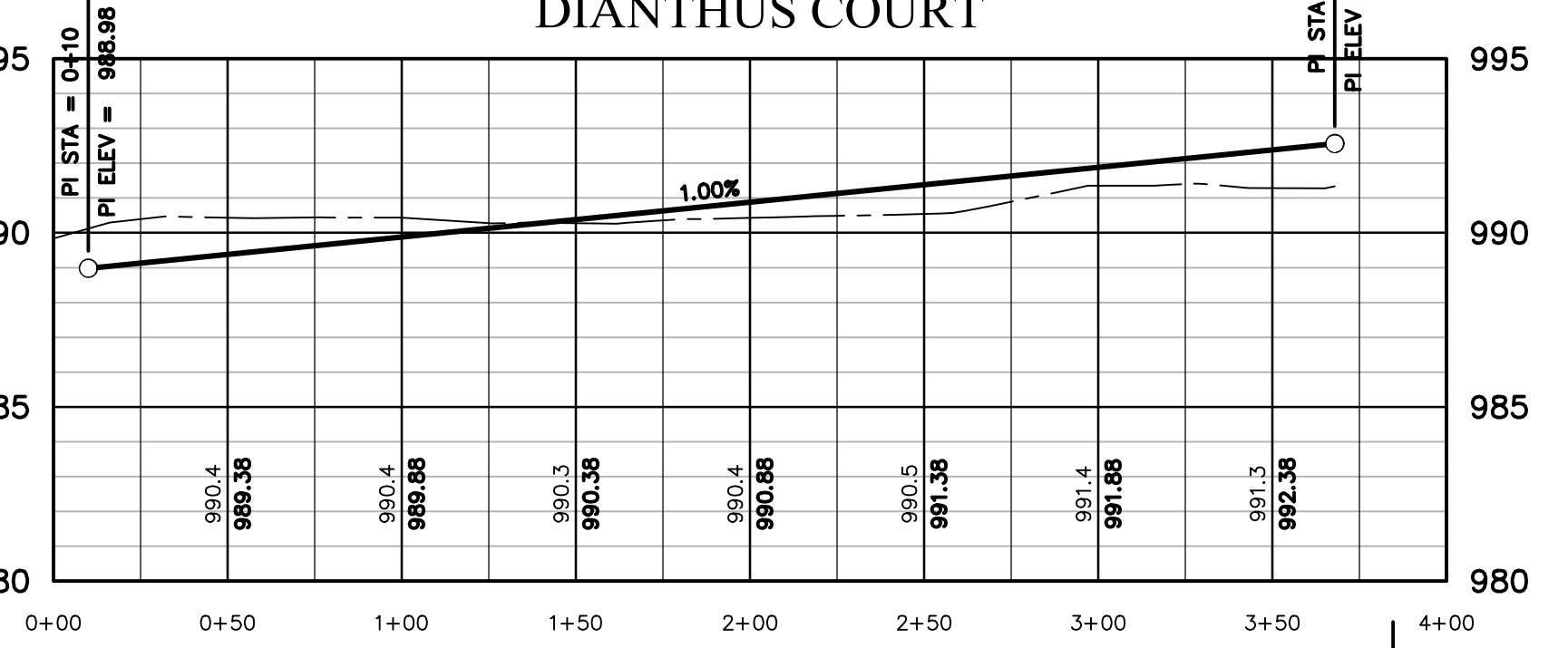
SUNFLOWER COURT



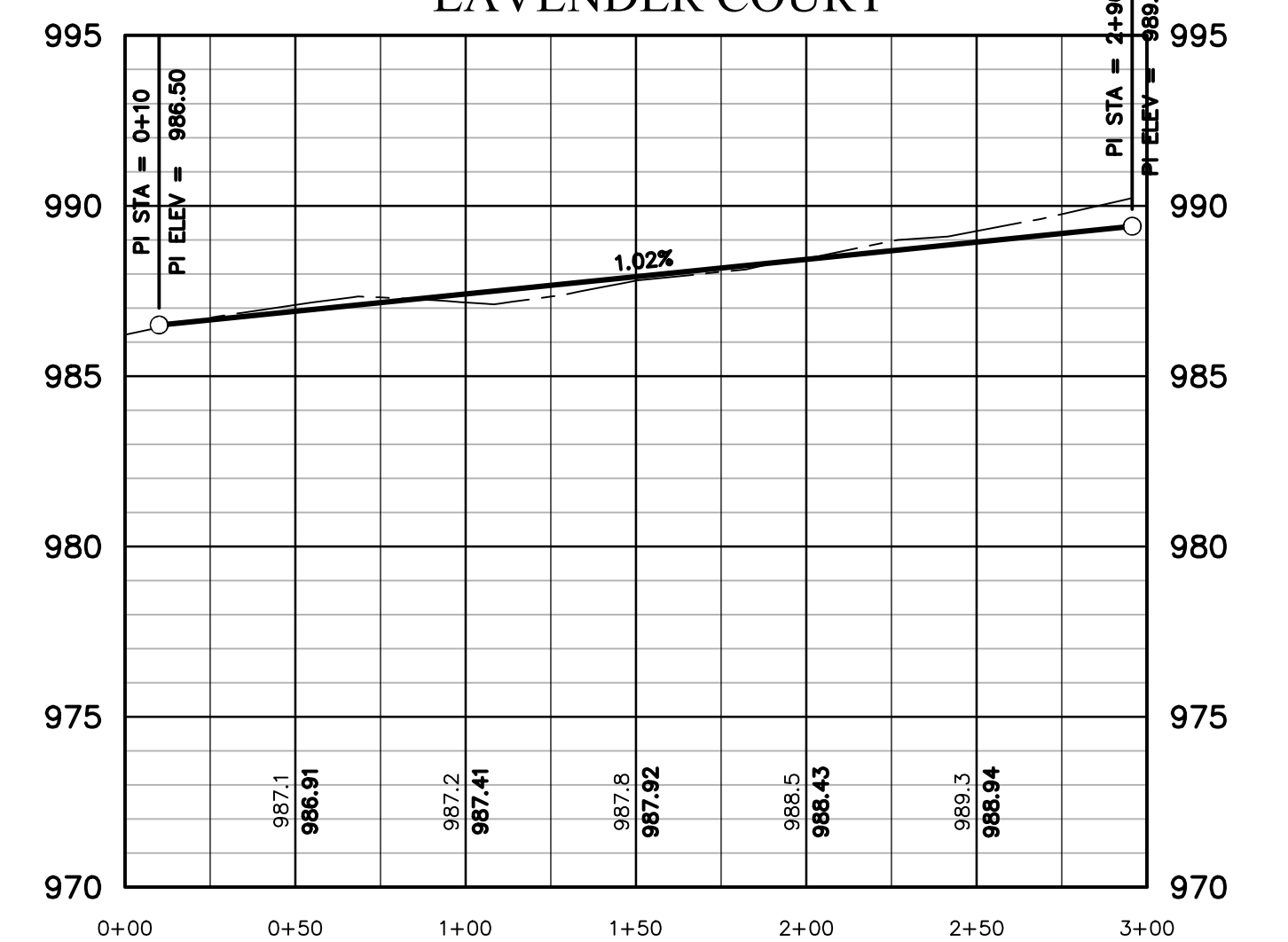
PHLOX COURT



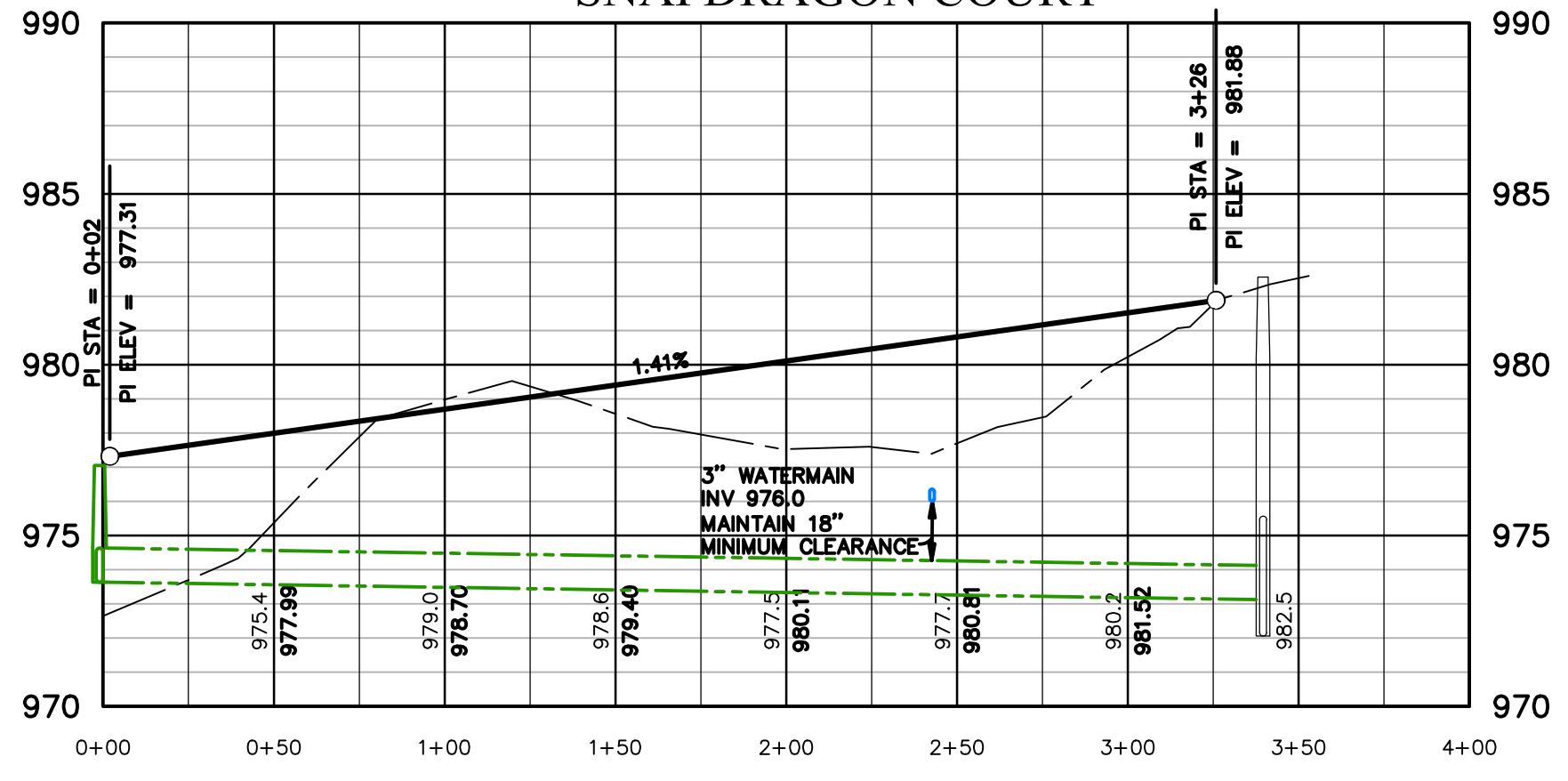
DIANTHUS COURT



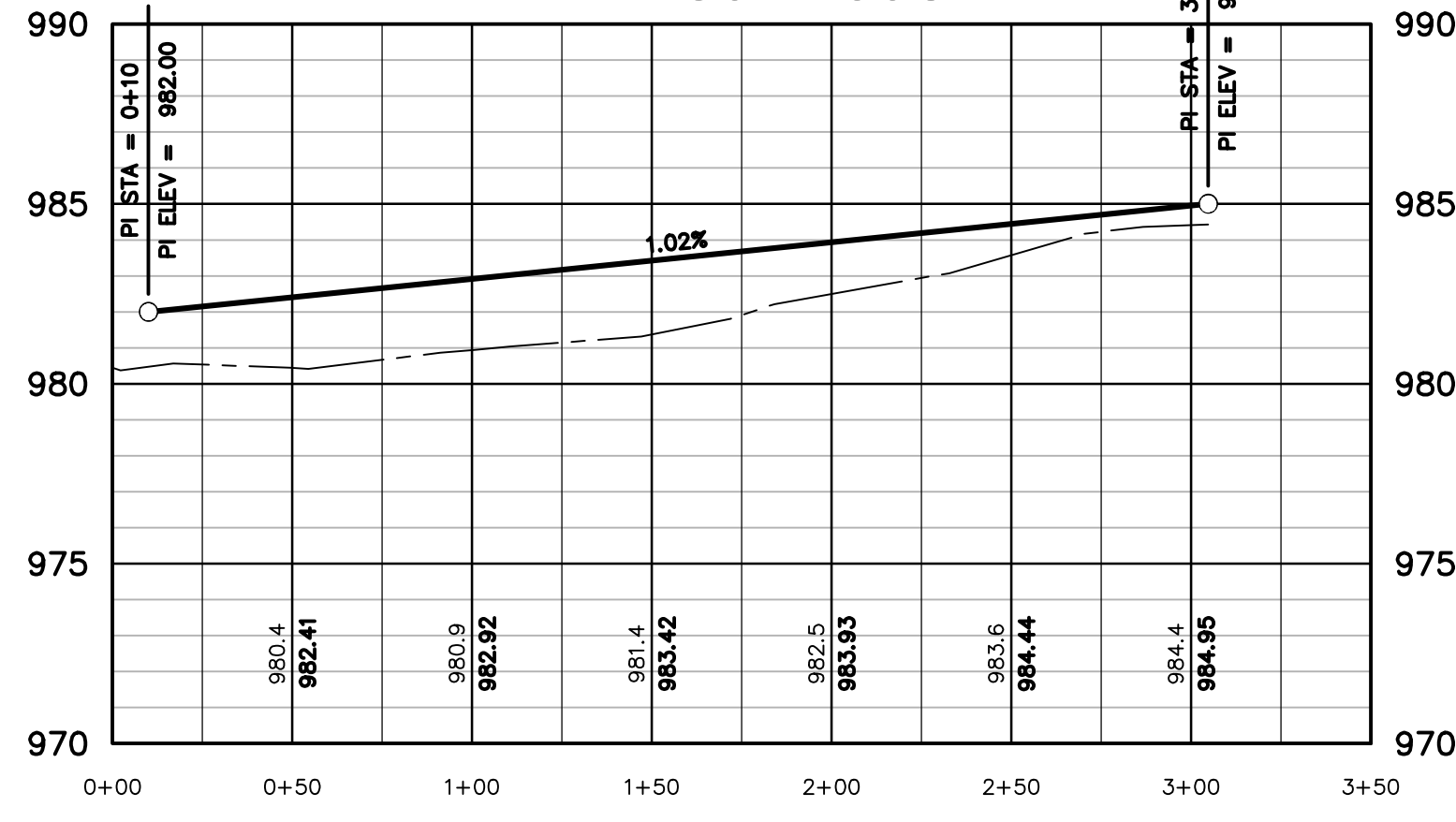
LAVENDER COURT



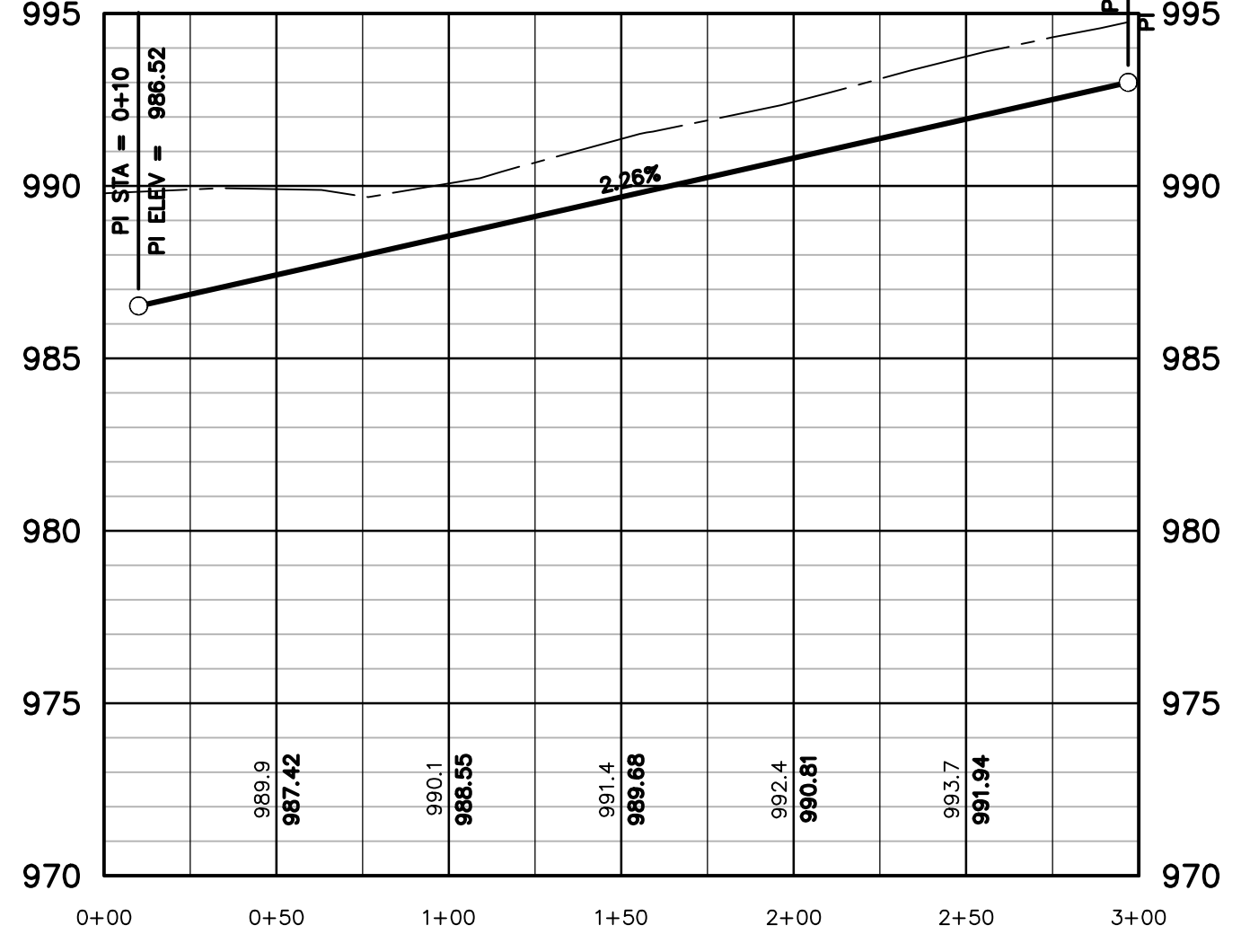
SNAPDRAGON COURT



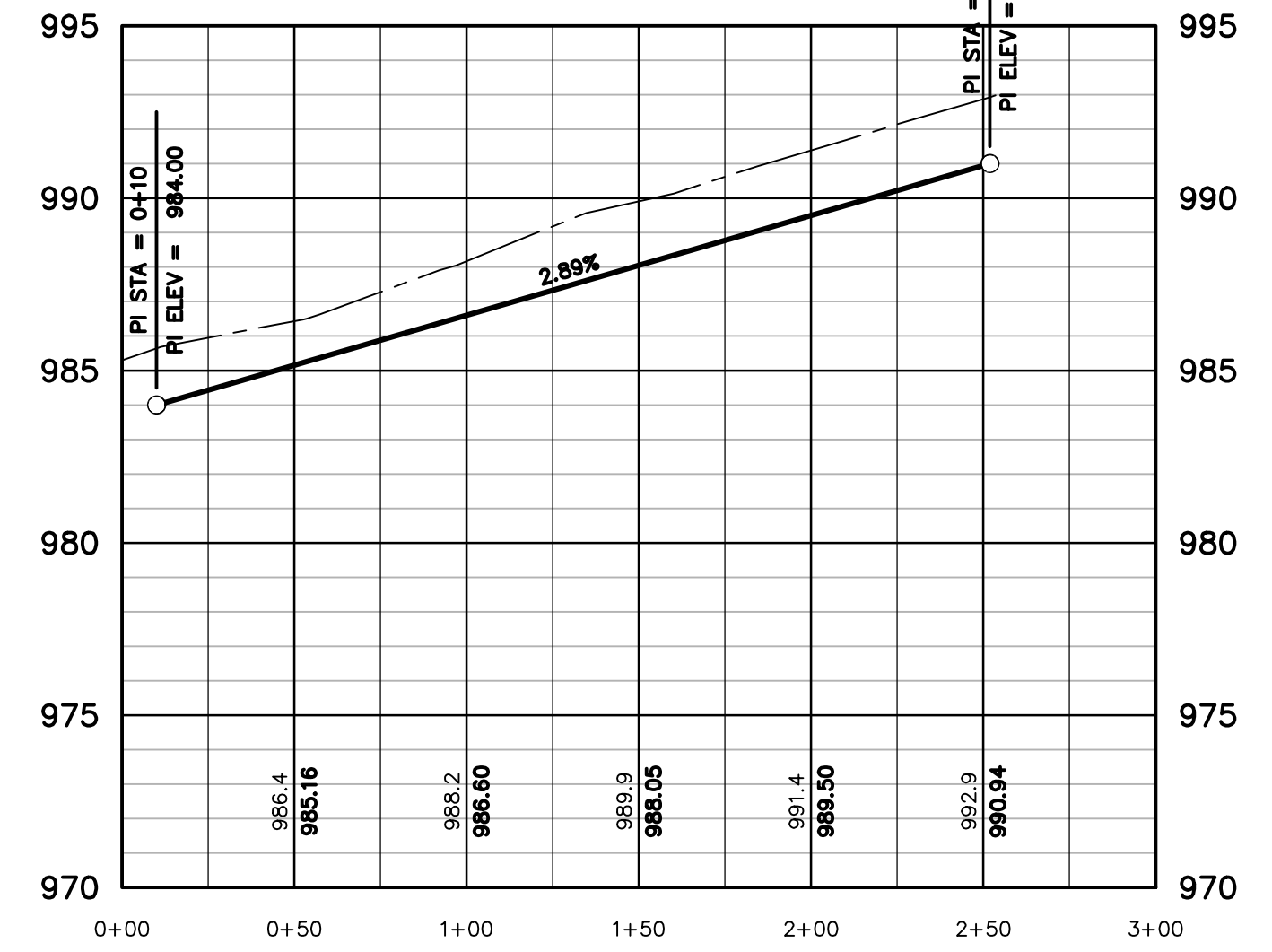
MARIGOLD COURT



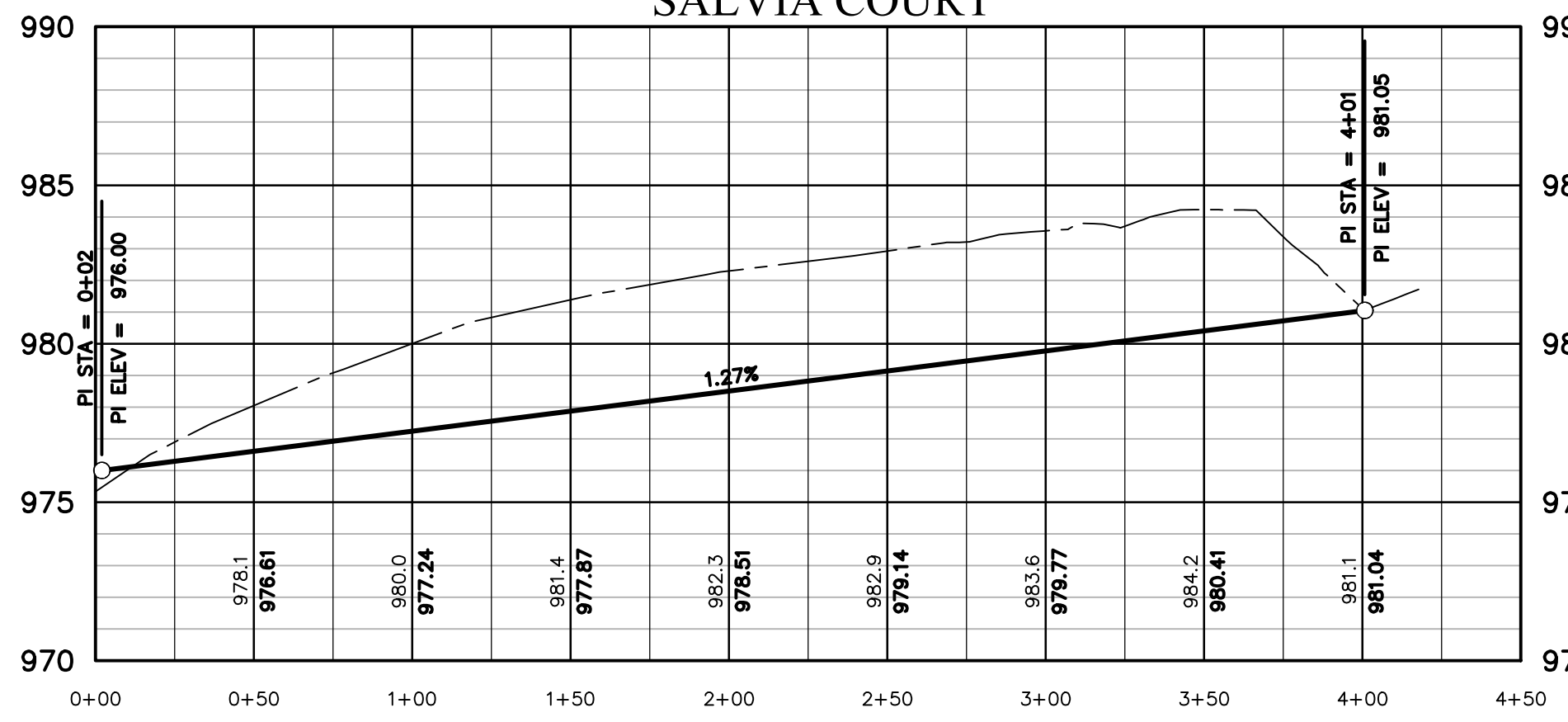
GOLDENROD COURT



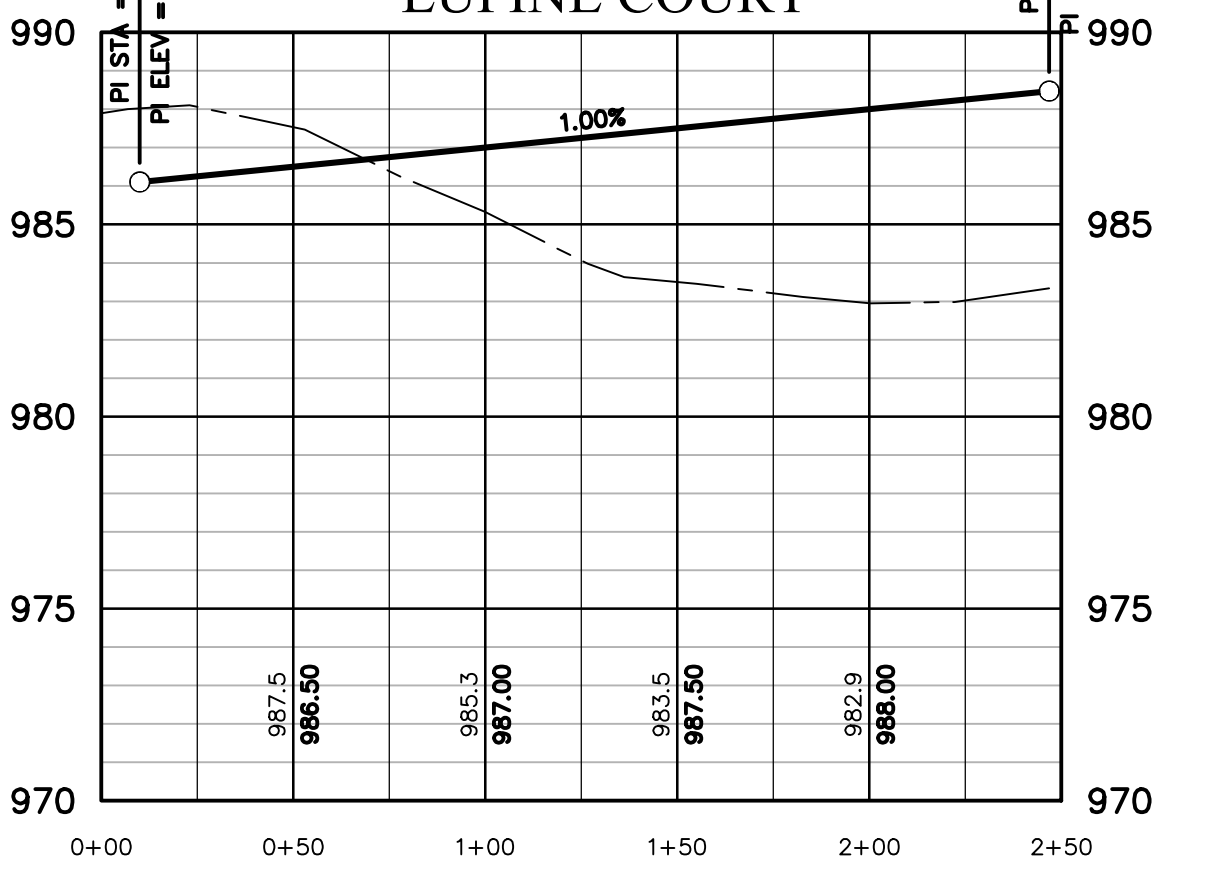
LARKSPUR COURT



SALVIA COURT

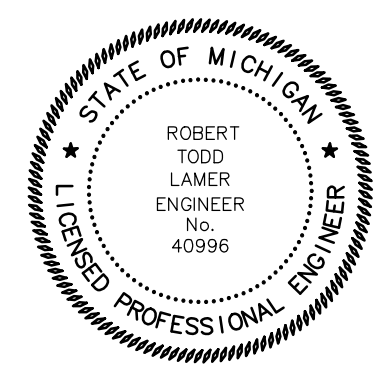


LUPINE COURT



Know what's below.
Call before you dig.

HORIZONTAL SCALE : 1"=50'
VERTICAL SCALE : 1"=5'



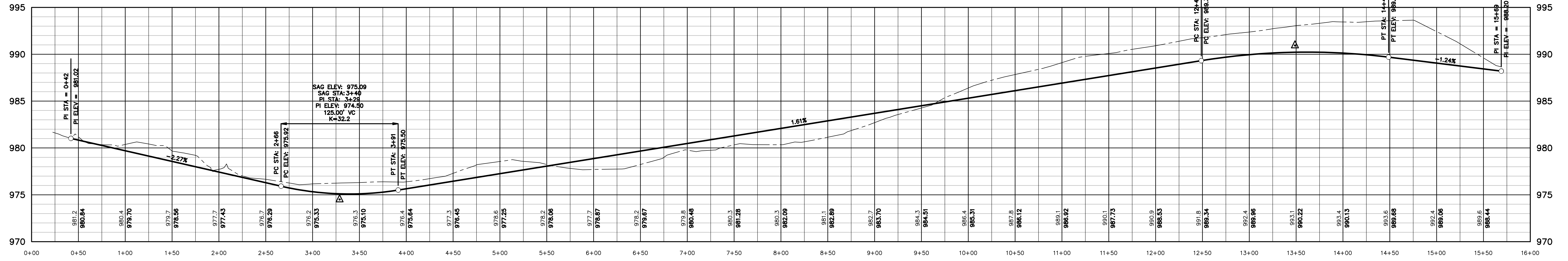
PROPOSED STREET PROFILES
RE: WILDFLOWER CROSSING PHASE 2
 FOR: WESTPHAL ASSOCIATES
 ATTN: DONALD WESTPHAL
 71 N. LIVERNOIS, SUITE A
 ROCHESTER, MI 48307
 PART OF SECTIONS 27 & 34, T2S, R4W, SHERIDAN TOWNSHIP, CALHOUN COUNTY, MICHIGAN

10/28/21	REV. PER EGLE COMMENTS	JLB	DRAWN BY: JDR	PROJ. ENG.: RTL
8/24/2021	REV. PER EGLE COMMENTS	JLB	APPROVED BY: VAD	PROJ. SURV.: VAD
DATE	REVISION	BY	FILE NO.: 211204E	DATE: 06/24/2021

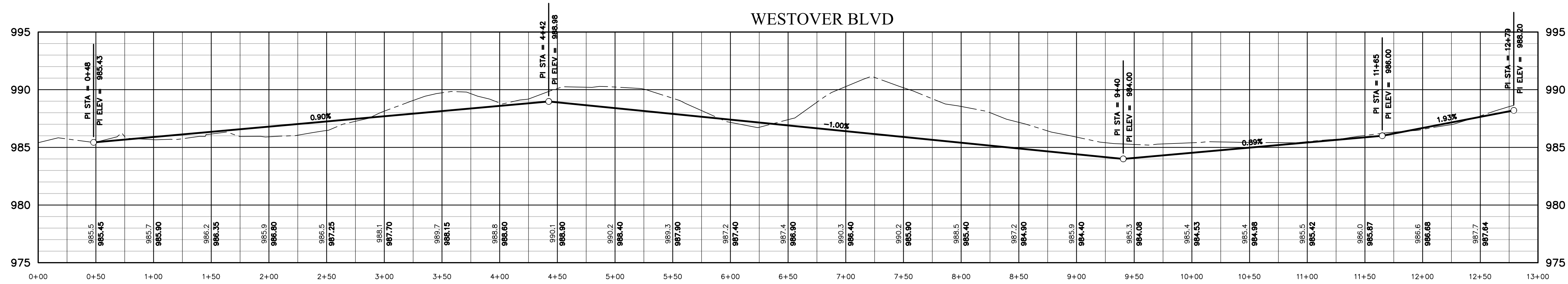
exxel engineering, inc.
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 5252 Clyde Park, S.W. • Grand Rapids, MI 49509
 Phone: (616) 531-3660 www.exxelengineering.com

SHEET 9 of 12

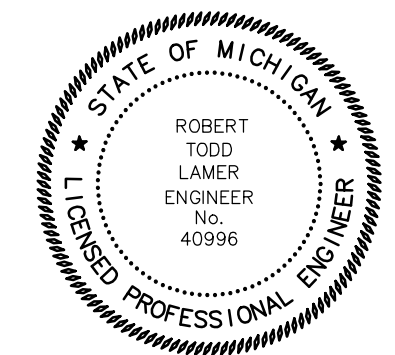
MEADOW VIEW CIRCLE



WESTOVER BLVD



HORIZONTAL SCALE : 1"=50'
VERTICAL SCALE : 1"=5'



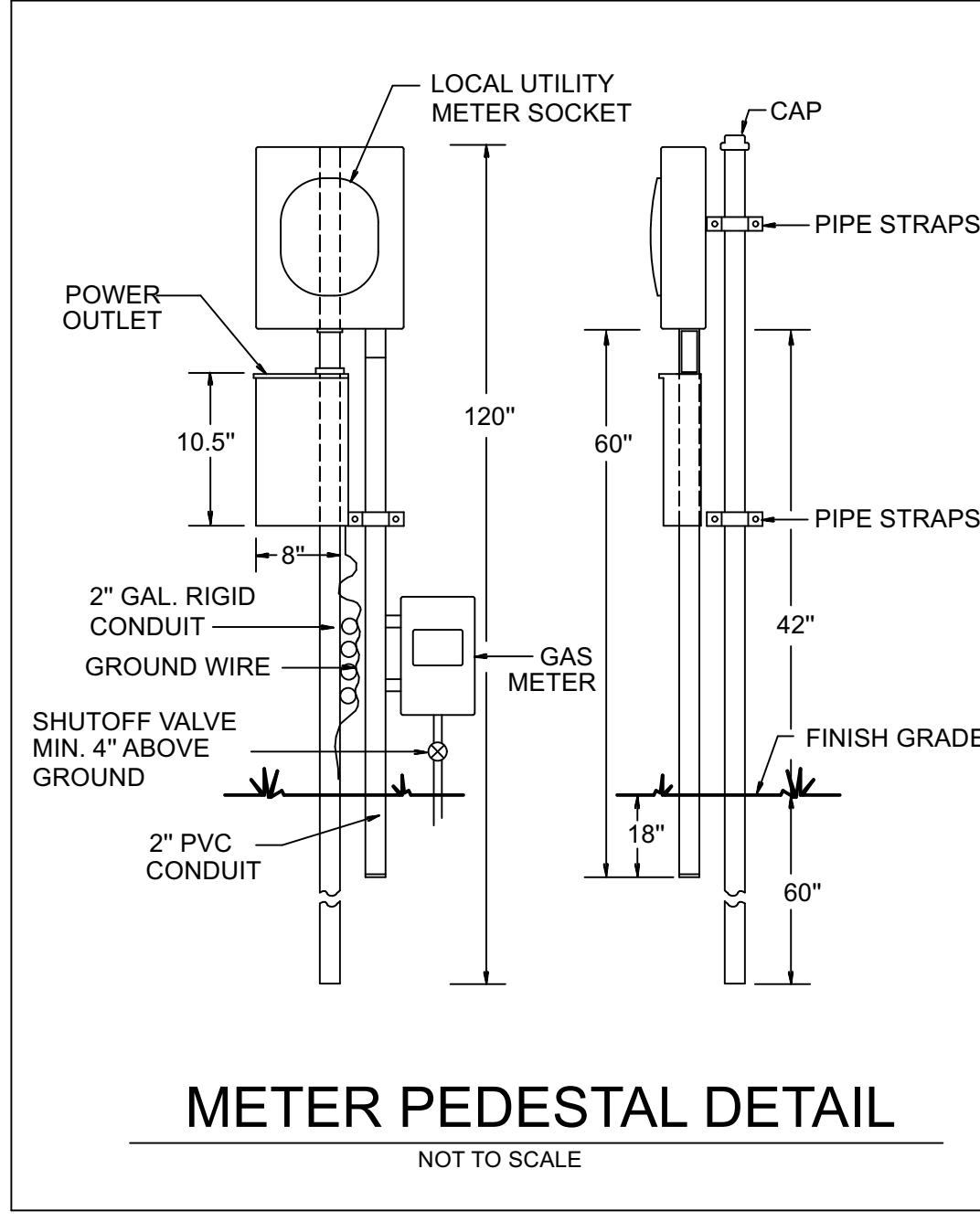
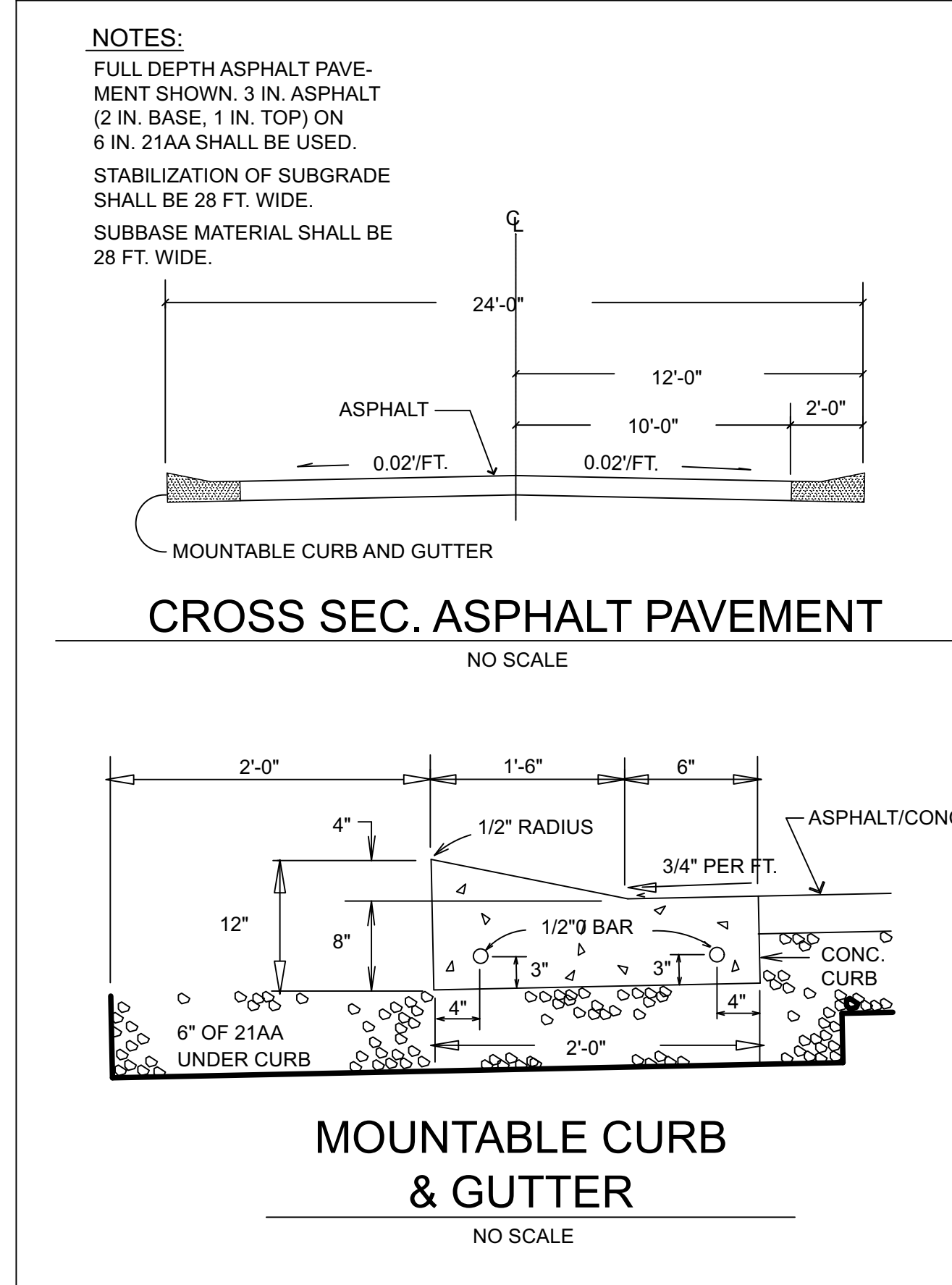
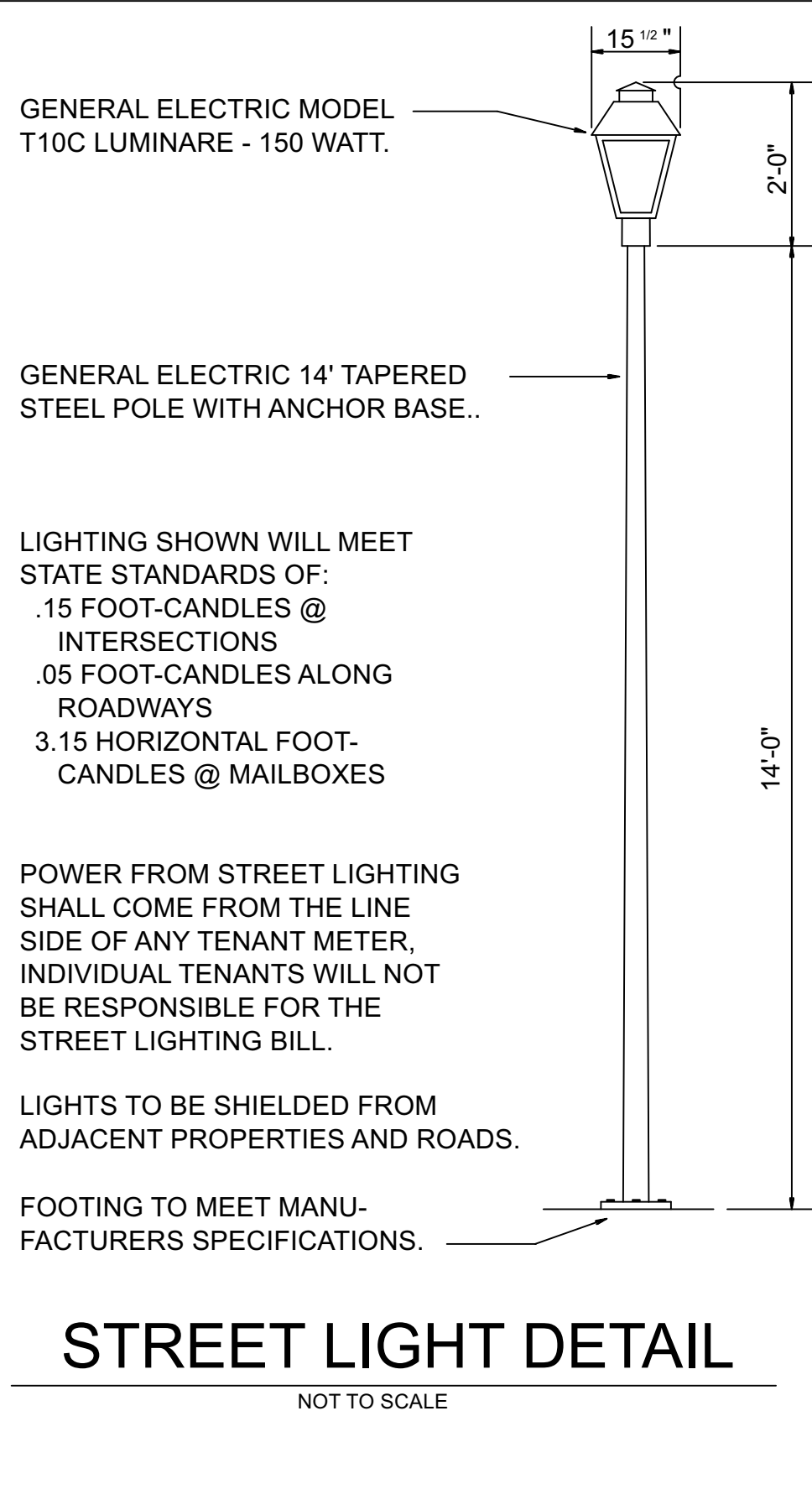
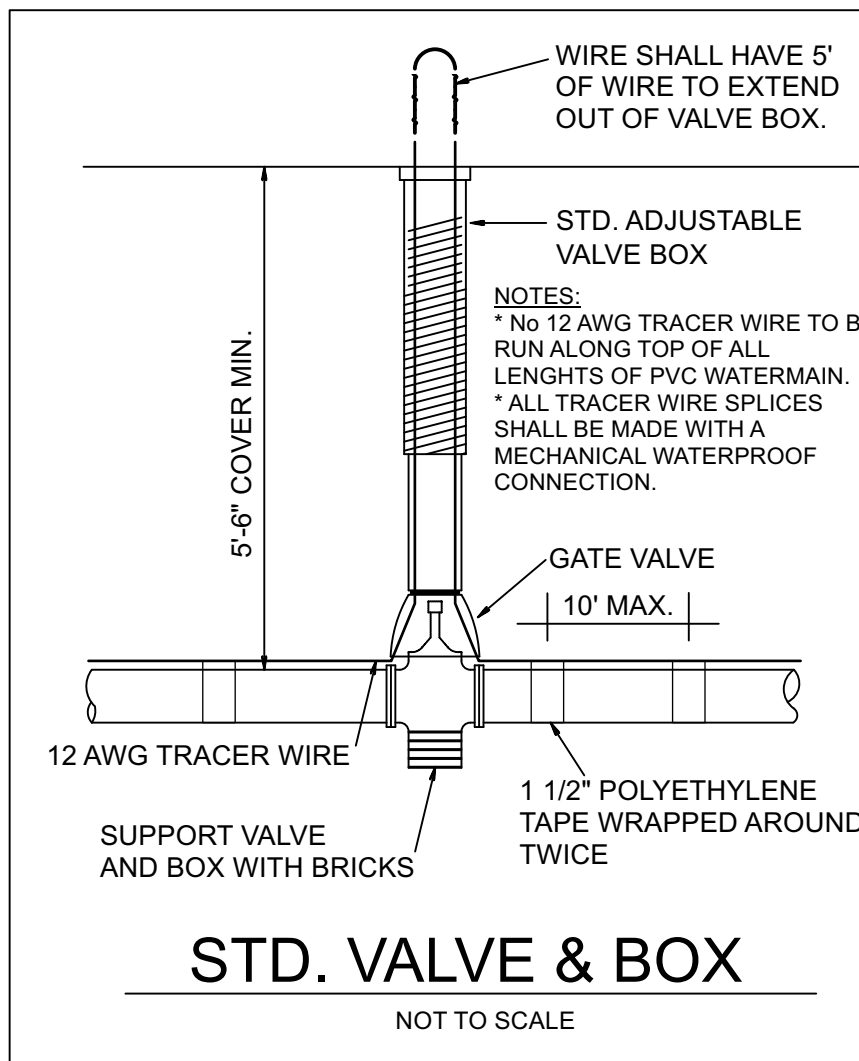
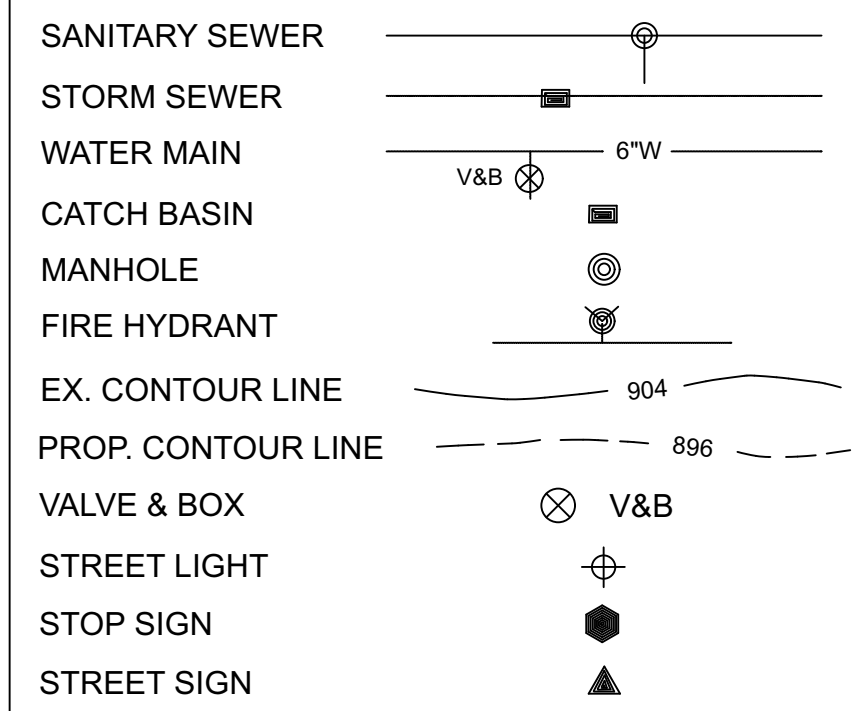
Know what's below.
Call before you dig.

PROPOSED STREET PROFILES
RE: WILDFLOWER CROSSING PHASE 2
 FOR: WESTPHAL ASSOCIATES
 ATTN: DONALD WESTPHAL
 71 N. LIVERNOIS; SUITE A
 ROCHESTER, MI 48307
 PART OF SECTIONS 27 & 34, T2S, R4W, SHERIDAN TOWNSHIP, CALHOUN COUNTY, MICHIGAN

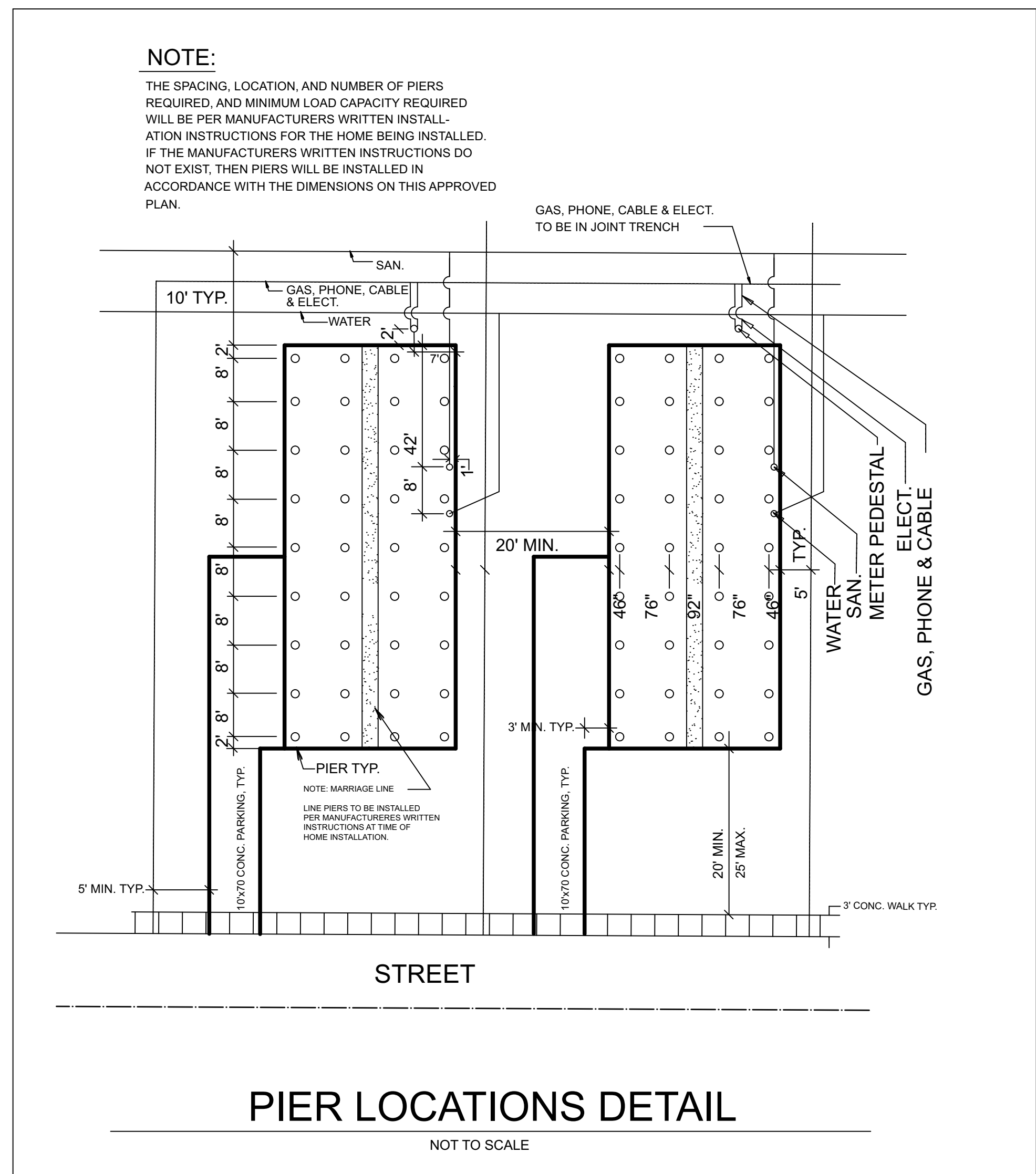
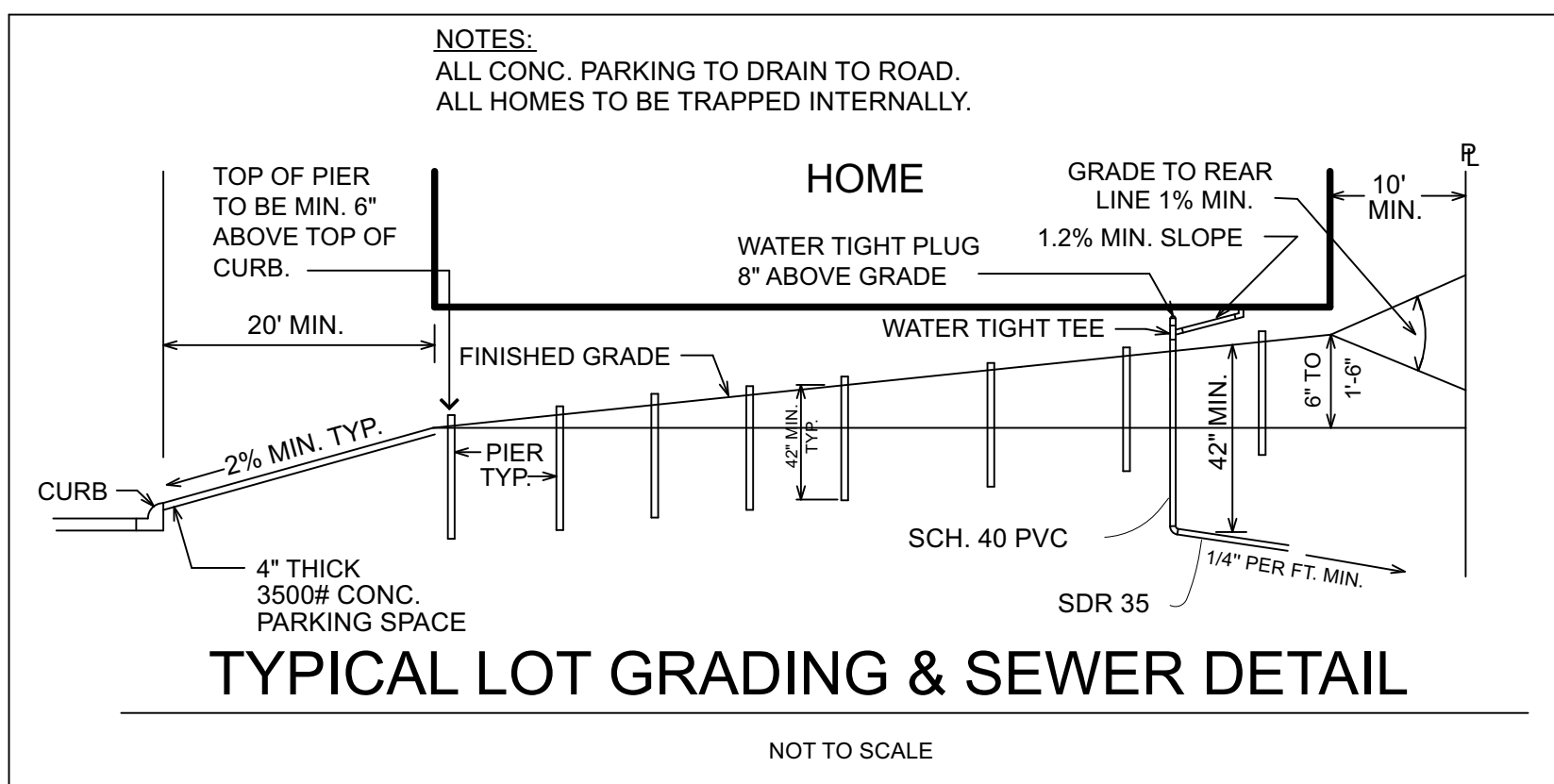
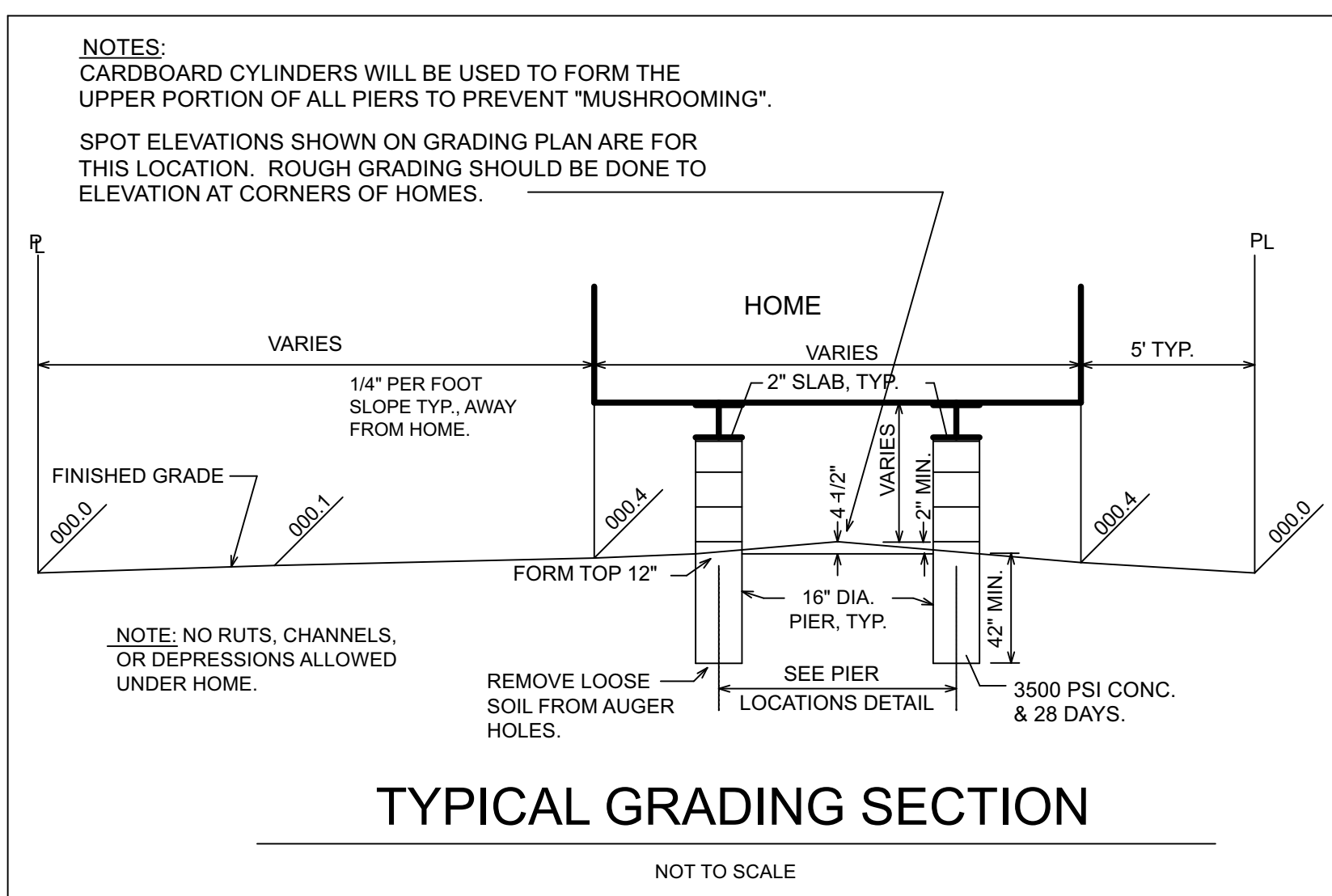
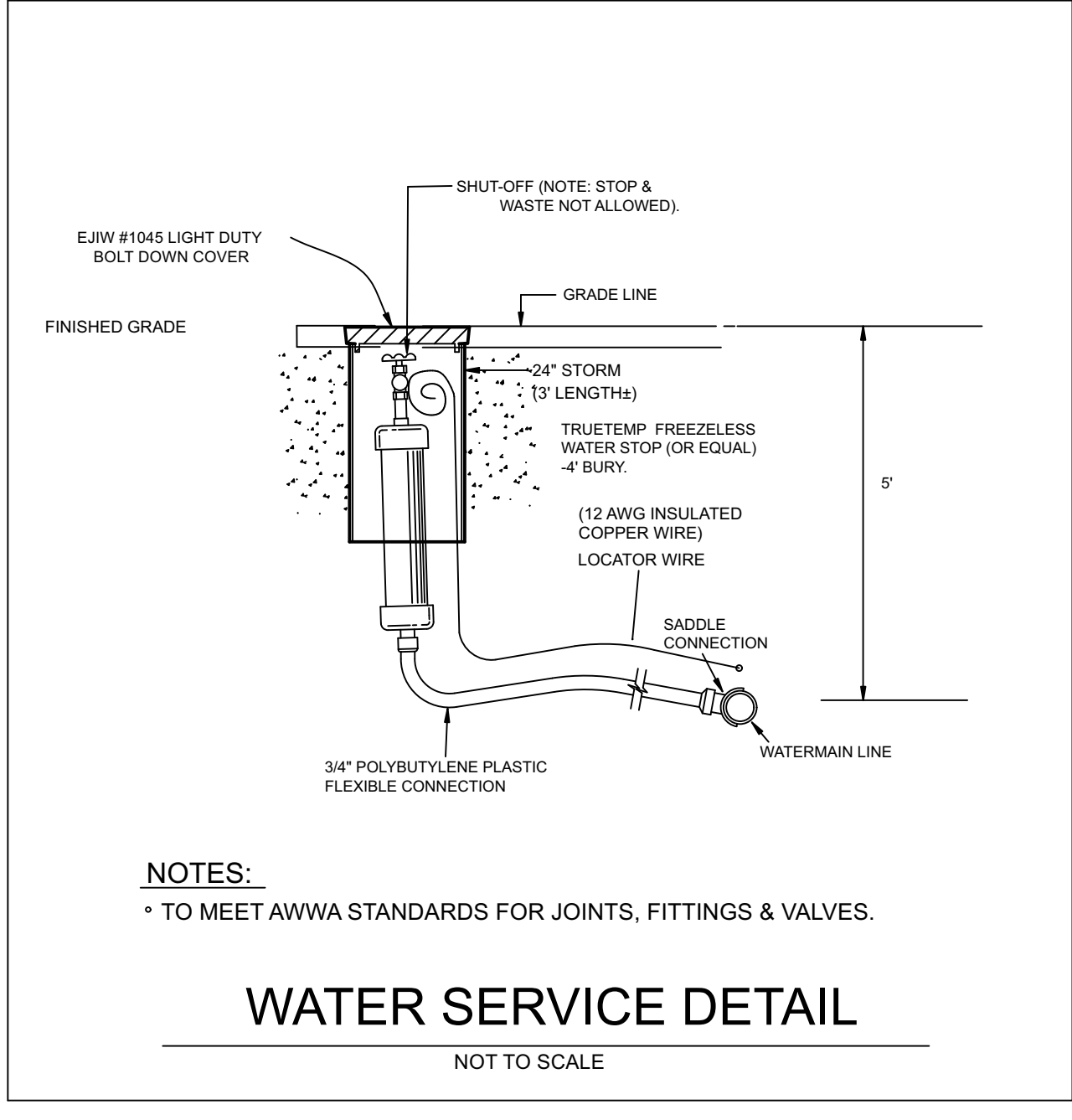
10/28/21	REV. PER EGLE COMMENTS	JUB	DRAWN BY: JDR	PROJ. ENG.: RTL	SHEET 10 of 12
8/24/2021	REV. PER EGLE COMMENTS	LJB	APPROVED BY: VAD	PROJ. SURV.: VAD	
DATE	REVISION	BY	FILE NO.: 211204E	DATE: 06/24/2021	

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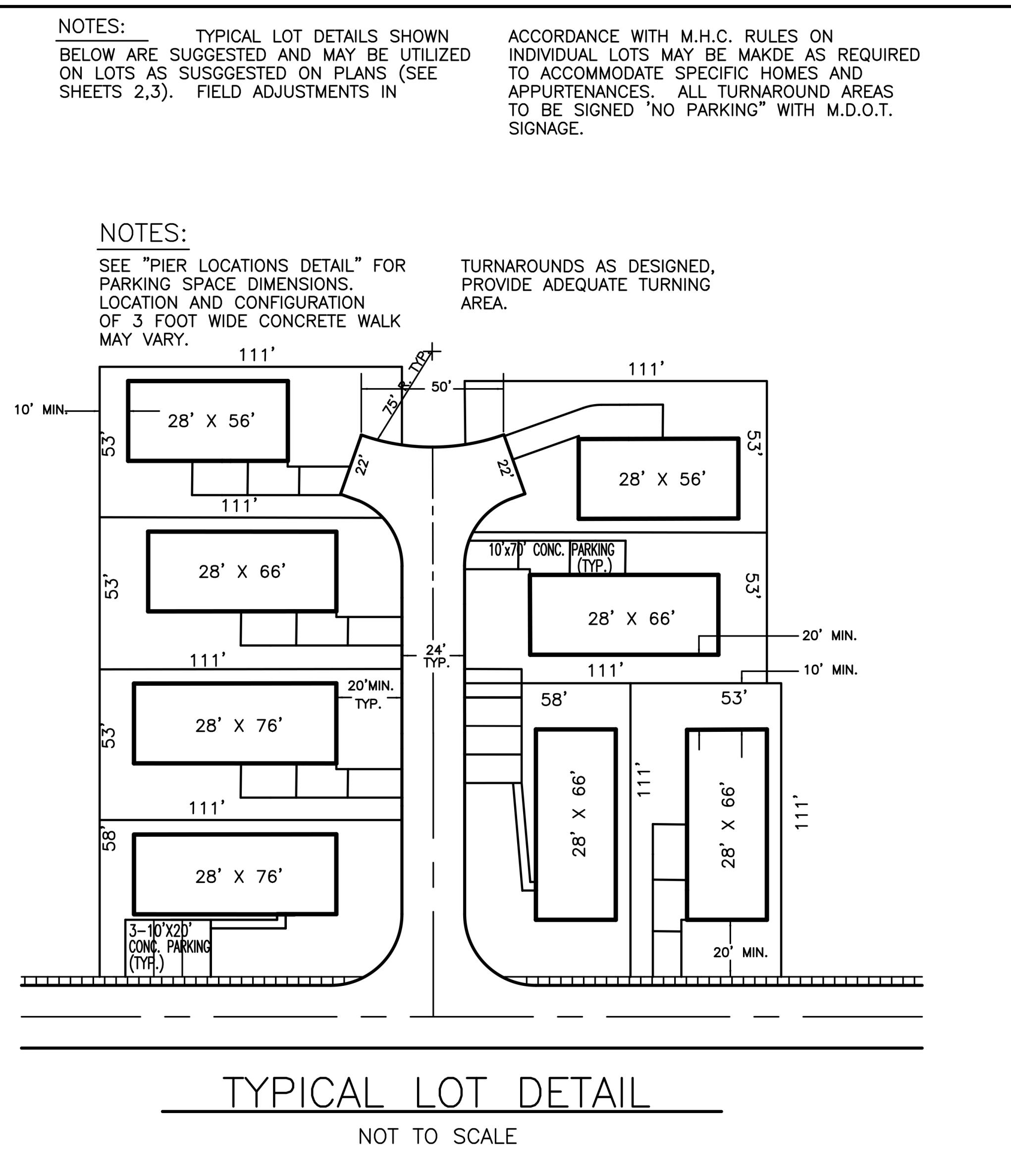
LEGEND



ELECTRIC CIRCUIT BREAKER SYSTEM @ 100 AMPS.
METER PEDESTAL MUST BE INSTALLED PLUMB.
GAS VALVE SHUT-OFF MIN. 4" ABOVE GRADE. GAS METER MIN. 12" ABOVE GRADE.
NO CONSUMERS POWER GAS MAIN OR SERVICE LEADS SHALL BE PLACED UNDER HOME.
STREET LIGHTING FROM LINE SIDE OF TENANT METER ONLY OR PARK METER.
ALL PRIMARY AND SECONDARY ELECTRICAL LINES, CATV, TELEPHONE, AND GAS LINES SHALL BE UNDERGROUND.
GAS: BY MICHIGAN GAS UTILITIES
ELEC.: BY CBPU-COLDWATER BOARD OF PUBLIC UTILITIES
PHONE: BY CATV: BY



NOTES:
SETBACKS
OFF-DOOR SIDE YARD SETBACK SHALL BE 5' TYPICALLY UNLESS OTHERWISE NOTED ON THE PLAN.
ALL MOBILE HOMES SHALL BE 20' MIN. FROM ANY PART OF AN ATTACHED OR DETACHED STRUCTURE OF AN ADJACENT MOBILE HOME WHICH IS USED FOR LIVING PURPOSES.
FRONT SETBACK SHALL BE TYPICALLY 20' FROM BACK OF WALK UNLESS OTHERWISE NOTED ON THE PLAN.
NO HOME SHALL BE CLOSER THAN 10' FROM THE PARKING SPACE OF AN ADJACENT HOME.
ALL ATTACHED OR DETACHED STRUCTURES OR ACCESSORIES WHICH ARE NOT USED FOR LIVING PURPOSES SHALL BE A MINIMUM 10' FROM A HOME.
ON-SITE DETACHED STORAGE SHEDS SHALL BE A MINIMUM OF 3 UNOBSTRUCTED FEET FROM THE HOME IT SERVES. UNLESS THE WALL ADJACENT TO THE HOME IS LINED WITH CLASS "A" FIRE-RESISTANT MATERIAL.
ALL HOMES AND THEIR ACCESSORIES MUST BE 7' MINIMUM FROM AN OFF-SITE PARKING BAY.
NO HOME SHALL BE LOCATED WITHIN 50' OF A PERMANENT BUILDING, OR WITHIN 100' OF A BASEBALL OR SOFTBALL FIELD.
NO HOME SHALL BE LOCATED WITHIN 25' OF A FENCE OF A SWIMMING POOL.
ALL HOMES AND THEIR ACCESSORIES MUST BE 25' MINIMUM FROM A MAN-MADE LAKE, OBJECT OR WATERWAY.
ALL HOMES AND THEIR ACCESSORIES MUST BE 10' MINIMUM FROM THE EDGE OF AN INTERNAL ROAD.
ALL HOMES, BUILDINGS, FACILITIES, AND OTHER STRUCTURES MUST BE 10' MINIMUM FROM PROPERTY BOUNDARY LINE, AND 50' MINIMUM FROM PUBLIC R.O.W. LINE.
CONCRETE
CONSTRUCTION MATERIALS FOR INTERNAL ROADS SHALL BE IN COMPLIANCE WITH AASHTO AND M.D.O.T. STANDARDS.
SITE CONCRETE SHALL BE INSTALLED FOLLOWING HOME PLACEMENT.
ALL CONCRETE WALKS, PATIOS, AND DRIVES SHALL BE PLACED ON VIRGIN OR 95% COMPACTED SOIL.
CONCRETE PARKING AND DRIVES SHALL BE 3500 PSI CONCRETE @ 3500 PSI @ 28 DAYS - 4" THICK.
CONC. SIDEWALKS AND DRIVES SHALL BE 4" THICK AT 3000 PSI @ 28 DAYS.
ALL PARKING BAYS SHALL HAVE A MINIMUM SLOPE OF 2.00% FROM THE FRONT OF THE HOME DOWN TO THE STREET.
NO FOUNDATION IS REQUIRED UNDER SHEDS.
ALL WALKS MEET MINIMUM BARRIER FREE REQUIREMENTS.
SURFACES OF ALL WALKS, PATIOS, AND PARKING SHALL FINISH FLUSH WITH EACH OTHER.
TOP OF ALL PIERS SHALL BE LEVEL. TOP OF PIER SHALL BE A MINIMUM OF 2" ABOVE GRADE.
GENERAL
NO PARKING IS ALLOWED ON THE STREET.
COMMUNITY TO BE SIGNED "NO PARKING ON ANY STREET".
NO HOME SHALL BE PLACED OVER A GAS LINE.
NO HOME SHALL BE PLACED UNDER EXISTING OVERHEAD WIRES.
ALL WORK SHALL BE PERFORMED IN A WORKMANSHIP LIKE MANNER.
PROPOSED EASEMENTS ARE FOR PUBLIC UTILITIES AND ARE GENERALLY LOCATED IN REAR OF LOTS. EASEMENTS WILL NOT BE DETERMINED UNTIL DESIGN IS COMPLETE AND UTILITIES INSTALLED.
COMMUNITY OPEN SPACE:
THE M.H.C. REQUIRES 2% (.02 X 69.02 ACRES) OR 1.38 ACRES IN THIS PHASE. 12% OR 5.54 ACRES HAS BEEN PROVIDED.



WILDFLOWER CROSSING (Formerly Westover)
MANUFACTURED HOME COMMUNITY
In Section 34, T2S, R4W
City of Albion, Calhoun County, Michigan

STANDARD DETAILS & GENERAL NOTES
Prepared for:
WESTUNN COMMUNITIES & FOUR LEAF PROPERTIES

REVISIONS	BY	DATE
3	DG	10-20-21
2	DG	9-10-21
1	JLB	6-24-21

exxel engineering, inc.
planners · engineers · surveyors
5252 Clyde Park, S.W. • Grand Rapids, MI 49509
Phone: (616) 531-3660 www.exxelengineering.com

Westphal Associates

Information furnished regarding this property is from sources deemed reliable. DCWestphal Associates has not made an independent investigation of these sources and no warranty is made as to their accuracy or completeness. This plan is conceptual, subject to change, and does not represent any regulatory approval.
October 26, 2021 11 of 12

WATER MAIN DETAILS & NOTES

FOR PLUGS

Ø	1	2	3	4
20"	6.5"	3.5"	2.5"	
18"	6"	4"	2.5"	
12"	4"	3"	2.5"	
10"	3"	2"	2.5"	
8"	2"	2"	1.5"	
6"	2"	1.5"	2"	1.25"

FOR TEES

Ø	A	B	C	E
20"	6.0"	4.5"	3.0"	3"
18"	4.4"	4.4"	2.5"	2.75"
12"	4"	3"	2.5"	2.5"
10"	3"	2"	2"	2.25"
8"	2"	2"	2"	2.25"

THRUST BLOCK DETAILS

NOT TO SCALE

STANDARD BEDDING FOR WATER PIPE

NOT TO SCALE

WATER MAIN NOTES:

- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL ATTEND A PRE-CONSTRUCTION MEETING AT A TIME AND PLACE AS ARRANGED BY THE OWNER, IN WHICH VARIOUS UTILITY COMPANIES AND GOVERNMENTAL AGENCY REPRESENTATIVES WILL BE PRESENT.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR MUST HAVE IN HIS POSSESSION A COPY OF A PERMIT FROM EGLE - MICHIGAN DEPARTMENT OF ENVIRONMENT, GREAT LAKES AND ENERGY.
- PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL TELEPHONE MISS DIG (1-800-482-7171) FOR THE LOCATION OF UNDERGROUND FACILITIES, AND SHALL ALSO NOTIFY REPRESENTATIVES OF ANY OTHER FACILITIES, LOCATED IN THE VICINITY OF THE WORK, WHICH MAY NOT BE HANDLED BY MISS DIG.
- ALL WATER SUPPLY SYSTEM CONSTRUCTION SHALL CONFORM TO ACT 399, 10 STATE STANDARDS AND SUGGESTED PRACTICES.
- UNLESS OTHERWISE INDICATED IN A WATER MAIN PROFILE, WATER MAIN SHALL BE INSTALLED WITH A MINIMUM COVER OF 5'-12" FEET AS MEASURED FROM THE PERMANENT PAVEMENT CENTERLINE (OR EXISTING ROAD ELEVATION IF THE PERMANENT PAVEMENT ELEVATION IS NOT KNOWN) ELEVATION OR EXISTING GROUND AT THE WATER MAIN, WHICHEVER RESULTS IN A LOWER ELEVATION. WHERE THE WATER MAIN CROSSES SEWERS (ABOVE OR BELOW) A MINIMUM CLEARANCE OF 18" SHALL BE MAINTAINED BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF THE SEWER AND FIVE (5) FEET UNDER DITCHES. WHERE WATER MAIN MUST CROSS OTHER UTILITIES OR DITCHES PLACE ONE FULL LENGTH OF WATER PIPE SO JOINTS WILL BE AS FAR FROM SEWER AS POSSIBLE AND USE 22-1/2" VERTICAL BENDS AND ANCHORAGES ACCORDING TO STANDARD DETAILS.
- PLACE CONCRETE THRUST BLOCKS FOR ALL BENDS, CAPS, PLUGS OR TEES ACCORDING TO THE STANDARD DETAILS. CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 2500 PSI AT 28 DAYS.
- UNLESS OTHERWISE INDICATED ON THE PLANS, ALL WATER MAIN BEDDING AND BACKFILL ACCORDING TO AWWA C-605
- UNLESS OTHERWISE INDICATED ON THE PLANS, ALL VALVE BOX TOPS SHALL BE SET TO THE ELEVATION PROPOSED AS FINISH GROUND ELEVATION ON PLANS.
- UNLESS OTHERWISE NOTED, HYDRANTS SHALL BE "T" TYPE AND SHALL BE SET TO THE ELEVATION PROPOSED ON PLANS.
- STERILIZATION OF WATER MAINS SHALL BE ACCORDING TO ACT 399, 10 STATE STANDARDS AND SUGGESTED PRACTICES. IN ACCORDANCE WITH AWWA C-651, 2 WATER BACTERIOLOGICAL SAMPLES MUST BE COLLECTED 16 HOURS APART FOR EVERY 1,200 FEET, PLUS ONE SET FROM THE END OF THE LINE AND AT LEAST ONE FROM EACH BRANCH GREATER THAN ONE PIPE LENGTH. BACTERIOLOGICAL SAMPLES MUST BE ANALYZED BY A STATE OF MICHIGAN CERTIFIED LAB.
- AFTER THE WATER MAIN HAS BEEN LAID AND BACKFILLED, THE MAIN SHALL BE HYDROSTATICALLY TESTED FOR LEAKAGE PER AWWA C-605 AT A PRESSURE OF 150 P.S.I. THE FULL PRESSURE LOSS SHALL NOT EXCEED 5 PSI FOR A PERIOD OF AT LEAST 2 HOURS. THE MAXIMUM PERMISSIBLE LEAKAGE UNDER HYDROSTATIC TEST PRESSURE SHALL NOT EXCEED A RATE OF 10.5 GALLONS PER INCH DIAMETER OF MAIN, PER MILE OF PIPE, IN 24 HOURS.
- WATER SERVICE JACKETS SHALL BE AS DETALLED.
- MATERIALS FOR WATER MAINS SHALL BE AS FOLLOWS: 3" DIA. TO 8" DIA. WATER MAINS SHALL BE PVC SDR 18 PLASTIC PIPE SIMILAR AND EQUAL TO "BELTITE" AS MANUFACTURED BY CLOW CORPORATION. ALL PIPE SHALL MEET THE REQUIREMENTS OF ASTM D-1784 AND ASTM D-2241-05 AND SHALL BE 160# N.S.F. 61 APPROVED FOR POTABLE WATER SUPPLY.
- 3/4" DIAMETER WATER SERVICE RISERS AND LEADS SHALL BE 3/4" PVC 160# N.S.F. APPROVED FOR POTABLE WATER SUPPLY.
- ALL VALVES SHALL CONFORM TO AWWA C 915 AND BE SIMILAR AND EQUAL TO CLOW AWWA (F-685 PVC) GATE VALVES, NON-RISING STEM WITH "O" RING SEAL OR EQUAL. ALL VALVES SHALL OPEN COUNTER-CLOCKWISE. THEY SHALL BE PROVIDED WITH APPROVED COMPATIBLE THREE (3) PIECE ADJUSTABLE CAST IRON VALVE BOX WITH COVERS.
- HYDRANTS SHALL CONFORM TO AWWA C 502 AND BE AMERICAN DARLING B-62-B TRAFFIC MODEL HYDRANTS OR EAST JORDAN IRON WORKS SBR, OR US PIPE METROPOLITAN 250 TRAFFIC MODEL HYDRANT WITH:
 - 5" OR 6" BURY (AS REQUESTED) FOR SMALLER THAN 12" WATER MAIN.
 - BURY FOR 12" AND LARGER WATER MAIN.
 - OPEN RIGHT.
 - 5 1/4" VALVE OPENING.
- CONCRETE THRUST BLOCKS SHALL BE PLACED AT ALL BENDS IN THE PIPE LINE AND AT ALL TEE AND BRANCH CONNECTIONS.
- THE WATER MAIN INSTALLATION, PRESSURE TESTING, DISINFECTION, SAMPLING AND ANY CORRECTIVE ACTION SHALL CONFORM TO ACT 399, 10 STATE STANDARDS AND SUGGESTED PRACTICES. AWWA C-605 FOR PVC INSTALLATION AND C-600 FOR DUCTILE IRON INSTALLATION. WITNESSING OF THE TESTING AND RESPONSIBILITY FOR INSPECTION OF THE WATER MAIN WILL BE BY THE LOCAL HEALTH OFFICER AND DEVELOPERS ENGINEER.

DISINFECTION AND BACTERIOLOGICAL SAMPLING SHALL MEET CURRENT AWWA C651 STANDARDS. FLUSH WATER MAIN AT HYDRANTS PER AWWA C651 AT 3.0 FTS.
- ALL PVC WATER MAIN JOINTS AND FITTINGS SHALL CONFORM TO AWWA C-111/21.11 AND AWWA C-110/ASA 21.10. JOINTS SHALL BE SDR 26 RATED AT 160 PSI WITH APPROVED "O" RING JOINTS. A MINIMUM OF 1'-6" VERTICAL CLEARANCE AND A MINIMUM OF 10'-0" HORIZONTAL CLEARANCE SHALL BE REQUIRED BETWEEN WATER AND SEWER PIPE.
- FIRE HYDRANTS SHALL BE STANDARD HYDRANTS WITH TWO 2-1/2 INCH BREAKER NOZZLED (DETROIT STANDARD AS MANUFACTURED BY MUELLER, OR EQUAL) PUMPAWAY TYPE.

4" PRECAST SANITARY MANHOLE DETAIL
NOT TO SCALE

SANITARY SEWER CLEAN-OUT DETAIL
NOT TO SCALE

SANITARY SEWER DETAILS & NOTES

SANITARY LATERAL DETAIL
NOT TO SCALE

STANDARD CLASS "B" PIPE BEDDING DETAIL
NOT TO SCALE

GENERAL SANITARY SEWER NOTES:

- THE CONTRACTOR SHALL ATTEND A PRE-CONSTRUCTION MEETING AT A TIME AND PLACE AS ARRANGED BY THE OWNER IN WHICH VARIOUS UTILITY COMPANIES AND REQUIRED GOVERNMENTAL AGENCY REPRESENTATIVES WILL BE PRESENT.
- PRIOR TO CONSTRUCTION OF ANY SANITARY SEWERS THE CONTRACTOR MUST HAVE IN HIS POSSESSION A COPY OF A PERMIT FROM EGLE - MICHIGAN DEPARTMENT OF ENVIRONMENT, GREAT LAKES AND ENERGY.
- ALL SANITARY SEWER CONSTRUCTION SHALL CONFORM TO 10 STATES STANDARDS AND SUGGESTED PRACTICES RECOMMENDED FOR WATER WORKS.
- ALL MANHOLES SHALL BE PRECAST CONCRETE AND SHALL CONFORM TO ASTM SPEC. C-478 OR FIBERGLASS REINFORCED PLASTIC CONFORMING TO ASTM D-3753-79.
- ALL SANITARY SEWER BEDDING SHALL BE STANDARD BEDDING UNLESS OTHERWISE SHOWN ON THE PLANS.
- MATERIALS FOR SANITARY SEWERS SHALL BE AS FOLLOWS: 4", 6" AND 8" DIAMETER SEWER SHALL BE TYPE SDR85 SEWER PIPE. MEETING REQUIREMENTS OF ASTM D-3034 (UN-8-4) WITH ELASTOMETRIC GASKET (ASTM F-477) JOINTS IN ACCORDANCE WITH THE PIPE MANUFACTURER'S RECOMMENDATION AND THE ENGINEER'S APPROVAL. ALL OTHER MATERIALS MUST BE APPROVED BY BOTH THE ENGINEER AND IN ACCORDANCE WITH THE 10 STATES STANDARDS AND SUGGESTED PRACTICES FOR WATER WORKS.
- TRAPS AND RISERS FOR SANITARY SEWERS SHALL BE APPROVED SCHEDULE 40 PVC OR STANDARD STRENGTH CAST IRON SOIL PIPE, EQUIPPED WITH APPROVED TRANSITION TO SANITARY SEWER PIPE MATERIAL. RISERS SHALL BE FURNISHED WITH A REMOVABLE GAS TIGHT SEWER PLUG TO BE IN PLACE WHEN SEWER RISER IS NOT IN SERVICE. RISERS SHALL BE CONSTRUCTED AS SHOWN ON THE PLAN DETAIL.
- MANHOLES SHALL BE CONSTRUCTED AS SHOWN ON THE PLAN DETAIL. PRECAST MATERIALS SHALL MEET THE REQUIREMENTS OF ASTM C-76-11 FOR CONCRETE PIPE.
- CLEANOUTS FOR SANITARY SEWER SHALL BE CONSTRUCTED AS SHOWN ON PLAN DETAIL.
- SANITARY SEWERS SHALL BE LAID IN A CAREFULLY PREPARED TRENCH BOTTOM WHICH CONFORMS TO THE CONTOUR OF THE LOWER 1/3 OF THE PIPE BARREL. PIPE SHALL NOT BE LAID ON DISTURBED SOIL. IF THE SUB GRADE IS DISTURBED, TAMPED FILL SHALL BE USED TO PROVIDE A FIRM FOUNDATION ON WHICH TO LAY THE PIPE.
- BACKFILL MATERIAL SHALL BE SELECTED GRANULAR EXCAVATED MATERIAL TAMPED TO A LEVEL OF ONE (1) FOOT ABOVE THE TOP OF THE PIPE. THE REMAINDER OF THE BACK FILLING SHALL BE DONE WITH AVAILABLE EXCAVATED MATERIAL, EXCEPT FOR THE PORTIONS OF TRENCH WHICH WILL BE COVERED BY MOBILE HOME PADS, SIDEWALKS, CONCRETE STREETS OR PATIOS WHICH SHALL BE BACKFILLED WITH SELECTED GRANULAR EXCAVATED MATERIAL COMPACTED IN 6" LAYERS FOR ITS ENTIRE DEPTH.
- NO GROUND WATER, STORM WATER, CONSTRUCTION WATER, DOWN SPOUT DRAINAGE, WEEP TILE DRAINAGE SHALL BE ALLOWED TO ENTER ANY SANITARY SEWER INSTALLATION.
- NO SEWER INSTALLATION OR PORTION THEREOF SHALL HAVE AN INFILTRATION EXCEEDING 200 GALLONS PER PER INCH DIAMETER PER MILE OF PIPE PER TWENTY FOUR (24) HOUR PERIOD.
- AT ALL CONNECTIONS TO AN EXISTING SANITARY SEWER, OR EXTENSION THEREO, A TEMPORARY WATERTIGHT BULKHEAD WITH A CAPPED ONE (1) INCH DIAMETER PIPE TO PERMIT MEASURING INFILTRATION SHALL BE PROVIDED. A TEMPORARY 12" DEEP MANHOLE SUMP SHALL BE PROVIDED IN THE FIRST MANHOLE ABOVE THE CONNECTION OR AT A LOCATION AS INDICATED ON THE PLANS, WHICH WILL BE FILLED IN TO FORM SMOOTH AND UNIFORM CONCRETE FLOW CHANNELS AFTER THE SUCCESSFUL COMPLETION OF ANY INFILTRATION-EXFILTRATION TESTS, AT WHICH TIME THE TEMPORARY WATERTIGHT BULKHEAD SHALL BE REMOVED. (MANHOLE #2)
- WHEREVER EXISTING MANHOLES OR SEWER PIPE ARE TO BE TAPPED, DRILL HOLES AT 4" CENTER TO CENTER AROUND THE PERIPHERY OF THE OPENINGS, TO CREATE A PLANE OF WEAKNESS JOINT, BEFORE BREAKING OUT SECTIONS. NON-SHRINK GROUT SHALL BE USED TO SEAL THE OPENING AND A CONCRETE COLLAR 1/2" THICK SHALL BE POURED AROUND THE PIPE AND SHALL BE EXTENDED TO THE FIRST JOINT.

STORM SEWER DETAILS & NOTES

STANDARD CATCH BASIN
NOT TO SCALE

4" PRECAST OR CONC. BLOCK STORM MANHOLE/ STORM CATCHBASIN DETAIL
NOT TO SCALE

WILDFLOWER CROSSING (Formerly Westover)
MANUFACTURED HOME COMMUNITY
In Section 34, 2S, R4W
City of Albion, Calhoun County, Michigan

SAN. SEWER, STORM SEWER, & WATER MAIN DETAILS & GENERAL NOTES
Prepared for:
WESTUNN COMMUNITIES & FOUR LEAF PROPERTIES

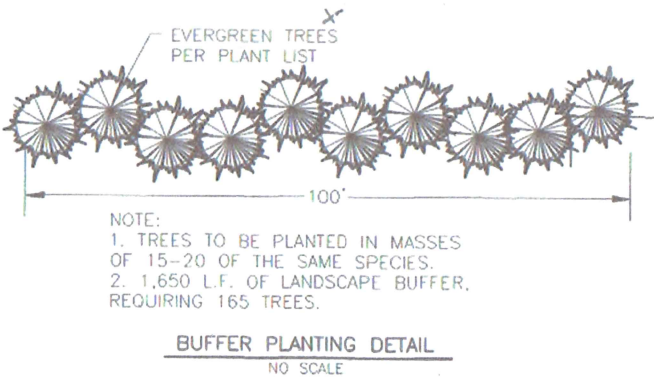
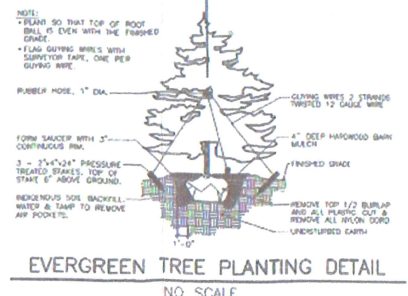
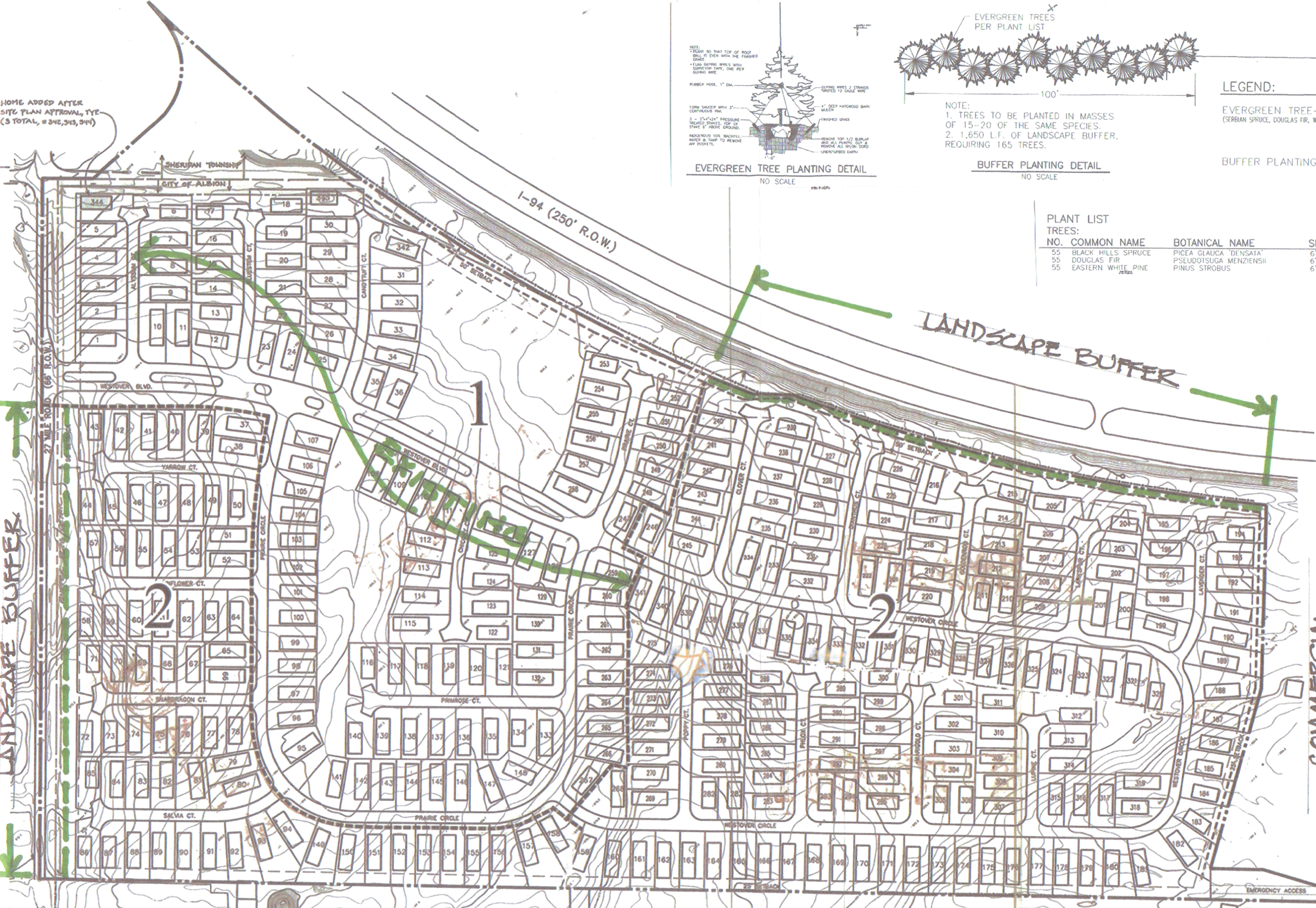
REVISIONS	BY	DATE
3	DG	10-20-21
2	DG	9-10-21
1	JLB	6-24-21

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Phone: (616) 531-3660 www.exxelengineering.com

Westphal Associates
October 26, 2021

Page 28 of 28

HOME ADDED AFTER
SITE PLAN APPROVAL, TYP
(3 TOTAL, # 342, 343, 344)



LEGEND:

EVERGREEN TREE—
(SERBIAN SPRUCE, DOUGLAS FIR, WHITE PINE)

LANDSCAPE BUFFER—

PLANT LIST
TREES:

NO.	COMMON NAME	BOTANICAL NAME	SIZE	SPACING
55	BLACK HILLS SPRUCE	PICEA GLAUCA 'DENSATA'	6'-8' HT. B.&B.	11' O.C.
55	DOUGLAS FIR	PSEUDOTSUGA MENZIENSI	6'-8' HT. B.&B.	11' O.C.
55	EASTERN WHITE PINE	PINUS STROBUS	6'-8' HT. B.&B.	11' O.C.

OWNER AND DEVELOPER:
WESTURN COMMUNITIES, L.L.C.
R.D. 1, BOX #291
LONG NECK, DELAWARE 19966



SANITARY SEWER AND WATER MAIN CASSEMENT

EMERGENCY ACCESS

BEMER ST.

MAGNOLIA

3

Questions for the Bemer St Project from the DPW

How much water will they use per day? (average & max amounts)

What will be the max water demand at any given time? (X gallons per minute)

Will all of the water used be returned to us as wastewater? If not, how much will?

What will be in the wastewater? (chemicals, pH, BOD, temp, **nutrients**, FOG)

Do they plan on cutting the curb for new driveways/roadways? If so, they need a permit from DPW.

Are they running the stormwater into our system or their own retention pond?



memo

Albion Economic Development Corporation

To: Albion Planning Commission

From: Amy Deprez, President

CC: Albion EDC Board of Directors

Date: March 15, 2022

Re: Briefing Memo – 500 Bemer Street, Albion – Special Use Permit

Please accept this memo in support of the special use permit for 500 Bemer Street, Albion MI 49224.

Background

The Albion EDC has worked with Don Westphal since early in 2017 to identify a developer interested in breathing life into the shuttered Westover Properties manufactured home park.

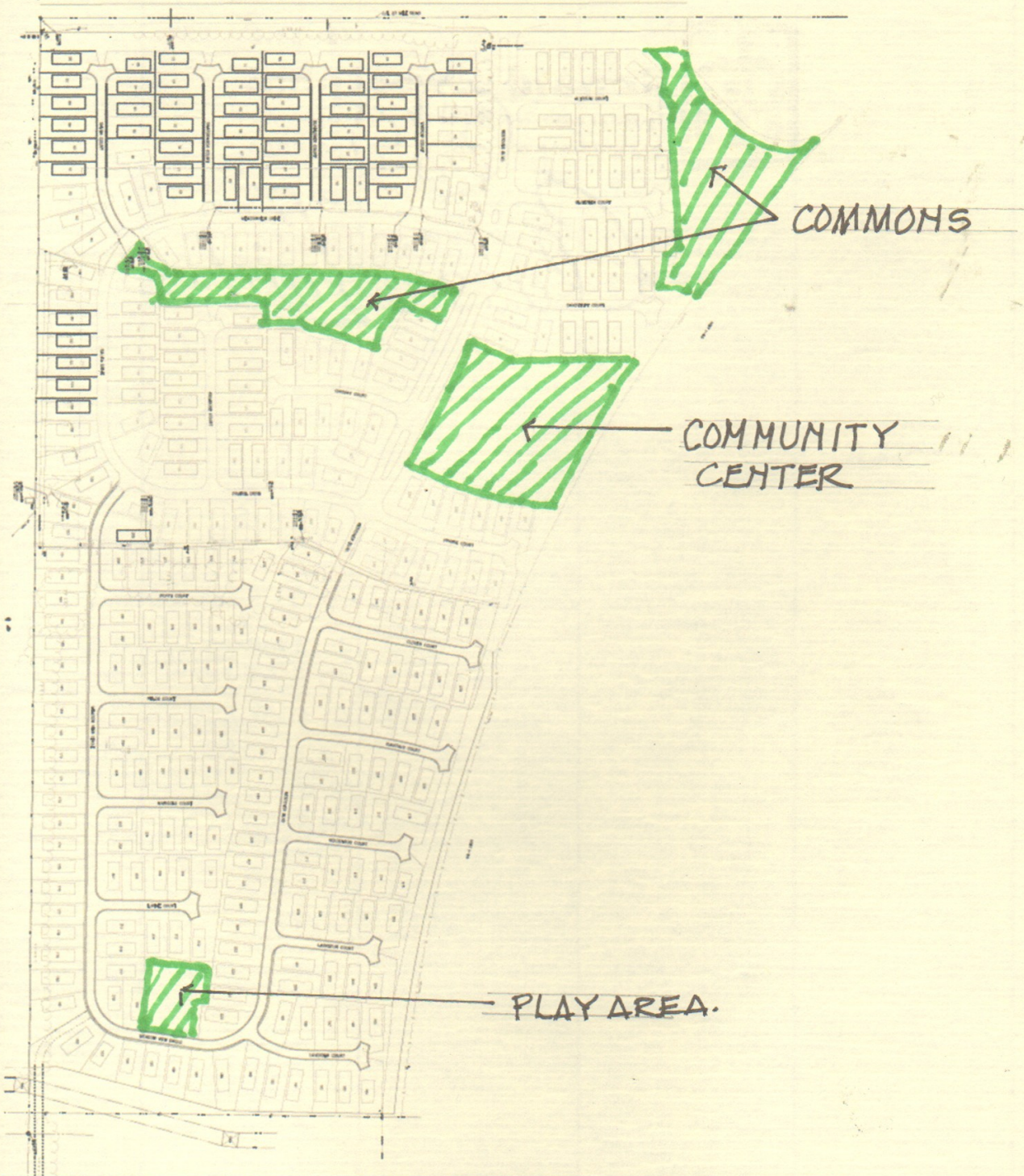
Today, Four Leaf Properties, who purchased the shuttered park and has since invested in the property and opened Wildflower Crossing has demonstrated their commitment offering attainable housing for the community in a gated and family-focused environment. Four Leaf has recently notified the EDC that they plan to have another 80 units available in 2022 for home ownership opportunities. Supply of manufactured homes has been limited due to supply chain challenges caused by the COVID-19 pandemic.

Four Leaf has an agreement with Westphal to buy 500 Bemer to expand the manufactured housing park. The request for special use by Westphal is to facilitate that acquisition and development.

The Albion EDC understands the critical need for workforce housing to attract and retain a quality workforce for our area businesses. We are supportive of the Special Use Permit to allow the development of an expansion to Wildflower Crossing.

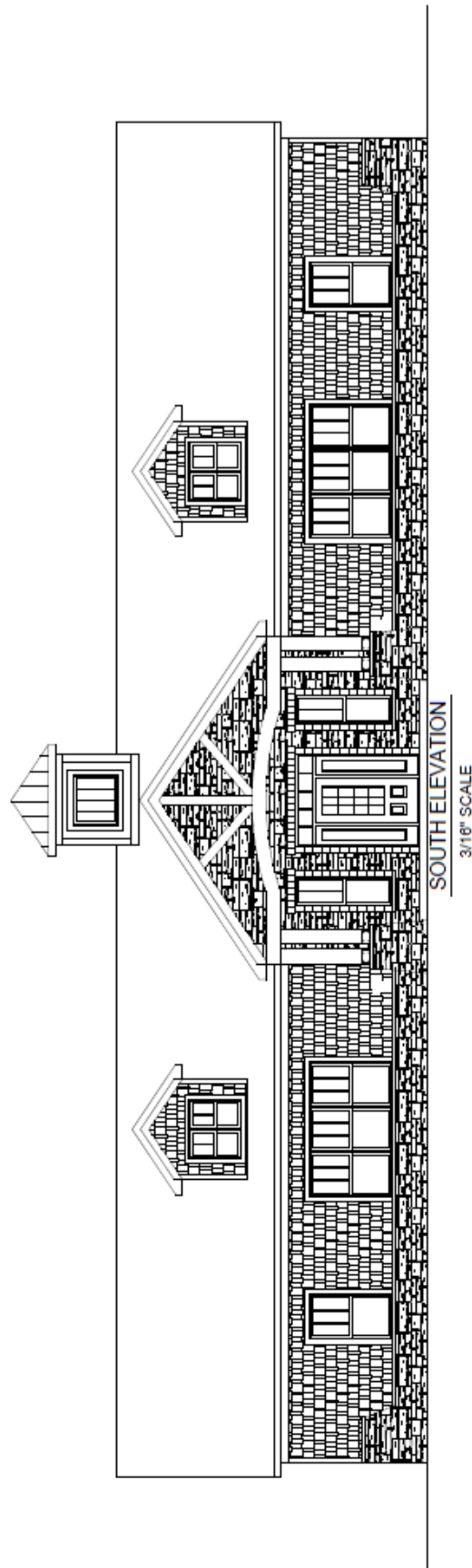
Recommendation

The EDC recommends approval of the Special Use Permit for 500 Bemer Street, Albion.



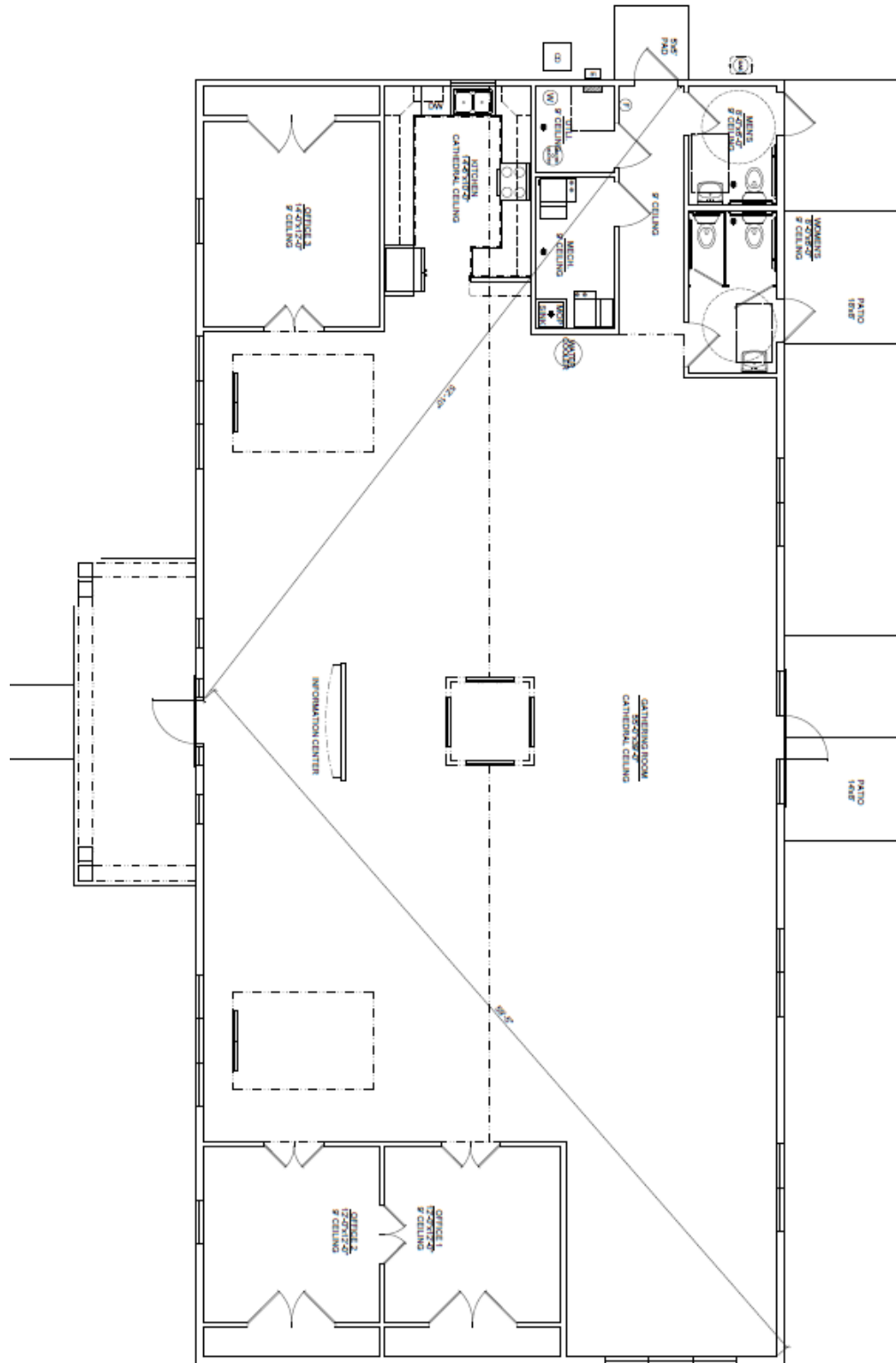
WILDFLOWERCROSSING Albion Michigan

Location of amenities NTS



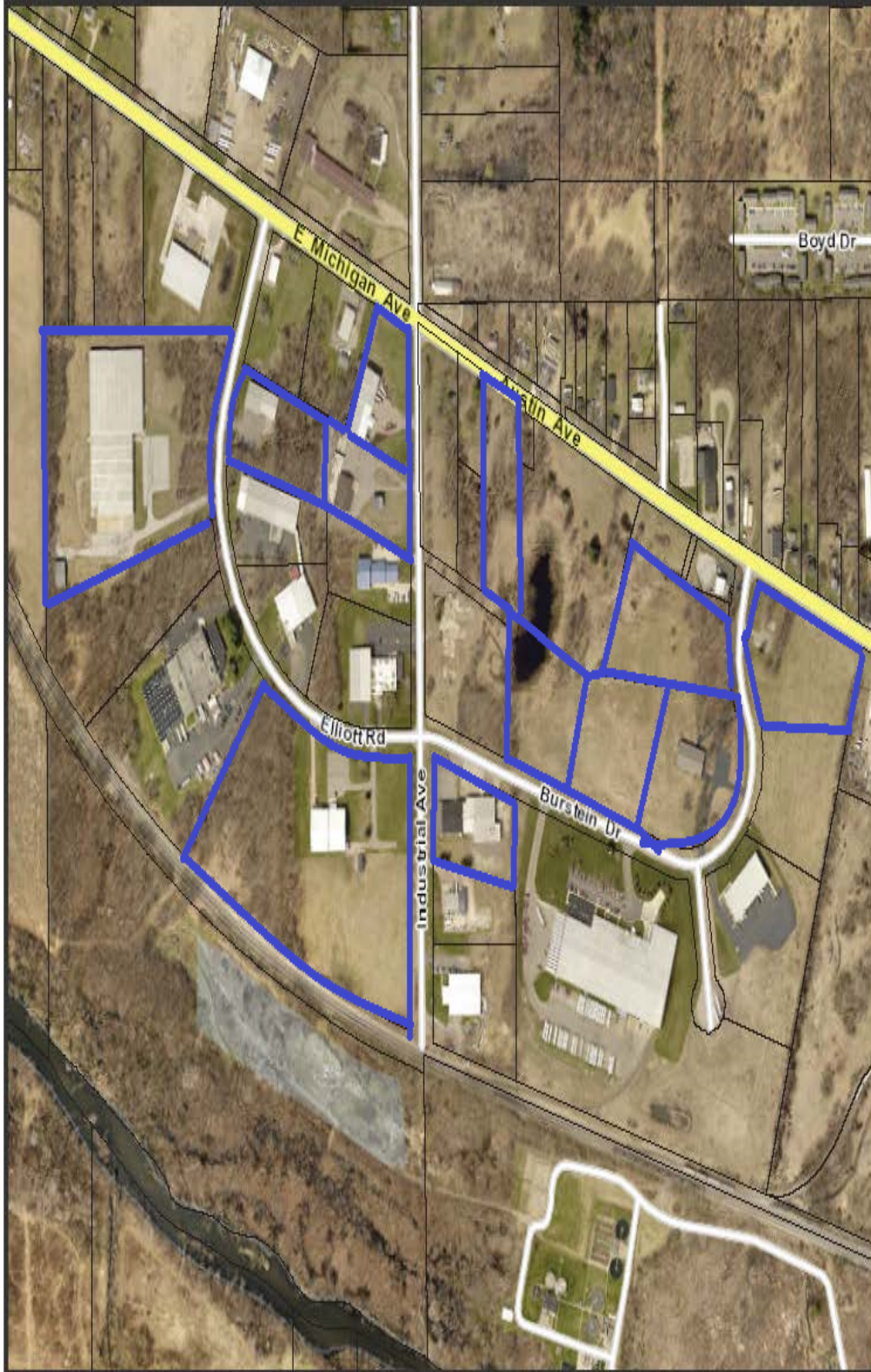
WILDFLOWER CROSSING Albion Michigan

Proposed Community Center Front elevation NTS



WILDFLOWER CROSSING, Albion Michigan

Proposed Community Center floor plan, NTS



Calhoun GIS



Map Publication:

10/12/2021 3:28 PM



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Industrial Park Marihuana Facilities



Map Publications

08/16/2021 11:08 AM



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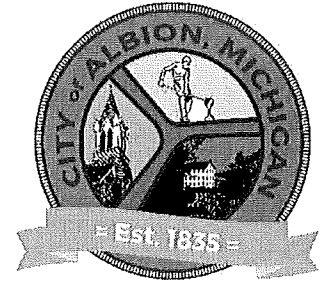
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City of Albion

Department of Planning and Building
112 West Cass Street
Albion, Michigan 49224

Phone: (517)-629-7189
Email: iarnold@cityofalbionmi.gov



Affidavit of Mailing of Public Notice Change or Expansion to Marihuana Overlay District February 28, 2022

I, Ian Arnold, Director of Planning and Building for the City of Albion, Michigan, verify that on February 28th, 2022, I sent via first-class mail notice of Public Hearing for consideration of a change or expansion to the City of Albion Marihuana Overlay District to the attached list of addresses.

Ian Arnold 3/1/2022
Ian Arnold Date

Pamela Beck 3/1/22

PAMELA BECK
Notary Public - State of Michigan
County of Hillsdale
My Commission Expires Mar 2, 2025
Acting in the County of CALHOUN

1100 INDUSTRIAL BLVD LLC	EM BROWN CHARITABLE CIRCLE	ELLA EM BROWN CHARITABLE CIRCLE
1100 INDUSTRIAL BLVD	200 N MADISON AVE	200 N MADISON AVE
ALBION, MI 49224	ALBION, MI 49224	ALBION, MI 49224
26913 MICHIGAN AVENUE LLC	SUNDOG PROPERTIES LLC	SUNDOG PROPERTIES LLC
4100 LUDLOW RD	333 BEMER ST	333 BEMER ST
ALBION, MI 49224	ALBION, MI 49224	ALBION, MI 49224
MURPHY CAROLYN	MURPHY FRANK	STADIUM PLAZA CENTER LLC
112 BUSHONG DRIVE	112 BUSHONG DR	PO BOX 250004
ALBION, MI 49224	ALBION, MI 49224	ALBION, MI 49224
ALBION PROPERTY LLC	VANN WILLIAM/MARY LOU	ABERILLA ENTERPRISES LLC
PO BOX 250004	PO BOX 218	PO BOX 70
ALBION, MI 49224	ALBION, MI 49224	ALBION, MI 49224
ACE INVESTMENT PROPERTIES LLC	ALBION PROPERTY LLC	ACE INVESTMENT PROPERTIES LLC
16000 E MICHIGAN AVE	PO BOX 250004	15901 E MICHIGAN AVE
ALBION, MI 49224	ALBION, MI 49224	ALBION, MI 49224
ALBION BUILDING AUTHORITY	ALBION PUBLIC SCHOOLS	ALEXANDER EMMA L
112 W CASS ST	225 WATSON ST	1512 COOPER ST
ALBION, MI 49224	ALBION, MI 49224	ALBION, MI 49224
ALFORD R/COURTLAND A	ALFORD R/COURTLAND A	GAMBLE IRENE ET AL
10950 GRANDVIEW DR STE 300	2112 INDUSTRIAL DR	PO BOX 997
ALBION, MI 49224	ALBION, MI 49224	ALBION, MI 49224
CONSUMERS ENERGY COMPANY	ALICIA BOTELLO TRUST	AMBERGRIS LIMITED LLC
ONE ENERGY PLAZA	300 S EATON ST	7241 MONROE RD
ALBION, MI 49224	ALBION, MI 49224	ALBION, MI 49224
WILDFLOWER PARTNERS LLC	ALBION INVESTMENTS LLC	MOORE MARY M
600 W 22ND ST SUITE 101	320 MARTIN ST SUITE 100	202 S MONROE
ALBION, MI 49224	ALBION, MI 49224	ALBION, MI 49224
SUNDOG PROPERTIES LLC	MCDONALDS CORP	SPEEDWAY SUPERAMERICA LLC
333 BEMER ST	PO BOX 182571	539 S MAIN ST
ALBION, MI 49224	ALBION, MI 49224	ALBION, MI 49224

STADIUM PLAZA CENTER LLC PO BOX 250004 ALBION, MI 49224	TRIGO PIZZA CO INC 4015 LEMON CREEK RD ALBION, MI 49224	AMOS ALBERT/CAROLYN 400 BURR OAK ST ALBION, MI 49224
ANDERSON WINFRED/ROCHELLE 807 N ALBION ST ALBION, MI 49224	ATLANTIC AVENUE PROPERTIES LLC 24772 J DR SOUTH ALBION, MI 49224	MOORE MARY M/MARSH DAVID G 202 S MONROE ALBION, MI 49224
BAMA INVESTMENTS LLC 27416 ECORSE RD ALBION, MI 49224	MOORE MARY M/MARSH DAVID G 202 S MONROE ALBION, MI 49224	O'REILLY AUTO PARTS PO BOX 9167 ALBION, MI 49224
AVANT LJ/ W 320 W BROADWELL ST ALBION, MI 49224	ALBION REAL ESTATE ASSOC LLC 3944 WINTERSET LANE ALBION, MI 49224	STUMPOS LANE DDS 2020 COUNTRY CLUB WAY ALBION, MI 49224
W & M VANN LLC PO BOX 218 ALBION, MI 49224	B & O PROPERTY MANAGEMENT 24772 J DRIVE SOUTH ALBION, MI 49224	FENESE LLC 3101 COUNTRY CLUB WAY ALBION, MI 49224
CITY OF ALBION 112 W CASS ST ALBION, MI 49224	ALBION INVESTMENTS LLC 320 MARTIN ST SUITE 100 ALBION, MI 49224	ALBION PUBLIC SCHOOLS 225 WATSON ST ALBION, MI 49224
HAYES MURPHY/DEBBIE 1504 COOPER ST ALBION, MI 49224	BALLINGER BRIAN 1017 N MINGO ST ALBION, MI 49224	BANKS JAMES E & BRENDA L 1021 N MINGO ST ALBION, MI 49224
BARTELL DANA LYNN & WINTERS DAWN 511 LOMBARD ST ALBION, MI 49224	BARTING GERTRUDE WORD 914 N MONROE ST ALBION, MI 49224	BETHEL BAPTIST CHURCH 523 WASHINGTON ST ALBION, MI 49224
ALBION, MI 49224 BIESKIE KENNETH/ELSIE 1016 N MINGO ST ALBION, MI 49224	BLACK MICHAEL 1209 BARNES ST ALBION, MI 49224	BLACKHAWK INC 1320 N LA SALLE ST ALBION, MI 49224
BOTELLO ALICIA TRUST 300 S EATON ST ALBION, MI 49224	BOYD WILLIAM H 514 E ERIE ST ALBION, MI 49224	BRAMBLE MICHELE 419 DARROW ST ALBION, MI 49224

CONEY GENEVA 908 IRWIN AVE ALBION, MI 49224	BRAMBLE MICHELE L 419 DARROW ST ALBION, MI 49224	BRANTLEY JEROME 1514 COOPER ST ALBION, MI 49224
BROWN DAVID 13333 15 MILE RD ALBION, MI 49224	BRYDEN JEANNE ET AL 919 BURR OAK ST ALBION, MI 49224	HGS EATON ST LLC 1402 EATON ST ALBION, MI 49224
BURTON GEORGE 1511 MAGNOTTA ST ALBION, MI 49224	BYRD DORA ANN 1516 COOPER ST ALBION, MI 49224	CALDWELL LASHAWN 845 ATHENA DR ALBION, MI 49224
CONEY GENEVA 908 IRWIN AVE ALBION, MI 49224	CALHOUN COUNTY RD COMMISSION 13300 15 MI RD ALBION, MI 49224	CARLISLE MICHAEL E 1109 WIENER DR ALBION, MI 49224
CARRIAGE L L C P O BOX 388 ALBION, MI 49224	CCI REAL ESTATE LLC 16000 E MICHIGAN AVE ALBION, MI 49224	CHEMICAL BANK SOUTH 525 WATER STREET ALBION, MI 49224
CHICAGO DIVERSIFIED FOODS CORP 400 E 22 ST SUITE E ALBION, MI 49224	CHRIST APOSTOLIC CHURCH OF ALBION 501 N SUPERIOR ST ALBION, MI 49224	CITY OF ALBION BRA 309 N SUPERIOR ST ALBION, MI 49224
CLARK SCOTT/SUSAN 510 LOMBARD ST ALBION, MI 49224	CLARK TODD J/TAMMULA J 27484 M60 EAST ALBION, MI 49224	CLARK TRACEY 1515 MAGNOTTA ST ALBION, MI 49224
CLAY STEPHEN & DENISE 9690 PALMETTO COURT ALBION, MI 49224	CLEVELAND OSCAR R 1304 N EATON ST ALBION, MI 49224	CLINTON STREET LOFTS LLC 1292 DAVIS STREET ALBION, MI 49224
COBLENTZ LAVERN F 4849 HICKS RD ALBION, MI 49224	COMCO LLC 1215 WILDWOOD AVE ALBION, MI 49224	CONEY GENEVA 908 IRWIN AVE ALBION, MI 49224
CALHOUN COUNTY LAND BANK 315 WEST GREEN ST ALBION, MI 49224	CONLEY HAROLD D JR & COURTNEY 817 BURR OAK ST ALBION, MI 49224	CONVENIENCE STORES LEASING & MGT 9653 N GRANVILLE RD STOP 1 ALBION, MI 49224

CRABILL EDWARD H PO BOX 1032 ALBION, MI 49224	CRAIG JOSEPH PO BOX 711 ALBION, MI 49224	CURTIS ESSIE WESLY ROBERT E 701 W BROADWELL ALBION, MI 49224
DARLING PAULINE V 909 BURR OAK ST ALBION, MI 49224	DAVIS ELOISE 905 BARNES ST ALBION, MI 49224	DEATON CAROL 804 BENNETT ST ALBION, MI 49224
DICKEY MELVIN 1111 WIENER DR ALBION, MI 49224	DICKEY MELVIN C 518 N MINGO ST ALBION, MI 49224	DLC INVESTMENTS LLC 1381 CHAROLETT LANDING ROAD ALBION, MI 49224
CONSUMERS ENERGY COMPANY ONE ENERGY PLAZA DUNCAN BLAKELY SHEILA 813 BARNES ST ALBION, MI 49224	DOLPHIN CORP 968 AUSTIN AVE ALBION, MI 49224	CITY OF ALBION 112 W CASS ST ALBION, MI 49224
WILDFLOWER PARTNERS LLC 600 W 22 ST SUITE 101 ALBION, MI 49224	DUNKLIN FRANKLIN 702 ORCHARD DR ALBION, MI 49224	CITY OF ALBION 112 W CASS ST ALBION, MI 49224
EASTERWOOD CHRISTOPHER 604 LYNN ST ALBION, MI 49224	E&L PROPERTY MGMT LLC PO BOX 123 ALBION, MI 49224	EARL DANIEL L PO BOX 517 ALBION, MI 49224
EDMONDS BONNIE K 1012 N MINGO ST ALBION, MI 49224	EASTERWOOD KEITH/CHANDRA 1210 BARNES ST ALBION, MI 49224	EDGAR DANA 1001 N MINGO STREET ALBION, MI 49224
EMBRY EARNEST/GLADYS PO BOX 64 ALBION, MI 49224	ELLIOTT STREET BUILDING COMPANY LLC 10221 CAPITAL STREET ALBION MI 49224	CONSUMERS ENERGY COMPANY ONE ENERGY PLAZA
VAN DIEST SUPPLY CO 1434 220TH ST PO BOX 610 ALBION, MI 49224	ESPINOZA NELSON/BARBARA 1004 BURR OAK ST ALBION, MI 49224	ETCHISON DAVID 105 FORD RD ALBION, MI 49224
	FARMER DANIEL 1101 WIENER DR ALBION, MI 49224	FARMER KENT A/TAMARA 1018 N MINGO ST ALBION, MI 49224

TEAM ONE PLASTICS INC	AMBERGRIS LIMITED LLC	FEDEWA RUSSELL/SUSAN
927 ELLIOTT	704 N CLARK ST	514 N MINGO ST
ALBION, MI 49224	ALBION, MI 49224	ALBION, MI 49224
FREED KYLEIGH	CITY OF ALBION EDC	CITY OF ALBION
809 BARNES ST	PO BOX 725	112 W CASS ST
ALBION, MI 49224	ALBION, MI 49224	ALBION, MI 49224
CALHOUN COUNTY LAND BANK	ALBION ECONOMIC DEVELOPMENT CORP	ALBION ECONOMIC DEVELOPMENT CORP
315 W GREEN ST	PO BOX 725	PO BOX 725
ALBION, MI 49224	ALBION MI 49224	ALBION MI 49224
GALAXY PROPERTIES OF MARSHALL LLC	GAMBLE HENRY/IRENE	GAMBLE SIERRA
708 VALHALLA DR	PO BOX 997	1503 COOPER ST
ALBION, MI 49224	ALBION, MI 49224	ALBION, MI 49224
COMCO LLC	TEAM ONE PROPERTIES LLC	CLARIANT PLASTICS & COATINGS USA
1215 WILDWOOD AVE	927 ELLIOTT RD	4000 MONROE ROAD
ALBION, MI 49224	ALBION, MI 49224	ALBION, MI 49224
CITY OF ALBION EDC	GARDENHIRE GLORIA	CITY OF ALBION EDC
PO BOX 725	711 BEMER ST	PO BOX 725
ALBION, MI 49224	ALBION, MI 49224	ALBION, MI 49224
CITY OF ALBION EDC	GRACE TEMPLE	GREEN LAVONDA N
PO BOX 725	PO BOX 262	606 N MINGO ST
ALBION, MI 49224	ALBION, MI 49224	ALBION, MI 49224
CITY OF ALBION	HALL BRADFORD/EVELEN	GEORGIA PACIFIC LLC
112 W CASS ST	206 WATSON ST	PO BOX 105681
ALBION, MI 49224	ALBION, MI 49224	ALBION, MI 49224
COMCO LLC	HALSTEAD MICHAEL/AGNES	CITY OF ALBION
1215 WILDWOOD AVE	1001 FITCH ST	1203 E NORTH ST
ALBION, MI 49224	ALBION, MI 49224	ALBION, MI 49224
HAMILTON BRENT	HAMILTON HARKINS	HARRIS ARTHUR/ CARLA
12985 L DRIVE	29786 E DRIVE N	606 W CHESTNUT
ALBION, MI 49224	ALBION, MI 49224	ALBION, MI 49224

HARRIS BRIAN/FELECIA 901 BURR OAK ALBION, MI 49224	HARRIS HENDERSON 103 WATSON ST ALBION, MI 49224	HARRIS TIFFANY 913 BURR OAK ST ALBION, MI 49224
HART TERRY J 1004 N MINGO ST ALBION, MI 49224	HAWTHORNE CINDY & HANNA MATTHEW A 1201 PLEASANT ALBION MI 49224	MATSON BRIAN DAVID 1020 N MINGO ST ALBION, MI 49224
HAYES CINDY S 1501 COOPER ST ALBION, MI 49224	HAYNES GEORGE/KEVIN 908 IRWIN AVE ALBION, MI 49224	HAYS CAROL A 1002 FITCH ST ALBION, MI 49224
HELM THERESA M 381 GREEN ST ALBION, MI 49224	HGS EATON ST LLC 1402 N EATON ST ALBION, MI 49224	HOLY ASCENSION CHURCH PO BOX 367 ALBION, MI 49224
HRAB TYLER 916 HALL ST ALBION, MI 49224	HUFF TIMOTHY 1114 PLEASANT ST ALBION, MI 49224	HUFF TIMOTHY 1115 PLEASANT ST ALBION, MI 49224
HUNT GLORIA/ 1549 E MICHIGAN AVE ALBION, MI 49224	HURDLEBRINK ANNE 602 LYNN ST ALBION, MI 49224	HURLEY DELORES 12852 27 MILE ROAD ALBION, MI 49224
JACKSON FORREST JR 1508 COOPER ST ALBION, MI 49224	JAMES L CURTIS LIVING TRUST 1207 BARNES ST ALBION, MI 49224	JARVIS DERRICK 26711 W MICHIGAN AVE ALBION, MI 49224
JOHNSON GEORGE/CINDY BOX 127 ALBION, MI 49224	CITY OF ALBION 112 W CASS ST ALBION, MI 49224	CITY OF ALBION 112 W CASS ST ALBION, MI 49224
ALBION COLLEGE 611 E PORTER ST ALBION, MI 49224	JOHNSON KIMBERLY/BRUCE 509 LYNN ST ALBION, MI 49224	JOHNSON WILLIE MAE 805 N ALBION ST ALBION, MI 49224
JOINER JIMMY 1112 WIENER DR ALBION, MI 49224	JP HOUSING LLC 716 AUSTIN AVE ALBION, MI 49224	KELP FRED A/MARY A 920 BURR OAK ST ALBION, MI 49224

KING WILLIAM III & CYNTHIA 9201 WATSON RD ALBION, MI 49224	KNAUF INSULATION INC 1 KNAUF DR ALBION, MI 49224	KNAUF INSULATION INC 1 KNAUF DR ALBION, MI 49224
KOLODICA RONALD/JUDITH 1007 BARNES ST ALBION, MI 49224	KONKLE THEODORE R/JOANNE J LT 503 N MINGO ST ALBION, MI 49224	KNAUF INSULATION INC 1 KNAUF DR ALBION, MI 49224
KNAUF INSULATION INC 1 KNAUF DR ALBION, MI 49224	LAL JEEVAK/SITA 5887 RICKFIELD NORTH ALBION, MI 49224	LCS COMMERCIAL PROPERTIES 2020 COUNTRY CLUB WAY ALBION, MI 49224
LEARY THOMAS 819 BURR OAK ST ALBION, MI 49224	LEE CLYDE JR 6459 WAYWIND DR ALBION, MI 49224	CONSUMERS ENERGY COMPANY ONE ENERGY PLAZA ALBION, MI 49224
DECKER MFG CO 703 N CLARK ST ALBION, MI 49224	KNAUF INSULATION INC 1 KNAUF DR ALBION, MI 49224	KNAUF INSULATION INC 1 KNAUF DR ALBION, MI 49224
KNAUF INSULATION INC 1 KNAUF DR ALBION, MI 49224	KNAUF INSULATION INC 1 KNAUF DR ALBION, MI 49224	KNAUF INSULATION INC 1 KNAUF DR ALBION, MI 49224
KNAUF INSULATION INC 1 KNAUF DR ALBION, MI 49224	KNAUF INSULATION INC 1 KNAUF DR ALBION, MI 49224	KNAUF INSULATION INC 1 KNAUF DR ALBION, MI 49224
KNAUF INSULATION INC 1 KNAUF DR ALBION, MI 49224	LEFFEWE FABIANA E/LANGSTON LEMAR L 1102 AUSTIN AVE ALBION, MI 49224	LEGGETT CHAPEL AME ZION 806 N ALBION ST ALBION, MI 49224
LEIGHTNER RICHARD V/DAWN M 1103 WIENER DR ALBION, MI 49224	LINCOLNSHIRE REDEVELOPMENT LTD 3150 LIVERNOIS STE 136 ALBION, MI 49224	LINDA LOVELACE LT 716 AUSTIN AVE ALBION, MI 49224
LONG HIEDI/RINEHART DALE 509 N CLARK ST ALBION, MI 49224	LUCIO PATRICIA J 1011 N MINGO ST ALBION, MI 49224	MACOMBER WENDY 1008 N MINGO ST ALBION, MI 49224

MAE F SANDERS TRUST 1202 WOODLAWN ALBION, MI 49224	MARION DAVID P & JASMINE 1012 AUSTIN AVE ALBION, MI 49224	MARKOVICH SAMMY 720 AUSTIN AVE ALBION, MI 49224
MARTIN STEVE/TELA 924 BURR OAK ST ALBION, MI 49224	MASON SHEILA V 2521 WILLOW WAY DR ALBION, MI 49224	MATSON BRIAN D 1022 N MINGO ST ALBION, MI 49224
KNAUF INSULATION INC 1 KNAUF DR ALBION, MI 49224	MCGEAR JOE 805 HUNTINGTON BLVD ALBION, MI 49224	MCKENZIE REBECCA & CALE SHANNA 608 N MINGO ST ALBION, MI 49224
MCKENZIE REBECCA & CALE SHANNA 610 N MINGO ST ALBION, MI 49224	MDC OF ALBION LLC 1407 N EATON ST ALBION, MI 49224	MEEKS EMOGENE & RIDDLE ELLEN 1308 N EATON ST ALBION, MI 49224
MICHIGAN INDUSTRIAL GASES INC 1102 INDUSTRIAL AVE ALBION, MI 49224	MIHELICH MICHAEL E 301 FOXWOOD DR ALBION, MI 49224	CALHOUN COUNTY LAND BANK 315 WEST GREEN ST ALBION, MI 49224
MITCHELL LANDON 3071 TALON CIRCLE ALBION, MI 49224	MOHAMMED CHERYL J 202 E WATSON ST ALBION, MI 49224	ATLANTIC AVE PROPERTIES LLC 24772 J DRIVE S ALBION, MI 49224
CALHOUN COUNTY LAND BANK 315 W GREEN ST ALBION, MI 49224	MOORER STEVEN 803 E NORTH ST ALBION, MI 49224	MORRIS EUNICE 809 N ALBION ST ALBION, MI 49224
MOSS IDA & WALDON 4702 NEWCASTLE DR ALBION, MI 49224	MOTT JUDITH A 107 FORD RD ALBION, MI 49224	MOYE MARQUIS/CHARLES 1010 BARNES ST ALBION, MI 49224
MULLINER DIANNA 839 SAN YSIDRO LANE ALBION, MI 49224	MURPHY WILLIAM 714 HOAGLIN DR ALBION, MI 49224	NEBELUNG LAVERNE GORDON JR 14040 DEVEREAUX RD ALBION, MI 49224
NELSON CLARENCE R III/BETSY E 513 LYNN ST ALBION, MI 49224	NOWLIN JAMES/LEE ANNE 513 N MINGO ST ALBION, MI 49224	OLD TOWN REALTY 910 OAKRIDGE DR ALBION, MI 49224

OLSON PATRICK/TRACEY

1019 N MINGO ST

ALBION, MI 49224

ORTWINE JASON M & MICHELE

1003 FITCH ST

ALBION, MI 49224

PACIFIC AVENUE PROPERTIES LLC

24772 J DRIVE S

ALBION, MI 49224

PERKINS DOROTHY LIVING TRUST

6205 HAMPSTEAD CT

ALBION, MI 49224

PORTER MICHAEL

709 BEMER ST

ALBION, MI 49224

RAY FRANCES

419 DARROW ST

ALBION, MI 49224

DECKER MFG CO

703 N CLARK ST

ALBION, MI 49224

CITY OF ALBION

112 W CASS ST

ALBION, MI 49224

CITY OF ALBION

112 W CASS ST

ALBION, MI 49224

EMBREY GLADYS MAE

PO BOX 64

ALBION, MI 49224

ORBIT CORP

1320 N LA SALLE ST

ALBION, MI 49224

OUSLEY DAVID & TERESA

18700 HATCH RD

ALBION, MI 49224

PARKS JR MILTON

11305 MACKIE RD

ALBION, MI 49224

PISCHEL DARREL

1007 N MINGO ST

ALBION, MI 49224

PRICE JOHNNIE/BETTY

612 BROADWAY AVE

ALBION, MI 49224

REICHOW LAURA

1003 N MINGO ST

ALBION, MI 49224

CITY OF ALBION

112 W CASS ST

ALBION, MI 49224

REIMAN MARILYNN

104 WATSON ST

ALBION, MI 49224

CALHOUN COUNTY LAND BANK

323 W GREEN

ALBION, MI 49224

RIBBEY MELISSA A

940 AUSTIN AVE

ALBION, MI 49224

ORIENTAL PROPERTIES LLC

24772 J DR S

ALBION, MI 49224

PACE DEHANNA R

1026 N MINGO ST

ALBION, MI 49224

PATTERSON TIANA

1506 COOPER ST

ALBION, MI 49224

PLASSMAN FAMILY PROPERTIES LLC

PO BOX 70

ALBION, MI 49224

R KRISHNA LLC

400 B DRIVE N

ALBION, MI 49224

DECKER MFG CO

703 N CLARK ST

ALBION, MI 49224

CITY OF ALBION

112 W CASS ST

ALBION, MI 49224

CITY OF ALBION

112 W CASS ST

ALBION, MI 49224

CALHOUN COUNTY LAND BANK

323 W GREEN

ALBION, MI 49224

RIDER STANNETTA R

1006 N MINGO ST

ALBION, MI 49224

CITY OF ALBION
112 W CASS ST
ALBION, MI 49224

ROCHESTER INVESTMENTS LLC
320 MARTIN ST SUITE 100
ALBION, MI 49224

CITY OF ALBION
112 W CASS ST
ALBION, MI 49224

CITY OF ALBION
112 W CASS ST
ALBION, MI 49224

CITY OF ALBION
112 W CASS ST
ALBION, MI 49224

RUBIO MARIA & ADAN
706 N ALBION ST
ALBION, MI 49224

RUPERT DENNIS/RENEE
4411 MECHANIC RD
ALBION, MI 49224

CITY OF ALBION
112 W CASS ST
ALBION, MI 49224

SEILER TANK TRUCK SVC
W222 N833 CHEANEY DR
ALBION, MI 49224

SHORTLINE PROP. MANAGEMENT LLC
24772 J DRIVE SOUTH
ALBION, MI 49224

CITY OF ALBION
112 W CASS ST
ALBION, MI 49224

CITY OF ALBION
112 W CASS ST
ALBION, MI 49224

CITY OF ALBION
112 W CASS ST
ALBION, MI 49224

CITY OF ALBION
112 W CASS ST
ALBION, MI 49224

CITY OF ALBION
112 W CASS ST
ALBION, MI 49224

CONSUMERS ENERGY COMPANY
ONE ENERGY PLAZA
ALBION, MI 49224

CALHOUN COUNTY LAND BANK
315 W GREEN ST
ALBION, MI 49224

SANDOVAL DEON & TAYLOR
316 MECHANIC ST
ALBION, MI 49224

SHANNON BRANHAM
1005 N MINGO
ALBION, MI 49224

SHOWERS ELVARENE
805 VALHALLA DR
ALBION, MI 49224

CITY OF ALBION
112 W CASS ST
ALBION, MI 49224

CITY OF ALBION
112 W CASS ST
ALBION, MI 49224

CITY OF ALBION
112 W CASS ST
ALBION, MI 49224

CITY OF ALBION
112 W CASS ST
ALBION, MI 49224

CITY OF ALBION
112 W CASS ST
ALBION, MI 49224

CALHOUN COUNTY LAND BANK
315 W GREEN ST
ALBION, MI 49224

CITY OF ALBION
112 W CASS ST
ALBION, MI 49224

SEA KEVIN
15 DIVISION
ALBION, MI 49224

SHAY CLIFTON
23 W 462 GREENBRIAR DR
ALBION, MI 49224

SIMASKE BARBARA A
1071 MARSHALL RD
ALBION, MI 49224

SIMS RONNIE K 710 W ERIE ALBION, MI 49224	SINCLAIR DESIGNS & ENGINEERING 1104 INDUSTRIAL AVE ALBION, MI 49224	SMITH LEROY/TERESA L 810 N ALBION ST ALBION, MI 49224
SNYDER BRIAN KEVIN KEITHA STEVEN 201 FORD RD ALBION, MI 49224	SNYDER CYNTHIA J 1308 BARNES ST ALBION, MI 49224	SNYDER DANIEL & KATHLEEN 504 HAVEN RD ALBION, MI 49224
SNYDER HALEY & BRADLEY KYLEN 1302 BARNES ST ALBION, MI 49224	SOLIS REYNALDO ET AL PO BOX 26 ALBION, MI 49224	SOUTHERLAND JAMES D & GINA G 1008 FITCH ST ALBION, MI 49224
ST CHARLES PROPERTY MANAGEMENT LLC PO BOX 123 ALBION MI 49224	ST CHARLES PROPERTY MANAGEMENT LLC 24772 J DRIVE S ALBION MI 49224	DOLPHIN CORPORATION 968 AUSTIN AVE ALBION, MI 49224
CALHOUN COUNTY LAND BANK 315 W GREEN ST ALBION, MI 49224	STATE OF MICHIGAN TREASURY BUILDING ALBION, MI 49224	STAUFFER RONALD/SANDRA 519 N MINGO ST ALBION, MI 49224
SEMCO ENERGY INC 1411 THIRD ST STE A ALBION, MI 49224	CITY OF ALBION EDC 112 W CASS ALBION, MI 49224	CITY OF ALBION EDC PO BOX 725 ALBION, MI 49224
CITY OF ALBION EDC PO BOX 725 ALBION, MI 49224	STELLINGWORTH MARY 1006 FITCH ST ALBION, MI 49224	STEPHENS CHRISTOPHER 726 AUSTIN AVE ALBION, MI 49224
STEVENSON ROBERT LEE 1513 COOPER ST ALBION, MI 49224	STONE PAMALEE LIFE LEASE 1105 WIENER DR ALBION, MI 49224	STRAIT ARLENA & JAMES 1015 N MINGO ST ALBION, MI 49224
TACKETT KENT 1051 27 1/2 MILE RD ALBION, MI 49224	TAYLOR VALENCIA D 1509 COOPER ST ALBION, MI 49224	THACKER PHILIP G & MARTILDA J 2701 CALHOUN RD LOT 34 ALBION, MI 49224
ALBION ECONOMIC DEVELOPMENT CORP PO BOX 725 ALBION MI 49224	CITY OF ALBION EDC PO BOX 725 ALBION, MI 49224	TRIDENT INVESTMENTS GROUP LLC 10714 BULL VALLEY RD ALBION, MI 49224

TRINE BROS INC 16095 COMDON RD ALBION, MI 49224	TRINE MICHAEL/JANET 506 LOMBARD ST ALBION, MI 49224	UPTHEGROVE FRANKLIN-MARC J 1002 BURR OAK ST ALBION, MI 49224
VILLAGE LIMITED INC PO BOX 837 ALBION, MI 49224	WASICK CHRISTINA Y 1211 BARNES ST ALBION, MI 49224	WATER WORKS PROPERTIES LLC 24772 J DRIVE S ALBION, MI 49224
WATKINS ANITA P 606 FITCH ST ALBION, MI 49224	WATKINS ANTHONY/JADA 1208 BARNES ALBION, MI 49224	WEST PATRICIA 1514 MAGNOTTA ST ALBION, MI 49224
WESTUNN COMMUNITIES LLC 34026 ANNA'S WAY SUITE 1 ALBION, MI 49224	LEGGETT CHAPEL AME ZION 806 N ALBION ST ALBION, MI 49224	WHEAT KEN L/BRENDA M 3351 CALLAHAN ROAD ALBION, MI 49224
CITY OF ALBION EDC PO BOX 725 ALBION, MI 49224	CITY OF ALBION EDC PO BOX 725 ALBION, MI 49224	CITY OF ALBION EDC PO BOX 725 ALBION, MI 49224
WHITEHEAD CARLOS W/SHIRLEY A 1010 N MINGO ST ALBION, MI 49224	WIEL JACOB J 915 BURR OAK ALBION, MI 49224	CALHOUN COUNTY LAND BANK 315 W GREEN ST ALBION, MI 49224
CALHOUN COUNTY LAND BANK 315 W GREEN ST ALBION, MI 49224	CALHOUN COUNTY LAND BANK 315 W GREEN ST ALBION, MI 49224	WILKERSON LINDSEY 1318 BARNES ST ALBION, MI 49224
GRACE TEMPLE CHURCH OF GOD 711 GRACE ST ALBION, MI 49224	WILKERSON MARISSA J 807 BURR OAK ST ALBION, MI 49224	WILLIAMS TOM S & LISA A 604 FITCH ST ALBION, MI 49224
WILLIAMSON KELLIE 512 LOMBARD ST ALBION, MI 49224	CITY OF ALBION 112 W CASS ST ALBION, MI 49224	CALHOUN COUNTY LAND BANK 315 W GREEN ST ALBION, MI 49224
WILLIAMSON JENNIFER 506 N MINGO ST ALBION, MI 49224	WILSON SHAUN/KORI 366 HILCREST AVE ALBION, MI 49224	WILSON TRENT L 205 E WATSON ST APT 13 ALBION, MI 49224

Column1	Column2
51-002-037-00	ALBION PUBLIC SCHOOLS
51-002-048-07	EM BROWN CHARITABLE CIRCLE
51-002-048-08	ELLA EM BROWN CHARITABLE CIRCLE
51-002-049-02	R KRISHNA LLC
51-001-945-01	SUNDOG PROPERTIES LLC
51-001-945-02	SUNDOG PROPERTIES LLC
51-001-945-03	MURPHY CAROLYN
51-001-945-04	MURPHY FRANK
51-001-947-00	STADIUM PLAZA CENTER LLC
51-001-949-00	ALBION PROPERTY LLC
51-002-043-02	VANN WILLIAM/MARY LOU
51-007-752-00	ALEXANDER EMMA L
51-007-753-00	BRANTLEY JEROME
51-007-754-00	BYRD DORA ANN
51-017-201-05	ALBION PROPERTY LLC
51-007-782-00	MURPHY WILLIAM
51-007-783-00	WEST PATRICIA
51-007-784-00	GARDENHIRE GLORIA
51-007-789-00	CLARK TRACEY
51-007-790-00	GAMBLE HENRY/IRENE
51-007-791-00	BURTON GEORGE
51-007-792-00	GAMBLE IRENE ET AL
51-017-201-01	CONSUMERS ENERGY COMPANY
51-017-201-03	WESTUNN COMMUNITIES LLC
51-017-201-10	CHRIST APOSTOLIC CHURCH OF ALBION
51-017-202-02	WILDFLOWER PARTNERS LLC
51-002-045-10	ALBION INVESTMENTS LLC
51-002-048-05	MOORE MARY M
51-001-944-00	SUNDOG PROPERTIES LLC
51-001-945-00	EARL DANIEL L
51-001-946-00	MCDONALDS CORP
51-001-947-01	SPEEDWAY SUPERAMERICA LLC
51-001-948-00	STADIUM PLAZA CENTER LLC
51-002-043-01	TRIGO PIZZA CO INC
51-002-045-02	LCS COMMERCIAL PROPERTIES
51-002-045-07	ROCHESTER INVESTMENTS LLC
51-002-045-11	CHICAGO DIVERSIFIED FOODS CORP
51-002-047-00	MOORE MARY M/MARSH DAVID G
51-002-048-03	BAMA INVESTMENTS LLC
51-002-048-01	MOORE MARY M/MARSH DAVID G
51-002-045-09	O'REILLY AUTO PARTS
51-002-038-00	CARRIAGE L L C
51-002-040-02	ALBION REAL ESTATE ASSOC LLC
51-002-042-00	STUMPOS LANE DDS
51-002-043-00	W & M VANN LLC
51-002-044-00	MDC OF ALBION LLC

51-002-045-01	FENESE LLC
51-002-045-04	CITY OF ALBION
51-002-045-06	ALBION INVESTMENTS LLC
51-007-745-00	ALBION PUBLIC SCHOOLS
51-007-748-00	HAYES MURPHY/DEBBIE
51-007-749-00	PATTERSON TIANA
51-007-750-00	JACKSON FORREST JR
51-007-751-00	LEE CLYDE JR
51-007-755-00	CALDWELL LASHAWN
51-007-756-00	MAE F SANDERS TRUST
51-007-757-00	STEVENSON ROBERT LEE
51-007-758-00	PERKINS DOROTHY LIVING TRUST
51-007-759-00	TAYLOR VALENCIA D
51-007-760-00	CONEY GENEVA
51-005-900-00	BLACKHAWK INC
51-005-910-10	ALFORD R/COURTLAND A
51-007-761-00	CONEY GENEVA
51-007-762-00	GAMBLE SIERRA
51-007-763-00	HAYES CINDY S
51-005-920-00	ORBIT CORP
51-002-039-01	HGS EATON ST LLC
51-014-111-00	HGS EATON ST LLC
51-014-113-00	HARRIS HENDERSON
51-014-114-00	DICKEY MELVIN
51-014-115-00	CARLISLE MICHAEL E
51-014-120-00	CONEY GENEVA
51-014-121-00	JOINER JIMMY
51-014-122-00	WILSON SHAUN/KORI
51-014-123-00	SOLIS REYNALDO ET AL
51-014-124-00	REIMAN MARILYNN
51-014-125-00	MOHAMMED CHERYL J
51-014-126-00	HALL BRADFORD/EVELEN
51-014-138-00	SNYDER BRIAN KEVIN KEITHA STEVEN
51-014-139-00	MOTT JUDITH A
51-014-140-00	ETCHISON DAVID
51-014-194-00	SIMASKE BARBARA A
51-005-915-00	CONVENIENCE STORES LEASING & MGT
51-014-109-00	ZERBE LUCILLE J
51-014-110-00	SHOWERS ELVARENE
51-014-127-00	HALL BRADFORD/EVELEN
51-014-128-00	BETHEL BAPTIST CHURCH
51-005-910-20	ALFORD R/COURTLAND A
51-005-812-00	CHEMICAL BANK SOUTH
51-005-816-01	MITCHELL LANDON
51-005-818-00	AVANT LJ/ W
51-005-820-01	CALHOUN COUNTY LAND BANK
51-014-107-00	LAL JEEVAK/SITA

51-014-108-00	MEEKS EMOGENE & RIDDLE ELLEN
51-014-116-00	ORIENTAL PROPERTIES LLC
51-005-816-00	JP HOUSING LLC
51-014-105-00	SHAY CLIFTON
51-014-106-00	CLEVELAND OSCAR R
51-014-117-00	STONE PAMALEE LIFE LEASE
51-014-118-00	LEIGHTNER RICHARD V/DAWN M
51-014-119-00	FARMER DANIEL
19-340-003-00	CALHOUN COUNTY ROAD COMM
19-340-009-00	HAMILTON HARKINS
19-340-012-00	CONSUMERS ENERGY COMPANY
19-340-015-00	CALHOUN COUNTY RD COMMISSION
19-340-018-00	CLAY STEPHEN & DENISE
19-340-021-00	HURLEY DELORES
51-007-794-00	CITY OF ALBION
51-017-000-00	LINCOLNSHIRE REDEVELOPMENT LTD
51-017-100-00	HUFF TIMOTHY
51-017-101-00	CITY OF ALBION
51-017-200-00	HAWTHORNE CINDY & HANNA MATTHEW A
51-017-201-02	WILDFLOWER PARTNERS LLC
51-017-202-01	BOYD WILLIAM H
19-330-024-00	OLD TOWN REALTY
19-330-030-00	OUSLEY DAVID & TERESA
19-330-036-00	MOSS IDA & WALDON
19-331-003-00	26913 MICHIGAN AVENUE LLC
19-331-003-10	SEILER TANK TRUCK SVC
19-331-009-00	JARVIS DERRICK
19-332-003-00	CONSUMERS ENERGY COMPANY
51-006-453-00	BROWN DAVID
51-006-454-00	AMBERGRIS LIMITED LLC
51-006-469-00	ELLIOTT STREET BUILDING COMPANY LLC
51-017-203-00	VAN DIEST SUPPLY CO
51-006-451-01	AMBERGRIS LIMITED LLC
51-006-452-01	RUPERT DENNIS/RENEE
51-006-455-00	TEAM ONE PLASTICS INC
51-006-459-01	AMBERGRIS LIMITED LLC
51-006-458-00	DLC INVESTMENTS LLC
51-009-324-01	WHEAT KEN L/BRENDA M
51-001-722-00	CITY OF ALBION EDC
51-001-915-00	CITY OF ALBION
51-006-460-00	CALHOUN COUNTY LAND BANK
51-001-721-00	ALBION ECONOMIC DEVELOPMENT CORP
51-001-721-02	ALBION ECONOMIC DEVELOPMENT CORP
51-006-457-00	CCI REAL ESTATE LLC
51-009-323-00	LEFFEW FABIANA E/LANGSTON LEMAR L
51-009-324-00	COBLENTZ LAVERN F
51-001-720-00	COMCO LLC

51-001-723-00	COMCO LLC
51-006-456-00	TEAM ONE PROPERTIES LLC
51-006-467-00	CLARIANT PLASTICS & COATINGS USA
51-006-468-00	CITY OF ALBION EDC
51-009-322-01	ST CHARLES PROPERTY MANAGEMENT LLC
51-001-717-00	CITY OF ALBION EDC
51-001-726-00	CITY OF ALBION EDC
51-009-317-00	MARION DAVID P & JASMINE
51-009-319-01	WATER WORKS PROPERTIES LLC
51-001-675-00	CITY OF ALBION
51-006-464-00	CLINTON STREET LOFTS LLC
51-006-461-00	1100 INDUSTRIAL BLVD LLC
51-006-477-00	GEORGIA PACIFIC LLC
51-001-724-00	COMCO LLC
51-002-704-00	STATE OF MICHIGAN
51-002-710-00	CITY OF ALBION
51-002-007-00	KNAUF INSULATION INC
51-011-001-00	MCGEAR JOE
51-011-001-01	CALHOUN COUNTY LAND BANK
51-011-002-00	HART TERRY J
51-011-003-00	RIDER STANNETTA R
51-011-004-00	MACOMBER WENDY
51-011-005-00	WHITEHEAD CARLOS W/SHIRLEY A
51-011-006-00	EDMONDS BONNIE K
51-011-007-00	WILSON TRENT L
51-011-008-00	BIESKIE KENNETH/ELSIE
51-011-009-00	FARMER KENT A/TAMARA
51-011-010-00	MATSON BRIAN DAVID
51-011-011-00	MATSON BRIAN D
51-011-012-00	TRINE MICHAEL/JANET
51-011-013-00	PACE DEHANNA R
51-011-016-00	BANKS JAMES E & BRENDA L
51-011-017-00	OLSON PATRICK/TRACEY
51-011-018-00	BALLINGER BRIAN
51-011-019-00	STRAIT ARLENA & JAMES
51-011-020-00	ACE INVESTMENT PROPERTIES LLC
51-011-021-00	LUCIO PATRICIA J
51-011-022-00	BOTELLO ALICIA TRUST
51-011-023-00	PISCHEL DARREL
51-011-024-00	SHANNON BRANHAM
51-011-025-00	REICHOW LAURA
51-011-026-00	EDGAR DANA
51-006-462-01	MICHIGAN INDUSTRIAL GASES INC
51-006-463-01	SINCLAIR DESIGNS & ENGINEERING
51-001-907-00	CITY OF ALBION
51-001-598-02	CITY OF ALBION
51-002-524-00	ALBION COLLEGE

51-002-525-00	NEBELUNG LAVERNE GORDON JR
51-002-526-00	PRICE JOHNNIE/BETTY
51-002-527-00	TRINE BROS INC
51-002-529-00	WILKERSON MARISSA J
51-002-530-00	MULLINER DIANNA
51-002-532-00	TRINE BROS INC
51-002-533-00	KNAUF INSULATION INC
51-002-537-00	KNAUF INSULATION INC
51-002-538-00	ZELLER SHIRLEY E & GREG A WILLIAM
51-002-539-00	WHEAT KENNETH/BRENDA
51-003-371-00	KOLODICA RONALD/JUDITH
51-003-373-01	KNAUF INSULATION INC
51-003-377-00	KNAUF INSULATION INC
51-003-391-00	GREEN LAVONDA N
51-003-392-00	JAMES L CURTIS LIVING TRUST
51-003-396-00	MCKENZIE REBECCA & CALE SHANNA
51-003-397-00	MCKENZIE REBECCA & CALE SHANNA
51-003-399-00	CONSUMERS ENERGY COMPANY
51-003-419-01	DECKER MFG CO
51-001-965-00	KNAUF INSULATION INC
51-001-966-00	KNAUF INSULATION INC
51-001-968-00	KNAUF INSULATION INC
51-001-969-00	KNAUF INSULATION INC
51-001-971-00	KNAUF INSULATION INC
51-001-972-00	KNAUF INSULATION INC
51-001-974-00	KNAUF INSULATION INC
51-001-976-00	KNAUF INSULATION INC
51-001-979-00	KNAUF INSULATION INC
51-001-980-00	KELP FRED A/MARY A
51-001-982-00	MARTIN STEVE/TELA
51-001-983-00	LEARY THOMAS
51-001-985-00	CONLEY HAROLD D JR & COURTNEY
51-001-986-00	RAY FRANCES
51-001-989-00	BRAMBLE MICHELE L
51-001-990-00	BRAMBLE MICHELE
51-001-991-00	HARRIS BRIAN/FELECIA
51-001-992-00	PARKS JR MILTON
51-001-993-00	AMOS ALBERT/CAROLYN
51-001-994-00	DARLING PAULINE V
51-001-995-00	HARRIS TIFFANY
51-001-996-00	WIEL JACOB J
51-001-997-00	BRYDEN JEANNE ET AL
51-001-998-00	KING WILLIAM III & CYNTHIA
51-001-999-00	GALAXY PROPERTIES OF MARSHALL LLC
51-002-000-00	KNAUF INSULATION INC
51-002-016-00	WORDEN CHRISTOPHER D
51-008-216-00	SHORTLINE PROP. MANAGEMENT LLC

51-008-216-01	YATES JAMES/MONICA
51-008-231-00	WATKINS ANITA P
51-008-233-00	FREED KYLEIGH
51-008-234-00	HRAB TYLER
51-008-235-00	DUNCAN BLAKELY SHEILA
51-008-236-00	CALHOUN COUNTY LAND BANK
51-008-237-00	DAVIS ELOISE
51-011-028-00	ATLANTIC AVENUE PROPERTIES LLC
51-011-029-00	ATLANTIC AVE PROPERTIES LLC
51-011-030-00	CALHOUN COUNTY LAND BANK
51-011-031-00	HELM THERESA M
51-011-032-00	HAYS CAROL A
51-011-033-00	ACE INVESTMENT PROPERTIES LLC
51-011-034-00	STELLINGWORTH MARY
51-011-035-00	SOUTHERLAND JAMES D & GINA G
51-011-036-00	CLARK TODD J/TAMMULA J
51-011-069-00	ESPINOZA NELSON/BARBARA
51-011-070-00	DEATON CAROL
51-011-071-00	ORTWINE JASON M & MICHELE
51-011-072-00	HALSTEAD MICHAEL/AGNES
51-011-073-00	PACIFIC AVENUE PROPERTIES LLC
51-011-074-00	MOORER STEVEN
51-011-075-00	UPTHEGROVE FRANKLIN-MARC J
51-003-295-00	ST CHARLES PROPERTY MANAGEMENT LLC
51-003-296-00	CLARK SCOTT/SUSAN
51-003-301-00	PLASSMAN FAMILY PROPERTIES LLC
51-003-302-00	LONG HIEDI/RINEHART DALE
51-003-303-00	WILKERSON LINDSEY
51-003-305-00	SNYDER CYNTHIA J
51-003-306-00	THACKER PHILIP G & MARTILDA J
51-003-307-00	SNYDER HALEY & BRADLEY KYLEN
51-003-308-00	WILLIAMSON KELLIE
51-003-330-00	BARTELL DANA LYNN & WINTERS DAWN
51-003-331-00	B & O PROPERTY MANAGEMENT
51-003-332-00	EASTERWOOD KEITH/CHANDRA
51-003-333-00	WATKINS ANTHONY/JADA
51-003-394-00	BLACK MICHAEL
51-003-395-00	WASICK CHRISTINA Y
51-003-411-00	DECKER MFG CO
51-003-412-00	DECKER MFG CO
51-001-591-02	CITY OF ALBION
51-001-593-10	CITY OF ALBION
51-001-597-01	CITY OF ALBION
51-001-784-00	HAMILTON BRENT
51-001-790-02	CITY OF ALBION
51-001-790-03	CITY OF ALBION
51-001-791-05	CALHOUN COUNTY LAND BANK

51-001-791-06	CALHOUN COUNTY LAND BANK
51-001-796-00	EMBREY GLADYS MAE
51-001-824-00	EMBRY EARNEST/GLADYS
51-001-849-00	HAMILTON BRENT
51-001-849-01	CITY OF ALBION
51-001-851-00	CITY OF ALBION
51-001-852-00	CITY OF ALBION
51-001-890-00	ALBION BUILDING AUTHORITY
51-001-892-00	CITY OF ALBION
51-001-893-00	CITY OF ALBION
51-001-894-00	CITY OF ALBION
51-001-895-00	CITY OF ALBION
51-001-896-00	CITY OF ALBION
51-001-898-00	CITY OF ALBION
51-001-900-00	CITY OF ALBION
51-001-901-00	CITY OF ALBION
51-001-902-00	CITY OF ALBION
51-001-904-00	CITY OF ALBION
51-001-904-01	CITY OF ALBION
51-001-910-00	CITY OF ALBION BRA
51-001-918-00	CONSUMERS ENERGY COMPANY
51-004-015-00	CALHOUN COUNTY LAND BANK
51-004-024-02	HARRIS ARTHUR/ CARLA
51-004-024-03	CALHOUN COUNTY LAND BANK
51-015-002-00	CITY OF ALBION
51-015-004-00	CITY OF ALBION
51-003-323-00	WILLIAMSON JENNIFER
51-003-325-00	FEDEWA RUSSELL/SUSAN
51-003-334-00	DICKEY MELVIN C
51-003-335-00	HUNT GLORIA/
51-003-345-01	JOHNSON GEORGE/CINDY
51-003-349-00	KONKLE THEODORE R/JOANNE J LT
51-003-350-01	NOWLIN JAMES/LEE ANNE
51-003-352-01	STAUFFER RONALD/SANDRA
51-003-353-00	EASTERWOOD CHRISTOPHER
51-003-354-00	SNYDER DANIEL & KATHLEEN
51-003-355-00	HURDLEBRINK ANNE
51-003-356-00	MOYE MARQUIS/CHARLES
51-003-358-00	NELSON CLARENCE R III/BETSY E
51-003-359-00	JOHNSON KIMBERLY/BRUCE
51-008-215-00	ZENONIANI WILLIAM & LAURENE
51-008-229-00	MIHELICH MICHAEL E
51-008-230-00	WILLIAMS TOM S & LISA A
51-009-316-00	MARION DAVID P II & JASMINE
51-009-302-00	DOLPHIN CORPORATION
51-009-306-00	DOLPHIN CORPORATION
51-009-308-00	CALHOUN COUNTY LAND BANK

51-009-308-01	HUFF TIMOTHY
51-009-315-00	CRABILL EDWARD H
51-001-715-00	SEMCO ENERGY INC
51-001-715-02	CITY OF ALBION EDC
51-001-718-00	CITY OF ALBION EDC
51-001-725-00	CITY OF ALBION EDC
51-001-745-01	ABERILLA ENTERPRISES LLC
51-001-746-03	DOLPHIN CORP
51-001-748-00	ABERILLA ENTERPRISES LLC
51-001-748-01	DOLPHIN CORP
51-006-475-00	VILLAGE LIMITED INC
51-001-716-00	TRIDENT INVESTMENTS GROUP LLC
51-001-743-00	RIBBEY MELISSA A
51-001-746-01	E&L PROPERTY MGMT LLC
51-006-476-01	ALBION ECONOMIC DEVELOPMENT CORP
51-001-719-00	CITY OF ALBION EDC
51-001-791-04	HAMILTON BRENT
51-009-001-00	SIMS RONNIE K
51-009-003-01	STEPHENS CHRISTOPHER
51-009-005-01	HAYNES GEORGE/KEVIN
51-009-032-00	BARTING GERTRUDE WORD
51-009-033-00	PORTER MICHAEL
51-009-034-01	HOLY ASCENSION CHURCH
51-010-501-03	ALICIA BOTELLO TRUST
51-010-502-00	MASON SHEILA V
51-010-503-00	CRAIG JOSEPH
51-010-504-00	GAMBLE MARY LEE
51-010-505-00	LEGGETT CHAPEL AME ZION
51-010-506-01	LEGGETT CHAPEL AME ZION
51-010-508-00	SMITH LEROY/TERESA L
51-010-509-01	LEGGETT CHAPEL AME ZION
51-011-636-00	CITY OF ALBION EDC
51-011-637-00	CITY OF ALBION EDC
51-011-638-00	CITY OF ALBION EDC
51-011-640-00	SANDOVAL DEON & TAYLOR
51-011-641-00	SEA KEVIN
51-011-642-00	CALHOUN COUNTY LAND BANK
51-011-643-00	CALHOUN COUNTY LAND BANK
51-011-644-00	CALHOUN COUNTY LAND BANK
51-011-645-00	CALDWELL LASHAWN
51-011-646-01	GRACE TEMPLE CHURCH OF GOD
51-011-648-01	GRACE TEMPLE
51-001-731-02	MARKOVICH SAMMY
51-001-787-00	RUBIO MARIA & ADAN
51-001-791-02	CITY OF ALBION
51-010-546-00	CALHOUN COUNTY LAND BANK
51-010-548-00	MORRIS EUNICE

51-010-549-00	ANDERSON WINFRED/ROCHELLE
51-010-550-00	DUNKLIN FRANKLIN
51-010-551-00	JOHNSON WILLIE MAE
51-010-551-01	DUNKLIN FRANKLIN
51-010-552-00	DUNKLIN FRANKLIN
51-010-553-00	LINDA LOVELACE LT
51-010-586-00	CURTIS ESSIE WESLY ROBERT E
51-010-590-00	VISION OF LIFE ACTION TEAM
51-010-591-00	VISION OF LIFE ACTION TEAM
51-425-001-00	CITY OF ALBION EDC
51-425-002-00	TACKETT KENT

Column3	Column4	Column5	Column6
225 WATSON ST	ALBION	MI	49224
300 B DRIVE N	ALBION	MI	49224
350 B DRIVE N	ALBION	MI	49224
400 B DRIVE N	ALBION	MI	49224
333 BEMER ST	ALBION	MI	49224
335 BEMER ST	ALBION	MI	49224
337 BEMER ST	ALBION	MI	49224
339 BEMER ST	ALBION	MI	49224
1503 N EATON ST & 1505 1507	ALBION	MI	49224
338 BEMER ST	ALBION	MI	49224
1409 N EATON ST	ALBION	MI	49224
1512 COOPER ST	ALBION	MI	49224
1514 COOPER ST	ALBION	MI	49224
1516 COOPER ST	ALBION	MI	49224
400 BEMER ST	ALBION	MI	49224
714 HOAGLIN DR	ALBION	MI	49224
1514 MAGNOTTA ST	ALBION	MI	49224
711 BEMER ST	ALBION	MI	49224
1515 MAGNOTTA ST	ALBION	MI	49224
1513 MAGNOTTA ST	ALBION	MI	49224
1511 MAGNOTTA ST	ALBION	MI	49224
800 HOAGLIN DR	ALBION	MI	49224
450 BEMER ST	ALBION	MI	49224
500 BEMER ST	ALBION	MI	49224
440 BEMER ST	ALBION	MI	49224
PLEASANT ST	ALBION	MI	49224
1450 N EATON ST	ALBION	MI	49224
250 B DRIVE N	ALBION	MI	49224
1495 N EATON ST	ALBION	MI	49224
1455 N EATON ST	ALBION	MI	49224
1515 N EATON ST	ALBION	MI	49224
1501 N EATON ST	ALBION	MI	49224
1521 N EATON ST	ALBION	MI	49224
1435 N EATON ST	ALBION	MI	49224
1508 N EATON ST	ALBION	MI	49224
1506 N EATON ST	ALBION	MI	49224
1440 N EATON ST	ALBION	MI	49224
1510 N EATON ST	ALBION	MI	49224
1512 N EATON ST	ALBION	MI	49224
200 B DRIVE N	ALBION	MI	49224
1420 N EATON ST	ALBION	MI	49224
205 WATSON ST	ALBION	MI	49224
1406 N EATON ST	ALBION	MI	49224
1410 N EATON ST	ALBION	MI	49224
1411 N EATON ST	ALBION	MI	49224
1407 N EATON ST	ALBION	MI	49224

1414 N EATON ST	ALBION	MI	49224
WIENER DR EXT	ALBION	MI	49224
1408 WIENER DR	ALBION	MI	49224
1418 COOPER ST	ALBION	MI	49224
1504 COOPER ST	ALBION	MI	49224
1506 COOPER ST	ALBION	MI	49224
1508 COOPER ST	ALBION	MI	49224
1510 COOPER ST	ALBION	MI	49224
1517 COOPER ST	ALBION	MI	49224
1515 COOPER ST	ALBION	MI	49224
1513 COOPER ST	ALBION	MI	49224
1511 COOPER ST	ALBION	MI	49224
1509 COOPER ST	ALBION	MI	49224
1507 COOPER ST	ALBION	MI	49224
1403 N EATON ST	ALBION	MI	49224
1337 N EATON ST	ALBION	MI	49224
1505 COOPER ST	ALBION	MI	49224
1503 COOPER ST	ALBION	MI	49224
1501 COOPER ST	ALBION	MI	49224
1401 N EATON ST	ALBION	MI	49224
1402 N EATON ST	ALBION	MI	49224
1314 N EATON ST	ALBION	MI	49224
103 WATSON ST	ALBION	MI	49224
1111 WIENER DR	ALBION	MI	49224
1109 WIENER DR	ALBION	MI	49224
101 FORD RD	ALBION	MI	49224
1112 WIENER DR	ALBION	MI	49224
1114 WIENER DR	ALBION	MI	49224
102 WATSON ST	ALBION	MI	49224
104 WATSON ST	ALBION	MI	49224
202 E WATSON ST	ALBION	MI	49224
204 WATSON ST	ALBION	MI	49224
201 FORD RD	ALBION	MI	49224
107 FORD RD	ALBION	MI	49224
105 FORD RD	ALBION	MI	49224
1113 WIENER DR	ALBION	MI	49224
1355 N EATON ST	ALBION	MI	49224
1310 N EATON ST	ALBION	MI	49224
1312 N EATON ST	ALBION	MI	49224
206 WATSON ST	ALBION	MI	49224
208 WATSON ST	ALBION	MI	49224
1317 N EATON ST	ALBION	MI	49224
1301 N EATON ST	ALBION	MI	49224
W BROADWELL ST	ALBION	MI	49224
320 W BROADWELL ST	ALBION	MI	49224
324 W BROADWELL ST	ALBION	MI	49224
1306 N EATON ST	ALBION	MI	49224

1308 N EATON ST	ALBION	MI	49224
1107 WIENER DR	ALBION	MI	49224
312 W BROADWELL ST	ALBION	MI	49224
1302 N EATON ST	ALBION	MI	49224
1304 N EATON ST	ALBION	MI	49224
1105 WIENER DR	ALBION	MI	49224
1103 WIENER DR	ALBION	MI	49224
1101 WIENER DR	ALBION	MI	49224
12964 27 MILE RD	ALBION	MI	49224
12800 27 MILE RD	ALBION	MI	49224
12980 27 MI RD	ALBION	MI	49224
12810 27 MI RD	ALBION	MI	49224
12852 27 MI RD	ALBION	MI	49224
1401 DEAN DR	ALBION	MI	49224
900 BOYD DR	ALBION	MI	49224
1200 PLEASANT ST	ALBION	MI	49224
PLEASANT ST (EXT)	ALBION	MI	49224
1201 PLEASANT ST	ALBION	MI	49224
WESTOVER BLVD	ALBION	MI	49224
900 HOAGLIN DR	ALBION	MI	49224
26945 W MICHIGAN AVE	ALBION	MI	49224
W MICHIGAN AVE	ALBION	MI	49224
26730 W MICHIGAN AVE	ALBION	MI	49224
26913 W MICHIGAN AVE.	ALBION	MI	49224
26791 W MICHIGAN AVE	ALBION	MI	49224
26711 W MICHIGAN AVE	ALBION	MI	49224
26920 W MICHIGAN AVE	ALBION	MI	49224
929 ELLIOTT RD	ALBION	MI	49224
930 ELLIOTT RD	ALBION	MI	49224
26742 W MICHIGAN AVE	ALBION	MI	49224
1009 INDUSTRIAL AVE	ALBION	MI	49224
26950 W MICHIGAN AVE	ALBION	MI	49224
927 ELLIOTT RD	ALBION	MI	49224
1007 INDUSTRIAL AVE	ALBION	MI	49224
1003 INDUSTRIAL AVE	ALBION	MI	49224
1120 AUSTIN AVE	ALBION	MI	49224
1111 AUSTIN AVE	ALBION	MI	49224
STREET (ROW)-OLD RAIL	ALBION	MI	49224
1000 INDUSTRIAL AVE	ALBION	MI	49224
1109 AUSTIN AVE	ALBION	MI	49224
1105.5 AUSTIN AVE	ALBION	MI	49224
1001 INDUSTRIAL AVE	ALBION	MI	49224
1102 AUSTIN AVE	ALBION	MI	49224
1110 AUSTIN AVE	ALBION	MI	49224
1105 AUSTIN AVE	ALBION	MI	49224

923 BURSTEIN DR	ALBION	MI	49224
925 ELLIOTT RD	ALBION	MI	49224
926 ELLIOTT RD	ALBION	MI	49224
908 ELLIOTT RD	ALBION	MI	49224
1100 AUSTIN AVE	ALBION	MI	49224
1101 AUSTIN AVE	ALBION	MI	49224
975 AUSTIN AVE	ALBION	MI	49224
1014 AUSTIN AVE	ALBION	MI	49224
1016 AUSTIN AVE	ALBION	MI	49224
LUTHER-TREE DUMP	ALBION	MI	49224
1101 INDUSTRIAL AVE	ALBION	MI	49224
1100 INDUSTRIAL AVE	ALBION	MI	49224
916 BURSTEIN DR	ALBION	MI	49224
919 BURSTEIN DR	ALBION	MI	49224
1023 N CLARK ST	ALBION	MI	49224
1203 E NORTH ST-BASEBALL FIELD	ALBION	MI	49224
1000 E NORTH ST	ALBION	MI	49224
1002 N MINGO ST	ALBION	MI	49224
1000 N MINGO ST	ALBION	MI	49224
1004 N MINGO ST	ALBION	MI	49224
1006 N MINGO ST	ALBION	MI	49224
1008 N MINGO ST	ALBION	MI	49224
1010 N MINGO ST	ALBION	MI	49224
1012 N MINGO ST	ALBION	MI	49224
1014 N MINGO ST	ALBION	MI	49224
1016 N MINGO ST	ALBION	MI	49224
1018 N MINGO ST	ALBION	MI	49224
1020 N MINGO ST	ALBION	MI	49224
1022 N MINGO ST	ALBION	MI	49224
1024 N MINGO ST	ALBION	MI	49224
1026 N MINGO ST	ALBION	MI	49224
1021 N MINGO ST	ALBION	MI	49224
1019 N MINGO ST	ALBION	MI	49224
1017 N MINGO ST	ALBION	MI	49224
1015 N MINGO ST	ALBION	MI	49224
1013 N MINGO ST	ALBION	MI	49224
1011 N MINGO ST	ALBION	MI	49224
1009 N MINGO ST	ALBION	MI	49224
1007 N MINGO ST	ALBION	MI	49224
1005 N MINGO ST	ALBION	MI	49224
1003 N MINGO ST	ALBION	MI	49224
1001 N MINGO ST	ALBION	MI	49224
1102 INDUSTRIAL AVE	ALBION	MI	49224
1104 INDUSTRIAL AVE	ALBION	MI	49224
1000 N BROWNSWOOD-WASTE WATER TR	ALBION	MI	49224
1300.5 HILLSIDE RD	ALBION	MI	49224
611 BURR OAK ST	ALBION	MI	49224

711 DIVISION ST	ALBION	MI	49224
805 BURR OAK ST	ALBION	MI	49224
709 DIVISION ST	ALBION	MI	49224
807 BURR OAK ST	ALBION	MI	49224
809 BURR OAK ST	ALBION	MI	49224
813 BURR OAK ST	ALBION	MI	49224
812 BURR OAK ST	ALBION	MI	49224
800 BURR OAK ST	ALBION	MI	49224
702 BURR OAK ST	ALBION	MI	49224
610 BURR OAK ST	ALBION	MI	49224
1007 BARNES ST	ALBION	MI	49224
1013 BARNES ST	ALBION	MI	49224
607 N MINGO ST	ALBION	MI	49224
606 N MINGO ST	ALBION	MI	49224
1207 BARNES ST	ALBION	MI	49224
608 N MINGO ST	ALBION	MI	49224
610 N MINGO ST	ALBION	MI	49224
607 LOMBARD ST	ALBION	MI	49224
703 N CLARK ST	ALBION	MI	49224
818 BURR OAK ST	ALBION	MI	49224
820 BURR OAK ST	ALBION	MI	49224
822 BURR OAK ST	ALBION	MI	49224
824 BURR OAK ST	ALBION	MI	49224
900 BURR OAK ST	ALBION	MI	49224
904 BURR OAK ST	ALBION	MI	49224
908 BURR OAK ST	ALBION	MI	49224
912 BURR OAK ST	ALBION	MI	49224
914 BURR OAK ST	ALBION	MI	49224
920 BURR OAK ST	ALBION	MI	49224
924 BURR OAK ST	ALBION	MI	49224
819 BURR OAK ST	ALBION	MI	49224
817 BURR OAK ST	ALBION	MI	49224
821 BURR OAK ST	ALBION	MI	49224
823 BURR OAK ST	ALBION	MI	49224
825 BURR OAK ST	ALBION	MI	49224
901 BURR OAK ST	ALBION	MI	49224
903 BURR OAK ST	ALBION	MI	49224
905 BURR OAK ST	ALBION	MI	49224
909 BURR OAK ST	ALBION	MI	49224
913 BURR OAK ST	ALBION	MI	49224
915 BURR OAK ST	ALBION	MI	49224
919 BURR OAK ST	ALBION	MI	49224
921 BURR OAK ST	ALBION	MI	49224
923 BURR OAK ST	ALBION	MI	49224
810 BURR OAK ST	ALBION	MI	49224
700 DIVISION ST	ALBION	MI	49224
609 FITCH ST	ALBION	MI	49224

810 BARNES ST	ALBION	MI	49224
606 FITCH ST	ALBION	MI	49224
809 BARNES ST	ALBION	MI	49224
811 BARNES ST	ALBION	MI	49224
813 BARNES ST	ALBION	MI	49224
901 BARNES ST	ALBION	MI	49224
905 BARNES ST	ALBION	MI	49224
1005 E NORTH ST	ALBION	MI	49224
1003 E NORTH ST	ALBION	MI	49224
1001 E NORTH ST	ALBION	MI	49224
901 E NORTH ST	ALBION	MI	49224
1002 FITCH ST	ALBION	MI	49224
1004 FITCH ST	ALBION	MI	49224
1006 FITCH ST	ALBION	MI	49224
1008 FITCH ST	ALBION	MI	49224
1010 FITCH ST	ALBION	MI	49224
1004 BURR OAK ST	ALBION	MI	49224
804 BENNETT ST	ALBION	MI	49224
1003 FITCH ST	ALBION	MI	49224
1001 FITCH ST	ALBION	MI	49224
805 E NORTH ST	ALBION	MI	49224
803 E NORTH ST	ALBION	MI	49224
1002 BURR OAK ST	ALBION	MI	49224
508 LOMBARD ST	ALBION	MI	49224
510 LOMBARD ST	ALBION	MI	49224
507 N CLARK ST	ALBION	MI	49224
509 N CLARK ST	ALBION	MI	49224
1318 BARNES ST	ALBION	MI	49224
1308 BARNES ST	ALBION	MI	49224
1304 BARNES ST	ALBION	MI	49224
1302 BARNES ST	ALBION	MI	49224
512 LOMBARD ST	ALBION	MI	49224
511 LOMBARD ST	ALBION	MI	49224
517 LOMBARD ST	ALBION	MI	49224
1210 BARNES ST	ALBION	MI	49224
1208 BARNES ST	ALBION	MI	49224
1209 BARNES ST	ALBION	MI	49224
1211 BARNES ST	ALBION	MI	49224
1301 BARNES ST	ALBION	MI	49224
1303 BARNES ST	ALBION	MI	49224
107.5 N GALE ST	ALBION	MI	49224
109.5 N GALE ST	ALBION	MI	49224
W ERIE ST	ALBION	MI	49224
408 N ALBION ST	ALBION	MI	49224
109 N ALBION ST	ALBION	MI	49224
714 W CASS ST-HARRIS FIELD	ALBION	MI	49224
601 N ALBION ST	ALBION	MI	49224

601 N ALBION ST	ALBION	MI	49224
617 W CHESTNUT ST	ALBION	MI	49224
613 W CHESTNUT ST	ALBION	MI	49224
404 N ALBION ST	ALBION	MI	49224
402 N ALBION ST	ALBION	MI	49224
N MCCLURE RIVERFRONT PARK	ALBION	MI	49224
403 MCCLURE RIVERFRONT PARK	ALBION	MI	49224
205 N GALE ST	ALBION	MI	49224
WALKING TRAIL	ALBION	MI	49224
WALKING TRAIL	ALBION	MI	49224
	ALBION	MI	49224
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	ALBION	MI	49224
509 N ALBION ST	ALBION	MI	49224
406 N ALBION ST	ALBION	MI	49224
600 N ALBION ST	ALBION	MI	49224
610 W CHESTNUT ST	ALBION	MI	49224
612 W CHESTNUT ST	ALBION	MI	49224
608 W MICHIGAN ST	ALBION	MI	49224
304 N ALBION ST	ALBION	MI	49224
506 N MINGO ST	ALBION	MI	49224
514 N MINGO ST	ALBION	MI	49224
518 N MINGO ST	ALBION	MI	49224
520 N MINGO ST	ALBION	MI	49224
600 LYNN ST	ALBION	MI	49224
511 N MINGO ST	ALBION	MI	49224
513 N MINGO ST	ALBION	MI	49224
519 N MINGO ST	ALBION	MI	49224
604 LYNN ST	ALBION	MI	49224
606 LYNN ST	ALBION	MI	49224
602 LYNN ST	ALBION	MI	49224
1010 BARNES ST	ALBION	MI	49224
513 LYNN ST	ALBION	MI	49224
509 LYNN ST	ALBION	MI	49224
607 FITCH ST	ALBION	MI	49224
600 FITCH ST	ALBION	MI	49224
604 FITCH ST	ALBION	MI	49224
1012 AUSTIN AVE	ALBION	MI	49224
1104 PLEASANT ST	ALBION	MI	49224
972 AUSTIN AVE	ALBION	MI	49224
1002 AUSTIN AVE	ALBION	MI	49224

1103 PLEASANT ST	ALBION	MI	49224
1006 AUSTIN AVE	ALBION	MI	49224
901 BURSTEIN DR	ALBION	MI	49224
941 AUSTIN AVE	ALBION	MI	49224
971 AUSTIN AVE	ALBION	MI	49224
903 BURSTEIN DR	ALBION	MI	49224
948 AUSTIN AVE	ALBION	MI	49224
966 AUSTIN AVE	ALBION	MI	49224
964 AUSTIN AVE	ALBION	MI	49224
968 AUSTIN AVE	ALBION	MI	49224
907 BURSTEIN DR	ALBION	MI	49224
902 BURSTEIN DR	ALBION	MI	49224
940 AUSTIN AVE	ALBION	MI	49224
942 AUSTIN AVE	ALBION	MI	49224
910 BURSTEIN DR	ALBION	MI	49224
906 BURSTEIN DR	ALBION	MI	49224
923 AUSTIN AVE	ALBION	MI	49224
724 AUSTIN AVE	ALBION	MI	49224
726 AUSTIN AVE	ALBION	MI	49224
1200 MALLORY ST	ALBION	MI	49224
802 AUSTIN AVE	ALBION	MI	49224
804 AUSTIN AVE	ALBION	MI	49224
810 AUSTIN AVE	ALBION	MI	49224
610 AUSTIN AVE	ALBION	MI	49224
612 AUSTIN AVE	ALBION	MI	49224
614 AUSTIN AVE	ALBION	MI	49224
618 AUSTIN AVE	ALBION	MI	49224
624 AUSTIN AVE	ALBION	MI	49224
806 N ALBION ST	ALBION	MI	49224
810 N ALBION ST	ALBION	MI	49224
812 N ALBION ST	ALBION	MI	49224
611 AUSTIN AVE	ALBION	MI	49224
617 AUSTIN AVE	ALBION	MI	49224
619 AUSTIN AVE	ALBION	MI	49224
722 N ALBION ST	ALBION	MI	49224
720 N ALBION ST	ALBION	MI	49224
718 N ALBION ST	ALBION	MI	49224
716 N ALBION ST	ALBION	MI	49224
714 N ALBION ST	ALBION	MI	49224
712 N ALBION ST	ALBION	MI	49224
708 N ALBION ST	ALBION	MI	49224
711 GRACE ST	ALBION	MI	49224
720 AUSTIN AVE	ALBION	MI	49224
706 N ALBION ST	ALBION	MI	49224
705 AUSTIN AVE	ALBION	MI	49224
819 N ALBION ST	ALBION	MI	49224
809 N ALBION ST	ALBION	MI	49224

807 N ALBION ST	ALBION	MI	49224
700 AUSTIN AVE	ALBION	MI	49224
805 N ALBION ST	ALBION	MI	49224
712 AUSTIN AVE	ALBION	MI	49224
714 AUSTIN AVE	ALBION	MI	49224
716 AUSTIN AVE	ALBION	MI	49224
909 JEFFERSON ST	ALBION	MI	49224
905 JEFFERSON ST	ALBION	MI	49224
718 AUSTIN AVE	ALBION	MI	49224
1917 E MICHIGAN AVE	ALBION	MI	49224
1001 BROOKS RD	ALBION	MI	49224

Column7	Column8	Column9	Column10
225 WATSON ST	ALBION	MI	49224
200 N MADISON AVE	MARSHALL	MI	49068
200 N MADISON AVE	MARSHALL	MI	49068
400 B DRIVE N	ALBION	MI	49224
333 BEMER ST	ALBION	MI	49224
333 BEMER ST	ALBION	MI	49224
112 BUSHONG DRIVE	ALBION	MI	49224
112 BUSHONG DR	ALBION	MI	49224
PO BOX 250004	WEST BLOOMFIELD	MI	48325
PO BOX 250004	WEST BLOOMFIELD	MI	48325-0004
PO BOX 218	ALBION	MI	49224
1512 COOPER ST	ALBION	MI	49224
1514 COOPER ST	ALBION	MI	49224
1516 COOPER ST	ALBION	MI	49224
PO BOX 250004	WEST BLOOMFIELD	MI	48325
714 HOAGLIN DR	ALBION	MI	49224
1514 MAGNOTTA ST	ALBION	MI	49224
711 BEMER ST	ALBION	MI	49224
1515 MAGNOTTA ST	ALBION	MI	49224
PO BOX 997	ALBION	MI	49224
1511 MAGNOTTA ST	ALBION	MI	49224
PO BOX 997	ALBION	MI	49224
ONE ENERGY PLAZA	JACKSON	MI	49201-9938
34026 ANNA'S WAY SUITE 1	LONGNECK	DE	19966
501 N SUPERIOR ST	ALBION	MI	49224
600 W 22ND ST SUITE 101		60523 DE	19966
320 MARTIN ST SUITE 100	BIRMINGHAM	MI	48009
202 S MONROE	ALBION	MI	49224
333 BEMER ST	ALBION	MI	49224
PO BOX 517	ALBION	MI	49224
PO BOX 182571	COLUMBUS	OH	43216
539 S MAIN ST	FINDLAY	OH	45840
PO BOX 250004	WEST BLOOMFIELD	MI	48325
4015 LEMON CREEK RD	BRIDGMAN	MI	49106
2020 COUNTRY CLUB WAY	ALBION	MI	49224
320 MARTIN ST SUITE 100	BIRMINGHAM	MI	48009
400 E 22 ST SUITE E	LOMBARD	IL	60148
202 S MONROE	ALBION	MI	49224
27416 ECORSE RD	ROMULUS	MI	48174
202 S MONROE	ALBION	MI	49224
PO BOX 9167	SPRINGFIELD	MO	65801-9167
P O BOX 388	ALBION	MI	49224
3944 WINTERSET LANE	WEST BLOOMFIELD	MI	48323
2020 COUNTRY CLUB WAY	ALBION	MI	49224
PO BOX 218	ALBION	MI	49224
1407 N EATON ST	ALBION	MI	49224

3101 COUNTRY CLUB WAY	ALBION	MI	49224
112 W CASS ST	ALBION	MI	49224
320 MARTIN ST SUITE 100	BIRMINGHAM	MI	48009
225 WATSON ST	ALBION	MI	49224
1504 COOPER ST	ALBION	MI	49224
1506 COOPER ST	ALBION	MI	49224
1508 COOPER ST	ALBION	MI	49224
6459 WAYWIND DR	DAYTON	OH	45426
845 ATHENA DR	ALBION	MI	49224
1202 WOODLAWN	ALBION	MI	49224
1513 COOPER ST	MARSHALL	MI	49068
6205 HAMPSTEAD CT	PORT TOBACCO	MD	20677
1509 COOPER ST	ALBION	MI	49224
908 IRWIN AVE	ALBION	MI	49224
1320 N LA SALLE ST	CHICAGO	IL	60610
10950 GRANDVIEW DR STE 300	OVERLAND PARK	KS	66210
908 IRWIN AVE	ALBION	MI	49224
1503 COOPER ST	ALBION	MI	49224
1501 COOPER ST	ALBION	MI	49224
1320 N LA SALLE ST	CHICAGO	IL	60610
1402 N EATON ST	ALBION	MI	49224
1402 EATON ST	ALBION	MI	49224
103 WATSON ST	ALBION	MI	49224
1111 WIENER DR	ALBION	MI	49224
1109 WIENER DR	ALBION	MI	49224
908 IRWIN AVE	ALBION	MI	49224
1112 WIENER DR	ALBION	MI	49224
366 HILCREST AVE	GROSSE POINTE	MI	48236
PO BOX 26	ALBION	MI	49224
104 WATSON ST	ALBION	MI	49224
202 E WATSON ST	ALBION	MI	49224
206 WATSON ST	ALBION	MI	49224
201 FORD RD	ALBION	MI	49224
107 FORD RD	ALBION	MI	49224
105 FORD RD	ALBION	MI	49224
1071 MARSHALL RD	COLDWATER	MI	49036
9653 N GRANVILLE RD STOP 1	MEQUON	WI	53097-3513
1310 N EATON ST	ALBION	MI	49224
805 VALHALLA DR	ALBION	MI	49224
206 WATSON ST	ALBION	MI	49224
523 WASHINGTON ST	ALBION	MI	49224
2112 INDUSTRIAL DR	NILES	MI	49120
525 WATER STREET	PORT HURON	MI	48061
3071 TALON CIRCLE	LAKE ORION	MI	48360
320 W BROADWELL ST	ALBION	MI	49224
315 WEST GREEN ST	MARSHALL	MI	49068
5887 RICKFIELD NORTH	JACKSON	MI	49201

1308 N EATON ST	ALBION	MI	49224
24772 J DR S	HOMER	MI	49245
716 AUSTIN AVE	ALBION	MI	49224
23 W 462 GREENBRIAR DR	NAPERVILLE	IL	60540
1304 N EATON ST	ALBION	MI	49224
1105 WIENER DR	ALBION	MI	49224
1103 WIENER DR	ALBION	MI	49224
1101 WIENER DR	ALBION	MI	49224
13300 15 MILE RD	MARSHALL	MI	49068
29786 E DRIVE N	ALBION	MI	49224
ONE ENERGY PLAZA	JACKSON	MI	49201-9938
13300 15 MI RD	MARSHALL	MI	49068
9690 PALMETTO COURT	PORTAGE	MI	49002
12852 27 MILE ROAD	ALBION	MI	49224
112 W CASS ST	ALBION	MI	49224
3150 LIVERNOIS STE 136	TROY	MI	48083
1114 PLEASANT ST	ALBION	MI	49224
112 W CASS ST	ALBION	MI	49224
1201 PLEASANT	ALBION	MI	49224
600 W 22 ST SUITE 101	OAK BROOK	IL	60523
514 E ERIE ST	ALBION	MI	49224
910 OAKRIDGE DR	JACKSON	MI	49203
18700 HATCH RD	ALBION	MI	49224
4702 NEWCASTLE DR	COLUMBIA	MO	65203
4100 LUDLOW RD	ALBION	MI	49224
W222 N833 CHEANEY DR	WAUKESHA	WI	53186
26711 W MICHIGAN AVE	ALBION	MI	49224
ONE ENERGY PLAZA	JACKSON	MI	49201-9938
13333 15 MILE RD	MARSHALL	MI	49068
7241 MONROE RD	SPRINGPORT	MI	49284
10221 CAPITAL STREET	OAK PARK	MI	48237
1434 220TH ST PO BOX 610	WEBSTER CITY	IA	50595
7241 MONROE RD	SPRINGPORT	MI	49284
4411 MECHANIC RD	HILLSDALE	MI	49242
927 ELLIOTT	ALBION	MI	49224
704 N CLARK ST	ALBION	MI	49224
1381 CHAROLETT LANDING ROAD	SPRINGPORT	MI	49284
3351 CALLAHAN ROAD	ALBION	MI	49224
PO BOX 725	ALBION	MI	49224
112 W CASS ST	ALBION	MI	49224
315 W GREEN ST	MARSHALL	MI	49068
PO BOX 725	ALBION	MI	49224
PO BOX 725	ALBION	MI	49224
16000 E MICHIGAN AVE	ALBION	MI	49224
1102 AUSTIN AVE	ALBION	MI	49224
4849 HICKS RD	ALBION	MI	49224
1215 WILDWOOD AVE	JACKSON	MI	49202

1215 WILDWOOD AVE	JACKSON	MI	49202
927 ELLIOTT RD	ALBION	MI	49224
4000 MONROE ROAD	CHARLOTTE	NC	28205
PO BOX 725	ALBION	MI	49224
PO BOX 123	ALBION	MI	49224
PO BOX 725	ALBION	MI	49224
PO BOX 725	ALBION	MI	49224
1012 AUSTIN AVE	ALBION	MI	49224
24772 J DRIVE S	HOMER	MI	49245
112 W CASS ST	ALBION	MI	49224
1292 DAVIS STREET	YPSILANTI	MI	48198
1100 INDUSTRIAL BLVD	ALBION	MI	49224
PO BOX 105681	ATLANTA	GA	30303
1215 WILDWOOD AVE	JACKSON	MI	49202
TREASURY BUILDING	LANSING	MI	48922
1203 E NORTH ST	ALBION	MI	49224
1 KNAUF DR	SHELBYVILLE	IN	46176
805 HUNTINGTON BLVD	ALBION	MI	49224
315 W GREEN ST	MARSHALL	MI	49068
1004 N MINGO ST	ALBION	MI	49224
1006 N MINGO ST	ALBION	MI	49224
1008 N MINGO ST	ALBION	MI	49224
1010 N MINGO ST	ALBION	MI	49224
1012 N MINGO ST	ALBION	MI	49224
205 E WATSON ST APT 13	ALBION	MI	49224
1016 N MINGO ST	ALBION	MI	49224
1018 N MINGO ST	ALBION	MI	49224
1020 N MINGO ST	ALBION	MI	49224
1022 N MINGO ST	ALBION	MI	49224
506 LOMBARD ST	ALBION	MI	49224
1026 N MINGO ST	ALBION	MI	49224
1021 N MINGO ST	ALBION	MI	49224
1019 N MINGO ST	ALBION	MI	49224
1017 N MINGO ST	ALBION	MI	49224
1015 N MINGO ST	ALBION	MI	49224
16000 E MICHIGAN AVE	ALBION	MI	49224
1011 N MINGO ST	ALBION	MI	49224
300 S EATON ST	ALBION	MI	49224
1007 N MINGO ST	ALBION	MI	49224
1005 N MINGO	ALBION	MI	49224
1003 N MINGO ST	ALBION	MI	49224
1001 N MINGO STREET	ALBION	MI	49224
1102 INDUSTRIAL AVE	ALBION	MI	49224
1104 INDUSTRIAL AVE	ALBION	MI	49224
112 W CASS ST	ALBION	MI	49224
112 W CASS ST	ALBION	MI	49224
611 E PORTER ST	ALBION	MI	49224

14040 DEVEREAUX RD	ALBION	MI	49224
612 BROADWAY AVE	BRIDGEPORT	AL	35740-6242
16095 COMDON RD	ALBION	MI	49224
807 BURR OAK ST	ALBION	MI	49224
839 SAN YSIDRO LANE	NIPOMO	CA	93444
16095 COMDON RD	ALBION	MI	49224
1 KNAUF DR	SHELBYVILLE	IN	46176
1 KNAUF DR	SHELBYVILLE	IN	46176
702 BURR OAK ST	ALBION	MI	49224
3351 CALLAHAN RD	ALBION	MI	49224
1007 BARNES ST	ALBION	MI	49224
1 KNAUF DR	SHELBYVILLE	IN	46176
1 KNAUF DR	SHELBYVILLE	IN	46176
606 N MINGO ST	ALBION	MI	49224
1207 BARNES ST	ALBION	MI	49224
608 N MINGO ST	ALBION	MI	49224
610 N MINGO ST	ALBION	MI	49224
ONE ENERGY PLAZA	JACKSON	MI	49201-9938
703 N CLARK ST	ALBION	MI	49224
1 KNAUF DR	SHELBYVILLE	IN	46176
1 KNAUF DR	SHELBYVILLE	IN	46176
1 KNAUF DR	SHELBYVILLE	IN	46176
1 KNAUF DR	SHELBYVILLE	IN	46176
1 KNAUF DR	SHELBYVILLE	IN	46176
1 KNAUF DR	SHELBYVILLE	IN	46176
1 KNAUF DR	SHELBYVILLE	IN	46176
1 KNAUF DR	SHELBYVILLE	IN	46176
1 KNAUF DR	SHELBYVILLE	IN	46176
920 BURR OAK ST	ALBION	MI	49224
924 BURR OAK ST	ALBION	MI	49224
819 BURR OAK ST	ALBION	MI	49224
817 BURR OAK ST	ALBION	MI	49224
419 DARROW ST	ALBION	MI	49224
419 DARROW ST	ALBION	MI	49224
419 DARROW ST	ALBION	MI	49224
901 BURR OAK	ALBION	MI	49224
11305 MACKIE RD	PARMA	MI	49269
400 BURR OAK ST	ALBION	MI	49224
909 BURR OAK ST	ALBION	MI	49224
913 BURR OAK ST	ALBION	MI	49224
915 BURR OAK	ALBION	MI	49224
919 BURR OAK ST	ALBION	MI	49224
9201 WATSON RD	HANOVER	MI	49241
708 VALHALLA DR	ALBION	MI	49224
1 KNAUF DR	SHELBYVILLE	IN	46176
700 DIVISION ST	ALBION	MI	49224
24772 J DRIVE SOUTH	HOMER	MI	49245

14011 HAVEN RIDGE LN UNIT 202	CHARLOTTE	NC	28215-7866
606 FITCH ST	ALBION	MI	49224
809 BARNES ST	ALBION	MI	49224
916 HALL ST	ALBION	MI	49224
813 BARNES ST	ALBION	MI	49224
315 WEST GREEN ST	MARSHALL	MI	49068
905 BARNES ST	ALBION	MI	49224
24772 J DR SOUTH	HOMER	MI	49245
24772 J DRIVE S	HOMER	MI	49245
315 W GREEN ST	MARSHALL	MI	49068
381 GREEN ST	SPRINGPORT	MI	49284
1002 FITCH ST	ALBION	MI	49224
15901 E MICHIGAN AVE	ALBION	MI	49224
1006 FITCH ST	ALBION	MI	49224-
1008 FITCH ST	ALBION	MI	49224
27484 M60 EAST	HOMER	MI	49245
1004 BURR OAK ST	ALBION	MI	49224
804 BENNETT ST	ALBION	MI	49224
1003 FITCH ST	ALBION	MI	49224
1001 FITCH ST	ALBION	MI	49224
24772 J DRIVE S	HOMER	MI	49245
803 E NORTH ST	ALBION	MI	49224
1002 BURR OAK ST	ALBION	MI	49224
24772 J DRIVE S	HOMER	MI	49245
510 LOMBARD ST	ALBION	MI	49224
PO BOX 70	MARSHALL	MI	49068
509 N CLARK ST	ALBION	MI	49224
1318 BARNES ST	ALBION	MI	49224
1308 BARNES ST	ALBION	MI	49224
2701 CALHOUN RD LOT 34	ALBION	MI	49224
1302 BARNES ST	ALBION	MI	49224
512 LOMBARD ST	ALBION	MI	49224
511 LOMBARD ST	ALBION	MI	49224-1927
24772 J DRIVE SOUTH	HOMER	MI	49245
1210 BARNES ST	ALBION	MI	49224
1208 BARNES	ALBION	MI	49224
1209 BARNES ST	ALBION	MI	49224
1211 BARNES ST	ALBION	MI	49224
703 N CLARK ST	ALBION	MI	49224
703 N CLARK ST	ALBION	MI	49224
112 W CASS ST	ALBION	MI	49224
112 W CASS ST	ALBION	MI	49224
112 W CASS ST	ALBION	MI	49224
12985 L DRIVE	BATTLE CREEK	MI	49014
112 W CASS ST	ALBION	MI	49224
112 W CASS ST	ALBION	MI	49224
323 W GREEN	MARSHALL	MI	49068

323 W GREEN	MARSHALL	MI	49068
PO BOX 64	ALBION	MI	49224
PO BOX 64	ALBION	MI	49224
12985 L DRIVE	BATTLE CREEK	MI	49014
112 W CASS ST	ALBION	MI	49224
112 W CASS ST	ALBION	MI	49224
112 W CASS ST	ALBION	MI	49224
112 W CASS ST	ALBION	MI	49224
112 W CASS ST	ALBION	MI	49224
112 W CASS ST	ALBION	MI	49224
112 W CASS ST	ALBION	MI	49224
112 W CASS ST	ALBION	MI	49224
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112 W CASS ST	ALBION	MI	49224
112 W CASS ST	ALBION	MI	49224
112 W CASS ST	ALBION	MI	49224
112 W CASS ST	ALBION	MI	49224
112 W CASS ST	ALBION	MI	49224
112 W CASS ST	ALBION	MI	49224
112 W CASS ST	ALBION	MI	49224
309 N SUPERIOR ST	ALBION	MI	49224
ONE ENERGY PLAZA	JACKSON	MI	49201-9938
315 W GREEN ST	MARSHALL	MI	49068
606 W CHESTNUT	ALBION	MI	49224
315 W GREEN ST	MARSHALL	MI	49068
112 W CASS ST	ALBION	MI	49224
112 W CASS ST	ALBION	MI	49224
506 N MINGO ST	ALBION	MI	49224
514 N MINGO ST	ALBION	MI	49224
518 N MINGO ST	ALBION	MI	49224
1549 E MICHIGAN AVE	ALBION	MI	49224
BOX 127	SPRINGPORT	MI	49284
503 N MINGO ST	ALBION	MI	49224
513 N MINGO ST	ALBION	MI	49224
519 N MINGO ST	ALBION	MI	49224
604 LYNN ST	ALBION	MI	49224
504 HAVEN RD	ALBION	MI	49224
602 LYNN ST	ALBION	MI	49224
1010 BARNES ST	ALBION	MI	49224
513 LYNN ST	ALBION	MI	49224
509 LYNN ST	ALBION	MI	49224
607 FITCH ST	ALBION	MI	49224
301 FOXWOOD DR	BRANDON	FL	33510
604 FITCH ST	ALBION	MI	49224
1012 AUSTIN AVE	ALBION	MI	49224
968 AUSTIN AVE	ALBION	MI	49224
968 AUSTIN AVE	ALBION	MI	49224
315 W GREEN ST	MARSHALL	MI	49068

1115 PLEASANT ST	ALBION	MI	49224
PO BOX 1032	ALBION	MI	49224
1411 THIRD ST STE A	PORT HURON	MI	48060
112 W CASS	ALBION	MI	49224
PO BOX 725	ALBION	MI	49224
PO BOX 725	ALBION	MI	49224
PO BOX 70	MARSHALL	MI	49068
968 AUSTIN AVE	ALBION	MI	49224
PO BOX 70	MARSHALL	MI	49068
968 AUSTIN AVE	ALBION	MI	49224
PO BOX 837	ALBION	MI	49224
10714 BULL VALLEY RD	WOODSTOCK	IL	60098
940 AUSTIN AVE	ALBION	MI	49224
PO BOX 123	ALBION	MI	49224
PO BOX 725	ALBION	MI	49224
PO BOX 725	ALBION	MI	49224
12985 L DR N	BATTLE CREEK	MI	49014
710 W ERIE	ALBION	MI	49224
726 AUSTIN AVE	ALBION	MI	49224
908 IRWIN AVE	ALBION	MI	49224-9713
914 N MONROE ST	ALBION	MI	49224
709 BEMER ST	ALBION	MI	49224
PO BOX 367	ALBION	MI	49224
300 S EATON ST	ALBION	MI	49224
2521 WILLOW WAY DR	LITHONIA	GA	30058
PO BOX 711	ALBION	MI	49224
PO BOX 997	ALBION	MI	49224
806 N ALBION ST	ALBION	MI	49224
806 N ALBION ST	ALBION	MI	49224
810 N ALBION ST	ALBION	MI	49224
806 N ALBION ST	ALBION	MI	49224
PO BOX 725	ALBION	MI	49224
PO BOX 725	ALBION	MI	49224
PO BOX 725	ALBION	MI	49224
316 MECHANIC ST	ALBION	MI	49224
15 DIVISION	NEW YORK	NY	10002
315 W GREEN ST	MARSHALL	MI	49068
315 W GREEN ST	MARSHALL	MI	49068
315 W GREEN ST	MARSHALL	MI	49068
845 ATHENA DR	ALBION	MI	49224
711 GRACE ST	ALBION	MI	49224
PO BOX 262	ALBION	MI	49224
720 AUSTIN AVE	ALBION	MI	49224
706 N ALBION ST	ALBION	MI	49224
112 W CASS ST	ALBION	MI	49224
315 W GREEN ST	MARSHALL	MI	49068
809 N ALBION ST	ALBION	MI	49224

807 N ALBION ST	ALBION	MI	49224
702 ORCHARD DR	ALBION	MI	49224
805 N ALBION ST	ALBION	MI	49224
702 ORCHARD DR	ALBION	MI	49224
702 ORCHARD DR	ALBION	MI	49224
716 AUSTIN AVE	ALBION	MI	49224
701 W BROADWELL	ALBION	MI	49224
801 W BROADWELL ST	ALBION	MI	49224
801 W BROADWELL	ALBION	MI	49224
PO BOX 725	ALBION	MI	49224
1051 27 1/2 MILE RD	LITCHFIELD	MI	49252

WORDEN CHRISTOPHER D
700 DIVISION ST
ALBION, MI 49224

DUNKLIN FRANKLIN
702 ORCHARD DR
ALBION, MI 49224

YATES JAMES/MONICA
14011 HAVEN RIDGE LN UNIT 202
ALBION, MI 49224

ZELLER SHIRLEY E & GREG A WILLIAM
702 BURR OAK ST
ALBION, MI 49224

ZENONIANI WILLIAM & LAURENE
607 FITCH ST
ALBION, MI 49224

VISION OF LIFE ACTION TEAM
801 W BROADWELL ST
ALBION, MI 49224

VISION OF LIFE ACTION TEAM
801 W BROADWELL
ALBION, MI 49224

CITY OF ALBION EDC
PO BOX 725
ALBION, MI 49224

ZERBE LUCILLE J
1310 N EATON ST
ALBION, MI 49224

PLANNING COMMISSION

AGENDA ITEM REPORT



To: Planning Commission
Subject: DISCUSSION/APPROVAL - APPLICATION FOR SITE PLAN REVIEW - 923 BURSTEIN DRIVE - ANA DREAM LLC
Meeting: PLANNING COMMISSION - 15 Mar 2022
Department: Planning & Building Department
Staff Contact: Ian Arnold, Director Building & Planning

BACKGROUND INFORMATION:

Review of Application for Site Plan Review at 923 Burstein Drive for Ana Dream LLC.

RECOMMENDATION:

Conditional Approval

ATTACHMENTS:

[923 Burstein - Application for Site Plan Review 1-27-22](#)

[DPW questions](#)

[Wightman RE 923 Burstein - Application for Site Plan Review 1-27-22 - Recommendations Requested](#)

[AEDC Site Plan Approval Memo to PC - 02.07.22](#)

[923 Burstein - Site Plan Review Application - Planning and Building Recommendation 2-18-22](#)

[923 Burstein - Application for Site Plan Review 1-27-22](#)

[AEDC Site Plan Approval Memo to PC - 03.02.22](#)

CITY OF ALBION—ZONING SERVICE INVOICE

For Office Use Only: _____

2021 - _____

Property Address: 923 Burstein Property Owner: Ashraf Saad
 Parcel Number: 57-001-723-00 Applicant: 11

Zoning Permits	Fee	Due	Fee	Due
Single Family Residential Uses:			Site Plan Review:	
New Home	\$45	_____	Subdivision/Site Condo/PUD Review	
Addition/Alteration	\$15	_____	Base Fee	\$350 _____
Accessory Structure	\$45	_____	Plus Consultant Charges	_____
Change in Use	\$45	_____	Other Uses	
Signs/Billboards	\$45	_____	Base Fee	\$275 <u>X</u> _____
Fences/Screening	\$45	_____	Plus Consultant Charges	_____
Home Occupation	\$45	_____		
Other	\$45	_____		
Multiple Family Uses:			Zoning Board of Appeals/Sign Appeals Board:	
New Construction	\$45	_____	Variance Application (Including Zoning Permit Fee):	
Addition/Alteration	\$45	_____	Single Family Uses	\$250 _____
Accessory Structure	\$45	_____	Other Uses	\$250 _____
Repair/Replace	\$45	_____		
Change in Use	\$45	_____	Building Board of Appeals:	
Signs/Billboards	\$45	_____	Outdoor or Sidewalk Café Appeal	
Fences/Screening	\$45	_____		\$100 _____
Home Occupation	\$45	_____	Residential	\$100 _____
Other	\$45	_____	Commercial	\$100 _____
Commercial and Industrial Uses:			Land Division/Combination	
New Construction	\$45	_____	Per Lot	\$55 _____
Addition/Alteration	\$45	_____	Meet & Bounds Description	\$90 _____
Accessory Structure	\$45	_____	Lot Line Adjustment	\$55 _____
Repair/Replace	\$45	_____		
Change in Use	\$45	<u>X</u> _____	Other Fees	
Signs/Billboards	\$45	_____	Special Fee	\$45 _____
Fences/Screening	\$45	_____	Re-Inspection Fee	\$45 _____
Home Occupation	\$45	_____		
Other	\$45	_____	Publications, Maps, Copies:	
Special Use Permits:			Zoning Ordinance	
Single Family	\$250	_____	(Map Included)	\$50 _____
Other Uses	\$250	_____	Zoning District Maps	
Plus Consultant Charges		_____	11 1/2" x 17"	\$25 _____
			30" x 42"	\$50 _____
Rezoning Applications:			Other Blueprints (per page)	\$50 _____
Rezoning Application	\$375	_____	Other GIS Maps (per page)	\$50 _____
Text Amendment	\$275	_____	Data Copies/Zoning Reports	
			(\$3/1 st .25 e. add. pg.)	\$3.+ _____

Grand Total \$320

Fee Total Approved By: 

Date: 1/27/22
 CITY OF ALBION
 Date 01/27/2022 3:35:33 PM
 ZONING PERMITS
 Receipt # 40174512
 Amount \$320.00



CITY OF ALBION—APPLICATION FOR SITE PLAN REVIEW

City of Albion Planning Department (517) 629-7189

Cornerstone Inspection Services (269) 729-9244

Application Instructions: Complete all sections of this form. Type or use black ink. No application will be considered submitted or processed by the Planning Department until a complete application and all required documents are received.

Required Documents: (Major Projects)

- Twelve sets of plans, drawn to scale in black line or blueprint.

Base Fee: \$250 **Plus:** Consultant Charges *if applicable* (actual cost).

Additional Instructions: The applicant, or a representative with a letter of authority or power of attorney for the applicant, must be present at a meeting of the Albion Planning Commission concerning this application.

Remember to contact **Cornerstone Inspection Services** office at (269) 729-9244 to see what Permits may be necessary for your project.

FOR OFFICE USE ONLY
Permit # 20 11 - 08
Stamp here for "Date Received" 1/27/22
Received by JLH

Deposit to Account #101-400-483.00
Stamp here for "Paid" 1/27/22
Amount \$275

Stamp here for "Approved/Deny"
Date

1. Property Information:

Property Zoned: **M-2**

Street Address: <i>Use Complete Street Address, e.g. 101 North Main Street</i> 923 Burstein Drive, Albion, MI 48224		Parcel Number 51-001-723-00
Present Zoning District M2 Industrial	Present Use of Site: <input type="checkbox"/> Residential <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Industrial <input type="checkbox"/> Other (describe)	
Requested Zoning District MARIJUANA GROWING FACILITY	Proposed Use of Site: <input type="checkbox"/> Residential <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Industrial <input type="checkbox"/> Other (describe)	

2. Owner Information:

Name: <i>Include Contact Person If Applicable</i> Ashraf Saad	Phone 313-289-3200
Street Address: <i>Use Complete Street Address, e.g. 101 North Main Street</i> 12345 Howland Park Drive	City, State Zip Code: Plymouth, MI 48170

3. Applicant Information:

Name: <i>Include Contact Person If Applicable</i> Ashraf Saad	Phone 313-289-3200
Street Address: <i>Use Complete Street Address, e.g. 101 North Main Street</i> 12345 Howland Park Drive	City, State Zip Code: Plymouth, MI 48170

4. Engineer or Architect Information:

Name: <i>Include Contact Person If Applicable</i>		ENG.	Phone
BM CONSTRUCTION CONSULTANTS			810.423.5014
Street Address: <i>Use Complete Street Address, e.g. 101 North Main Street</i>		City, State Zip Code:	
2240 LAUDERDALE ST		FLINT, MI 48532	

5. Developer Information:

Name: <i>Include Contact Person If Applicable</i>		Phone
SAME AS OWNER		
Street Address: <i>Use Complete Street Address, e.g. 101 North Main Street</i>		City, State Zip Code:

6. Project Description:

Provide a narrative description of the project including gross and net acreage of all parcels in the project, the total number of proposed structures, square feet, total and usable floor space, parking spaces, garages, open space, and other related information pertinent to this application.

7. Site Plan Specifications:

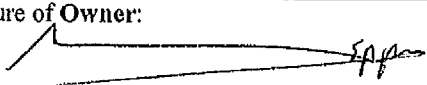
The site plan shall consist of an accurate, reproducible drawing at a scale of 1"= 100' or less, showing the site and all land within 150 feet of the site. If multiple sheets are used, each shall be labeled and the preparer identified. Each site plan shall depict the following:

- North arrow, scale and date of original submittal and last revision.
- Location of proposed and/or existing property lines, dimensions, legal descriptions and setback lines.
- Location of existing public roads, rights-of-way and private easements of record and abutting streets.
- Project description, including the total number of structures, square feet, total and usable floor area, parking spaces, garages, open space and related information as pertinent or otherwise required by the ordinance.
- Existing topographic elevations at two foot intervals, proposed grades and direction of drainage flows.
- Location and type of significant existing vegetation.
- Location and elevations of existing watercourses and water bodies, including county drains and man-made surface drainage ways, floodplains, and wetlands.
- Locations of existing and proposed building and intended uses thereof, as well as the length, width, and height of each building.
- Proposed location of accessory structures, buildings and uses, including but not limited to flagpoles, lightpoles, docks, storage sheds, transformers, air conditioners and the method of screening where applicable.

- Location and dimensions of existing and/or proposed curbing, carports, barrier free access, parking areas (including indication of all spaces and method of surfacing), fire lanes and all lighting thereof.
- Location, size and characteristics of all loading and unloading areas.
- Locations and design of all sidewalks, walkways, bicycle paths and areas for public use.
- Location of all other utilities on the site including, but not limited, to natural gas, electric, cable TV, telephone and steam.
- Location and specifications for all fences, walls, and other screening features.
- Location for all proposed perimeter and internal landscaping.
- Location and size for screening of all trash receptacles and other solid waste disposal facilities.
- Location and specifications for any existing or proposed above or below ground storage facilities for any chemicals, salt, flammable materials, or hazardous materials as well as any containment structures or clear zones required by government authorities.
- Identification of any significant site amenities.

8. Certification

*I hereby certify that I am the **owner** of record of the named property and that I have authorized the proposed work. I further agree to conform to all applicable laws of this jurisdiction. If a permit for work described in this application is issued, I certify that the code official or the code official's authorized representative shall have the authority to enter areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit.*

Signature of Owner: 	Phone 313-289-3200	Date 1 / 14 / 22
Street Address: 12345 Howland Park Drive	City, State, Zip Code Plymouth, MI 48170	

I hereby certify that I have been authorized by the owner to make this application as his/her authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the code official or the code official's authorized representative shall have the authority to enter areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit.

Signature of Applicant:	Phone	Date
Street Address:	City, State, Zip Code	

For Planning Department Use Only

9. Evaluation and Determination

CORNERSTONE INSPECTION SERVICES

Mechanical Permit	<input type="checkbox"/> YES	<input type="checkbox"/> NO
Plumbing Permit	<input type="checkbox"/> YES	<input type="checkbox"/> NO
Electrical Permit	<input type="checkbox"/> YES	<input type="checkbox"/> NO
Residential Building Permit	<input type="checkbox"/> YES	<input type="checkbox"/> NO
Commercial Building Permit	<input type="checkbox"/> YES	<input type="checkbox"/> NO
Plans Examination	<input type="checkbox"/> YES	<input type="checkbox"/> NO

PUBLIC SERVICES

Right of Way	<input type="checkbox"/> YES	<input type="checkbox"/> NO
Curb Cut	<input type="checkbox"/> YES	<input type="checkbox"/> NO
Soil Erosion	<input type="checkbox"/> YES	<input type="checkbox"/> NO
Sewer Connection	<input type="checkbox"/> YES	<input type="checkbox"/> NO

ZONING PERMIT

Site Plan	<input type="checkbox"/> YES	<input type="checkbox"/> NO
Non-conformity	<input type="checkbox"/> YES	<input type="checkbox"/> NO
Special Use	<input type="checkbox"/> YES	<input type="checkbox"/> NO
Variance	<input type="checkbox"/> YES	<input type="checkbox"/> NO

REVIEWER

<i>Staff whom Reviewed the Application</i>	<i>Staff Hours</i>	<i>Approved/Deny</i>	<i>Date Applicant Notified</i>
--	--------------------	----------------------	--------------------------------

Commission Action Required? YES NO

PUBLIC NOTICE

<i>Public Notice in Newspaper</i>	<i>Letter to Nearby Properties</i>	<i>Public Hearing Date</i>
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PLANNING COMMISSION

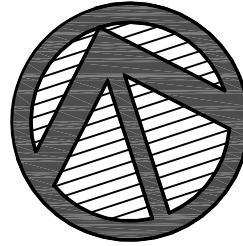
<i>Planning Commission Action (Approved/Deny)</i>	<i>CHECK HERE FOR CONDITIONAL APPROVAL</i>	<i>Vote Approval _____ Deny _____</i>
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PLANNING DEPARTMENT APPROVAL/DENY

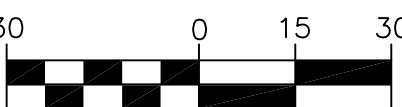
<i>Signature</i>	<i>Date</i>
<i>Notes</i>	<i>Stamp</i>

Revised 01-30-14

NORTH



GRAPHIC SCALE



(IN FEET)
1 inch = 30 ft.

LEGAL DESCRIPTION (AS PROVIDED):

PARCEL NO. 51-001-723-00
LOT 27, INDUSTRIAL PARK SUBDIVISION #2, AS RECORDED IN LIBER 23, PAGES 37-41, C.C.R. PART OF THE WEST HALF, SECTION 34, T2S-R4W, CITY OF ALBION, CALHOUN COUNTY, MICHIGAN

EXISTING ZONING INFORMATION:

ACCORDING TO THE CITY OF ALBION ZONING ORDINANCE THIS PROPERTY IS CURRENTLY ZONED M-2 (HEAVY INDUSTRIAL DISTRICT), AND IS SUBJECT TO THE FOLLOWING CONDITIONS:

- 1) MINIMUM LOT SIZE = NONE SPECIFIED
- 2) MINIMUM LOT WIDTH = NONE SPECIFIED
- 3) FRONT SETBACK = 10 FEET
- 4) SIDE SETBACK = 10 FEET, 20 FEET COMBINED
- 5) REAR SETBACK = 10 FEET
- 6) MAXIMUM LOT COVERAGE = NONE
- 7) MAXIMUM HEIGHT = 3 STORIES OR 36 FEET (PER AP STANDARDS)

TRAFFIC IMPACT:

A TRAFFIC STUDY WAS NOT CONDUCTED BY THIS FIRM FOR THIS PROJECT.

FLOOD PLAIN NOTE:

THIS PROPERTY LIES IN ZONE "X" (AREAS OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) OF THE FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 2602502690 WHICH BEARS AN EFFECTIVE DATE OF APRIL 4, 2011 AND IS NOT IN A SPECIAL FLOOD HAZARD AREA.

WETLAND NOTE:

ACCORDING TO THE NATIONAL WETLAND INVENTORY MAPS OF MICHIGAN, THERE ARE WETLAND AREAS ON THIS PROPERTY.

SEWER & WATER NOTES:

THE SITE IS CURRENTLY SERVICED BY PUBLIC WATER AND PUBLIC SANITARY SEWER.

PROJECT NARRATIVE:

IT IS NOT ANTICIPATED THAT THERE WILL BE ANY SUBSTANTIAL INCREASE IN ODOUR, NOISE, FUMES, NOISE, OR LIGHTS. THE CONTRACTOR WILL BE REQUIRED TO COMPLY WITH ANY APPLICABLE ZONING ORDINANCE REQUIREMENTS REGARDING THESE ITEMS. THE ON-SITE CONSTRUCTION ACTIVITIES WILL INCLUDE THE USE OF EQUIPMENT SUCH AS A BACK HOE, DOZERS, TRUCKS, CONCRETE MIXER, GENERATORS, COMPRESSORS, POWER SAWS, AND ELECTRIC DRILLS, ETC. THE AVERAGE SOUND LEVEL WILL BE LESS THAN THE OSHA (AT WORKERS EAR) LEVEL OF 90.

SITE PLAN LAYOUT & COVER SHEET

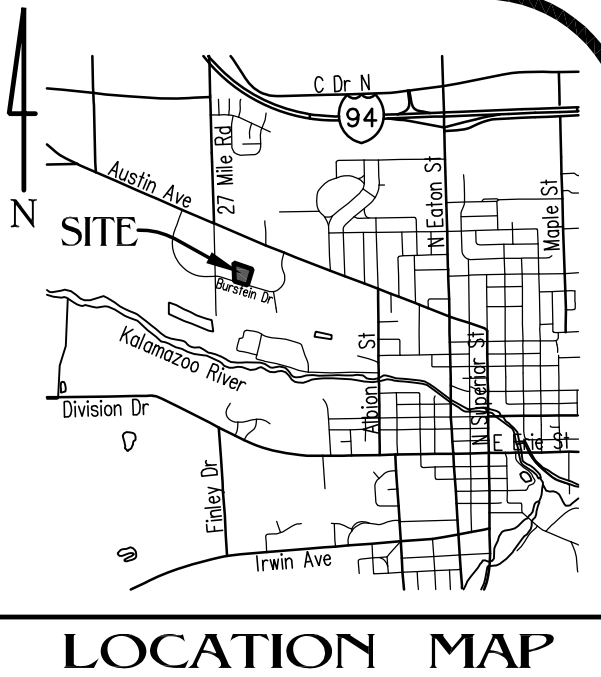
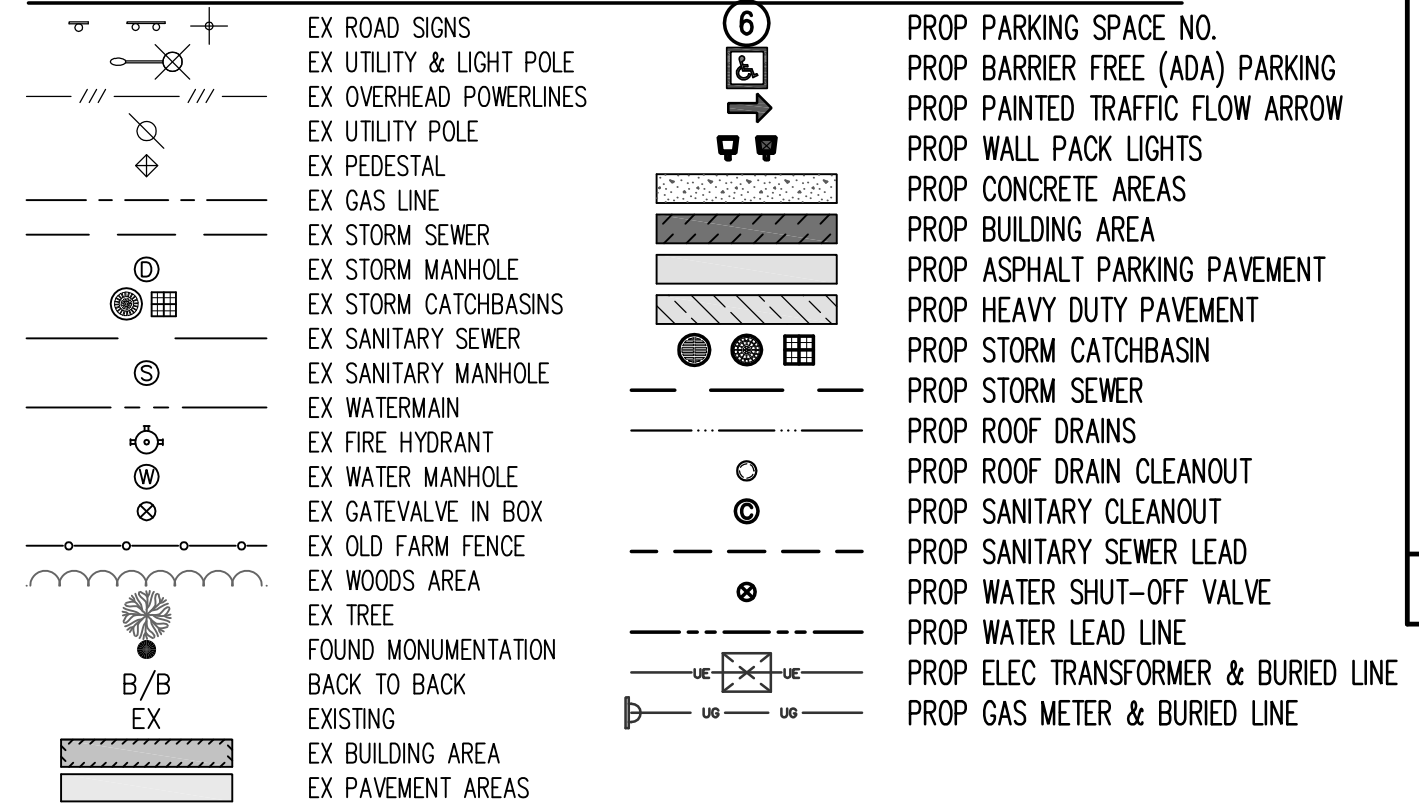
SITE DATA:

- 1) SITE ZONING = M-1 (LIGHT INDUSTRIAL DISTRICT)
- 2) ADJACENT ZONING = M-1 (ALL ADJACENT)
- 3) TOTAL GROSS OVERALL AREA = 139,386 SFT OR 3.20 ACRES
- 4) TOTAL GROSS BUILDING AREA = 11,970 SFT
- 5) PROPOSED TOTAL FLOOR AREA = 11,970 SFT
- 6) MAXIMUM BUILDING HEIGHT ALLOWED = 3 STORIES/50'-0"
- 7) PROPOSED BUILDING HEIGHT = 1 STORY/12'-0"
- 8) TOTAL BUILDING SITE COVERAGE = 11970/139386 = 8.59%
- 9) MAXIMUM IMPERVIOUS COVERAGE ALLOWED = NONE SPECIFIED
- 10) TOTAL BUILDING SITE COVERAGE = 24602/139386 = 17.65%
- 11) PARKING SPACE & LANE SIZE REQUIREMENTS
- 12) REGULAR PARKING SPACE = 9' x 20'
- 13) BARRIER FREE SPACE = 9' x 20' W/8' AISLE (VAN ACCESSIBLE)
- 14) DRIVE LANE WIDTH = 24' (MIN) AT 90° PARKING
- 15) PROPOSED SITE ADDRESS = 923 BURSTEIN DRIVE, ALBION

SITE PLAN NOTES:

1. DELIVERIES AND PICKUPS WILL BE MADE BY LARGE BOX TRUCKS, NO LONGER THAN 40 FEET, NO SEMI TRUCK DELIVERIES MADE. PRODUCT TRIMMINGS & WASTE WILL BE STORED INSIDE THE BUILDING UNTIL A CERTIFIED COMPANY PICKS UP THE WASTE. ALL OTHER GARBAGE WILL BE TAKEN TO THE OUTSIDE DUMPSTER.
2. ALL SANITARY SEWER LEAD AND WATER LEAD CONSTRUCTION/CONNECTIONS REQUIRE A CITY OF ALBION CONNECTION PERMIT APPLICATION PRIOR TO FINAL APPROVAL.
3. THIS DEVELOPMENT IS LOCATED IN THE CITY OF ALBION AND WILL BE SUBJECT TO THE CITY ORDINANCES RELATED TO MARIJUANA LOCATION, USE, ZONING, AND AGREEMENTS OF RECORD.
4. NO OUTDOOR LONG TERM STORAGE IS ALLOWED ON THE SITE, AND ON-SITE BURNING WILL NOT BE ALLOWED.

LEGEND



STANDARD NOTES FOR SITE PLANS:

- * A. EXTENSION OF PUBLIC UTILITIES: ALL PUBLIC SANITARY SEWER AND/OR WATERMAIN SHALL BE EXTENDED TO THE FURTHEST LIMITS OF THE PROPERTY, INCLUDING CORNER LOTS, WITH THE PIPE SIZE AND MATERIAL APPROVED BY CITY OF ALBION. THIS IS NECESSARY FOR PLAN APPROVAL. FINAL DETERMINATION SHALL BE MADE BY CITY OF ALBION.
- * B. WATERMAIN LOOPING: ALL PUBLIC WATERMANS SHALL BE LOOPED WHENEVER POSSIBLE. THE PIPE SIZE REQUIREMENTS SHALL BE APPROVED BY CITY OF ALBION.
- * C. INDUSTRIAL PRETREATMENT PROGRAM (IPP): THIS PERMIT IS REQUIRED FOR ALL COMMERCIAL (NON-RESIDENTIAL) AND INDUSTRIAL DISCHARGES. THE OWNER SHALL OBTAIN AN INDUSTRIAL PRETREATMENT DISCHARGE PERMIT PRIOR TO THE ISSUANCE OF A SEWER CONNECTION PERMIT. INDUSTRIAL DISCHARGE PERMITS ARE NON-TRANSFERABLE. CHANGES IN FACILITY USE WILL REQUIRE A NEW INDUSTRIAL DISCHARGE PERMIT.
- * D. SOIL EROSION: THE DEVELOPER AND/OR OWNER SHALL SUBMIT A DETAILED SOIL EROSION AND SEDIMENTATION CONTROL PLAN AND OBTAIN AN ACT 451 PART 91, SOIL EROSION AND SEDIMENTATION CONTROL PERMIT. THIS INCLUDES THE PAYMENT OF FEES AND THE PROVIDING OF NECESSARY BONDS. NO EARTH CHANGES OR EXCAVATION SHALL BE STARTED PRIOR TO THE ISSUANCE OF THIS PERMIT. THE DEVELOPER AND/OR OWNER SHALL PROTECT ALL EXISTING AND PROPOSED STORM SEWER FACILITIES ON AND ADJACENT TO THE SITE DURING EXCAVATION AND CONSTRUCTION. ALL SEDIMENT SHALL BE CONTAINED ON SITE. ANY SILT IN COUNTY DRAINS, STORM SEWER, CULVERTS, ETC. AS A RESULT OF THIS PROJECT, SHALL BE REMOVED BY THE DEVELOPER AND/OR OWNER AT THE COST OF THE DEVELOPER AND/OR OWNER.
- * E. FLOOD PLAN OR WETLAND CONSTRUCTION: THE DEVELOPER AND/OR OWNER SHALL APPLY TO EGLE FOR A PERMIT FOR THE ALTERATION AND/OR OCCUPATION OF A FLOOD PLAN OR FLOODWAY, AS REQUIRED UNDER PA 451. EVIDENCE OF THIS PERMIT MAY BE REQUIRED PRIOR TO PLAN APPROVAL BY C.C.C.W.
- * F. NPDES STORM WATER DISCHARGE PERMIT: THE OWNER OF THE PROPERTY SHALL OBTAIN A NPDES STORM WATER DISCHARGE PERMIT FOR CONSTRUCTION ACTIVITIES FROM EGLE AS REQUIRED UNDER PUBLIC ACT 451. THE NOTICE OF COVERAGE FORM SHALL BE SUBMITTED THROUGH THE CITY OF ALBION WITH THE SOIL EROSION CONTROL PERMIT APPLICATION. ALL EGLE FEES SHALL ACCOMPANY THE NOTICE OF COVERAGE. EVIDENCE OF THIS PERMIT MAY BE REQUIRED PRIOR TO PLAN APPROVAL BY CITY OF ALBION. LESS THAN 5 ACRES WILL BE DISTURBED IN CONSTRUCTION OF THIS PROJECT, THEREFORE A NPDES STORM WATER DISCHARGE PERMIT WILL NOT BE REQUIRED.
- * G. CITY OF ALBION PERMIT TO CONSTRUCT A PUBLIC UTILITY: AFTER THE APPROVAL OF THIS PRELIMINARY PLAN OR SITE PLAN, THE DEVELOPER SHALL SUBMIT A DETAILED PLAN FOR CONSTRUCTION OF ALL PUBLIC SANITARY SEWER AND WATERMAIN. THE PLANS MUST HAVE CITY OF ALBION APPROVAL, A 5-PERMIT ISSUED, AND APPROVAL FROM THE EGLE PRIOR TO BEGINNING CONSTRUCTION.
- * H. CITY OF ALBION ROAD RIGHT-OF-WAY PERMIT: THE DEVELOPER SHALL OBTAIN A PERMIT FROM THE CITY OF ALBION PUBLIC SERVICES TO PERFORM WORK WITHIN THE CITY ROAD RIGHT-OF-WAYS. ALL FEES FOR THE PERMIT, BONDS AND INSURANCES ARE THE RESPONSIBILITY OF THE DEVELOPER AND/OR CONTRACTOR.
- * I. MUNICIPALITY SANITARY SEWER AND WATER PERMIT: PRIOR TO THE ISSUANCE OF A BUILDING PERMIT BY THE LOCAL MUNICIPALITY, THE DEVELOPER SHALL BE REQUIRED TO OBTAIN A SANITARY SEWER AND/OR WATER TAP-IN PERMIT FROM THE LOCAL MUNICIPALITY, IF AUTHORIZED, OR CITY OF ALBION.
- * J. STATE CONSTRUCTION PERMITS: THE SANITARY SEWER AND WATERMAIN CONSTRUCTION PERMITS FROM THE MICHIGAN DEPARTMENT OF ENERGY, GREAT LAKES AND ENVIRONMENT SHALL BE SUBMITTED TO THE EGLE AFTER APPROVAL OF THE CITY OF ALBION. CONSTRUCTION SHALL NOT BEGIN UNTIL THESE STATE PERMITS ARE ISSUED.
- * NOT APPLICABLE TO THIS PROJECT

SANITARY SEWER MITIGATION CALCULATIONS

THE SITE HAS AN EXPECTED MAXIMUM 6 EMPLOYEES ON SHIFT PER 12 HOUR DAY, ALONG WITH MAXIMUM 500 PLANTS PER GROWING CYCLE, REQUIRING APPROXIMATELY 1 GALLON OF WATER PER DAY EACH. THERE ARE SEPARATE SEWER LINES FOR THE DOMESTIC WASTE AND THE PRODUCTION WASTE.

THE DOMESTIC SANITARY SEWER FLOW MITIGATION IS CALCULATED USING 100 GPD/EMPLOYEE AND APPLYING THE RECOVERY FACTOR OF 1.1 AND PEAKING FACTOR OF 4. THE CALCULATIONS ARE AS FOLLOWS:

TOTAL EMPLOYEES PER DAY = 6 MAX EMPLOYEES AT 12 HOURS PER DAY AT 100 GPD/PERSON
 6 x 100 = 600 GPD = 600 GPD TOTAL

TOTAL PEAK FLOW = 600 GPD x 1.1 x 4 = 2640 GPD
 2640 GPD x 1 DAY/24 HR x 1 HR/60 MIN = 1.83 GPM

TOTAL DOMESTIC WASTE FLOW FROM SITE = 1.83 GPM

NOTE: NO GREASE TRAP/SEPARATOR IS PROPOSED. A SAMPLING SANITARY MANHOLE WILL BE INSTALLED FIVE (5) FEET OUTSIDE OF THE PROPOSED BUILDING.

THE PRODUCTION WASTE SANITARY SEWER WILL BE DIRECTED TO TWO (2) 1,000 GALLON CONCRETE TANKS LOCATED ON THE SOUTH EDGE OF THE PROPOSED PARKING LOT, TEMPORARILY STORED FOR APPROXIMATELY 60 DAYS BEFORE REQUIRING REMOVAL, TRIGGERING AN ALARM SYSTEM. THE OWNER WILL HAVE A SEPTIC/SLODGE REMOVAL COMPANY PUMP OUT THE TANK(S) ON A BI-MONTHLY BASIS.

500 MAX PLANTS PER GROWING CYCLE AT 1 GPD/EACH PLANT
 500 PLANTS x 1 GALLON WATER PER DAY = 500 GPD TOTAL

THE PLANTS WILL ASSURE APPROXIMATELY 90% OF THE WATER, LEAVING 10% WASTE TO PRODUCTION WASTE LINE TO TANKS.
 500 GPD x 10% = 50 GPD TO THE TWO (2) 1000 GALLON CONCRETE TANKS.
 1000 GAL / 50 GPD = 20 DAYS

TOTAL PRODUCTION WASTE FLOW FROM SITE TO PUBLIC SEWER SYSTEM = 0.0 GPM

SHEET INDEX

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UTILITIES & PLAN DISTRIBUTION LIST

AGENCY	FACILITY	CONTACT PERSON
CONSUMER ENERGY	ECONOMIC DEVELOPMENT	COREY L. UTLEY (517) 331-6442
DIVISION OF GAS AND ELECTRIC	ENERGY EFFICIENCY	CORNER ROBERTSON (517) 862-1978
3965 OGDEN ROAD, SUITE A-1	INDOOR AGRICULTURAL	
OGDEN, MI 48864		
CITY OF ALBION	PLANNING, ZONING & UTILITIES	IAN ARNOLD (517) 629-7189
112 W CASK STREET		
ALBION, MI 49224		
CITY OF ALBION	CITY MANAGER	HALEY SNYDER (517) 629-2238
CITY MANAGER		
112 W CASK STREET		
ALBION, MI 49224		
CITY OF ALBION	STREETS, STORM SANITARY, & WATERMAIN	PATRIK MILLER (517) 629-7200
DIVISION OF PUBLIC SERVICES		
6460 BECKER ROAD		
FLINT, MICHIGAN 48532		
CITY OF ALBION	ECONOMIC DEVELOPMENT SPECIALIST	CHRISTINE BOWMAN (517) 629-3926
1002 W EASTON ST, P.O. BOX 725		
ALBION, MI 49224		



Know what's below. Call before you dig.

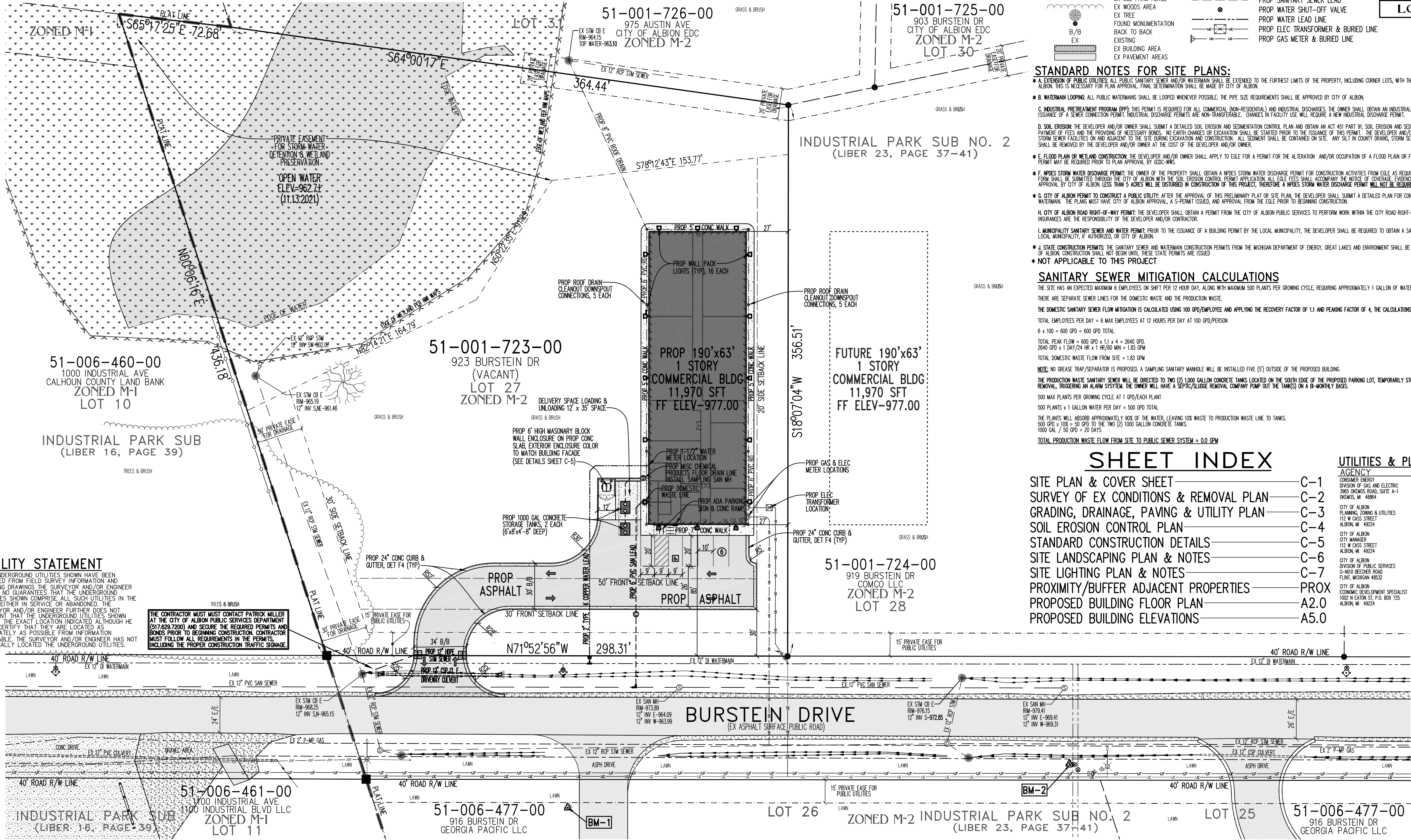


REVISIONS: 01.15.2022
DRN. BY: J.R.B. 12.03.2021
DSN BY: J.R.B.
CHK'D BY: J.B.M.
APPR BY: J.B.M.
SHEET NO: C-1

UTILITY STATEMENT

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR AND/OR ENGINEER MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR AND/OR ENGINEER FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR AND/OR ENGINEER HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

THE CONTRACTOR MUST CONTACT PATRICK MILLER AT THE CITY OF ALBION PUBLIC SERVICES DEPARTMENT (517.629.7200) AND SECURE THE REQUIRED PERMITS AND BONDS PRIOR TO BEGINNING CONSTRUCTION. CONTRACTOR MUST FOLLOW ALL REQUIREMENTS IN THE PERMITS, INCLUDING THE PROPER CONSTRUCTION TRAFFIC SIGNAGE.



SCALE: 1"=30'
JOB NO. 091121

OWNER/DEVELOPER:
ANA DREAM, LLC
12345 HOWLAND PARK DRIVE
PLYMOUTH, MI 48179
CONTACT: HADI SAEED

PART OF WEST 1/2,
SECTION 34, T2N-R4W,
ALBION CITY, CALHOUN CO, MI

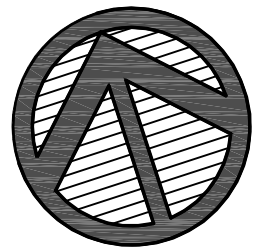
BM CC
BM CONSTRUCTION CONSULTANTS
2240 LAUDERDALE STREET
FLINT, MICHIGAN 48532
PHONE: 810.423.5014
EMAIL: BMCONSTRUCTION@COMCAST.NET

SITE PLAN LAYOUT & COVER SHEET FOR:
PROPOSED MARIJUANA GROW FACILITY
923 BURSTEIN DRIVE, ALBION, MI 49224

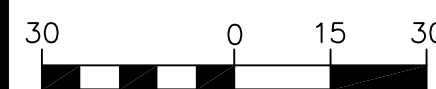
REVISIONS: 01.15.2022
DRN. BY: J.R.B. 12.03.2021
DSN BY: J.R.B.
CHK'D BY: J.B.M.
APPR BY: J.B.M.
SHEET NO: C-1

BMCC:0055/091121/ANA/AMG/923 BURSTEIN - SITE PLAN - COVER SHEETING - C-1

NORTH



GRAPHIC SCALE



(IN FEET)
1 inch = 30 ft.

LEGAL DESCRIPTION (AS PROVIDED):

PARCEL NO. 51-001-723-00
LOT 27, INDUSTRIAL PARK SUBDIVISION #2, AS RECORDED IN LIBER 23, PAGES 37-41, C.C.R. PART OF THE WEST HALF, SECTION 34, T2S-R4W, CITY OF ALBION, CALHOUN COUNTY, MICHIGAN

EXISTING ZONING INFORMATION:

ACCORDING TO THE CITY OF ALBION ZONING ORDINANCE THIS PROPERTY IS CURRENTLY ZONED M-2 (HEAVY INDUSTRIAL DISTRICT), AND IS SUBJECT TO THE FOLLOWING CONDITIONS:

- 1) MINIMUM LOT SIZE = NONE SPECIFIED
- 2) MINIMUM LOT WIDTH = NONE SPECIFIED
- 3) FRONT SETBACK = 10 FEET
- 4) SIDE SETBACK = 10 FEET, 20 FEET COMBINED
- 5) REAR SETBACK = 10 FEET
- 6) MAXIMUM LOT COVERAGE = NONE
- 7) MAXIMUM HEIGHT = 3 STORIES OR 36 FEET

TRAFFIC IMPACT:

A TRAFFIC STUDY WAS NOT CONDUCTED BY THIS FIRM FOR THIS PROJECT.

- FOR MEDICAL MARIJUANA ESTABLISHMENTS:
- 1) MINIMUM LOT AREA = NONE SPECIFIED
- 2) FRONT SETBACK = 50 FEET
- 3) SIDE SETBACK = 20 FEET
- 4) REAR SETBACK = 30 FEET
- 5) STRUCTURE HEIGHT = 3 STORIES OR 50 FEET (PER AIP STANDARDS)

FLOOD PLAIN NOTE:

THIS PROPERTY LIES IN ZONE "X" (AREAS OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) OF THE FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 26025020690 WHICH BEARS AN EFFECTIVE DATE OF APRIL 4, 2011 AND IS NOT IN A SPECIAL FLOOD HAZARD AREA.

WETLAND NOTE:

ACCORDING TO THE NATIONAL WETLAND INVENTORY MAPS OF MICHIGAN, THERE ARE WETLAND AREAS ON THIS PROPERTY.

SEWER & WATER NOTES:

THE SITE IS CURRENTLY SERVICED BY PUBLIC WATER AND PUBLIC SANITARY SEWER.

PROJECT NARRATIVE:

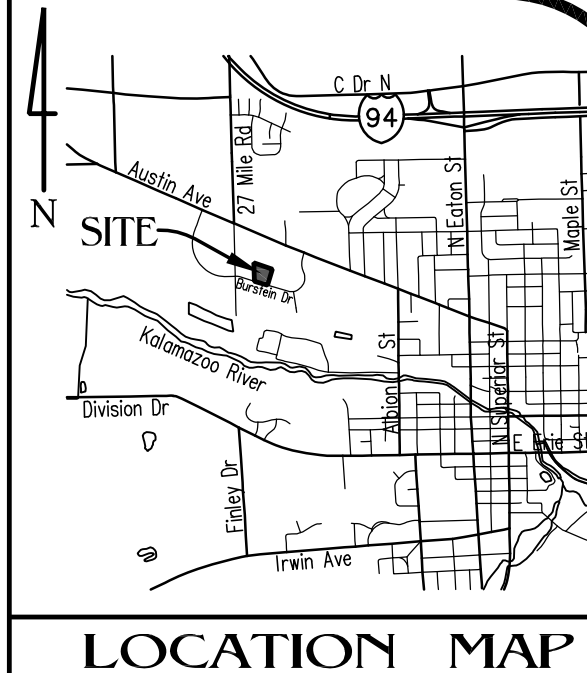
IT IS NOT ANTICIPATED THAT THERE WILL BE ANY SUBSTANTIAL INCREASE IN DUST, ODOR, SMOKE, FUMES, NOISE, OR LIGHTS. THE CONTRACTOR WILL BE REQUIRED TO COMPLY WITH ANY APPLICABLE ZONING ORDINANCE REQUIREMENTS REGARDING THESE ITEMS. THE ON-SITE CONSTRUCTION ACTIVITIES WILL INCLUDE THE USE OF EQUIPMENT SUCH AS A BACK HOE, DOZERS, TRUCKS, CONCRETE MIXER, GENERATOR, COMPRESSORS, POWER SAWS, AND ELECTRIC DRILLS, ETC. THE AVERAGE SOUND LEVEL WILL BE LESS THAN THE OSHA (AT WORKERS EAR) LEVEL OF 90.

SURVEY OF EX CONDITIONS & REMOVAL PLAN

AREA OF DISTURBANCE = 2.0 ACRES

LEGEND

- EX ROAD SIGNS
- EX UTILITY AND/OR LIGHT POLE
- EX OVERHEAD POWERLINES
- EX STREET LIGHT POLE
- EX PEDESTAL
- EX BUILDING LINE
- EX STORM SEWER
- EX STORM MANHOLE
- EX STORM CATCHBASINS
- EX SANITARY SEWER
- EX SANITARY MANHOLE
- EX WATERMAIN
- EX FIRE HYDRANT
- EX WATER MANHOLE
- EX GATEVALVE
- EX GAS LINE
- EX WIRE HWY FENCE
- EX SURFACE ELEVATION
- EX CONTOUR ELEVATION
- EX WOODS AREA
- EX TREE
- FOUND MONUMENTATION
- BACK TO BACK
- EXISTING
- EX CONCRETE AREAS
- EX ASPHALT AREAS
- EX GRAVEL AREAS
- LIMITS OF DISTURBANCE
- PROP SILT FENCE (ALONG PERIMETER)



SURVEY NOTES:

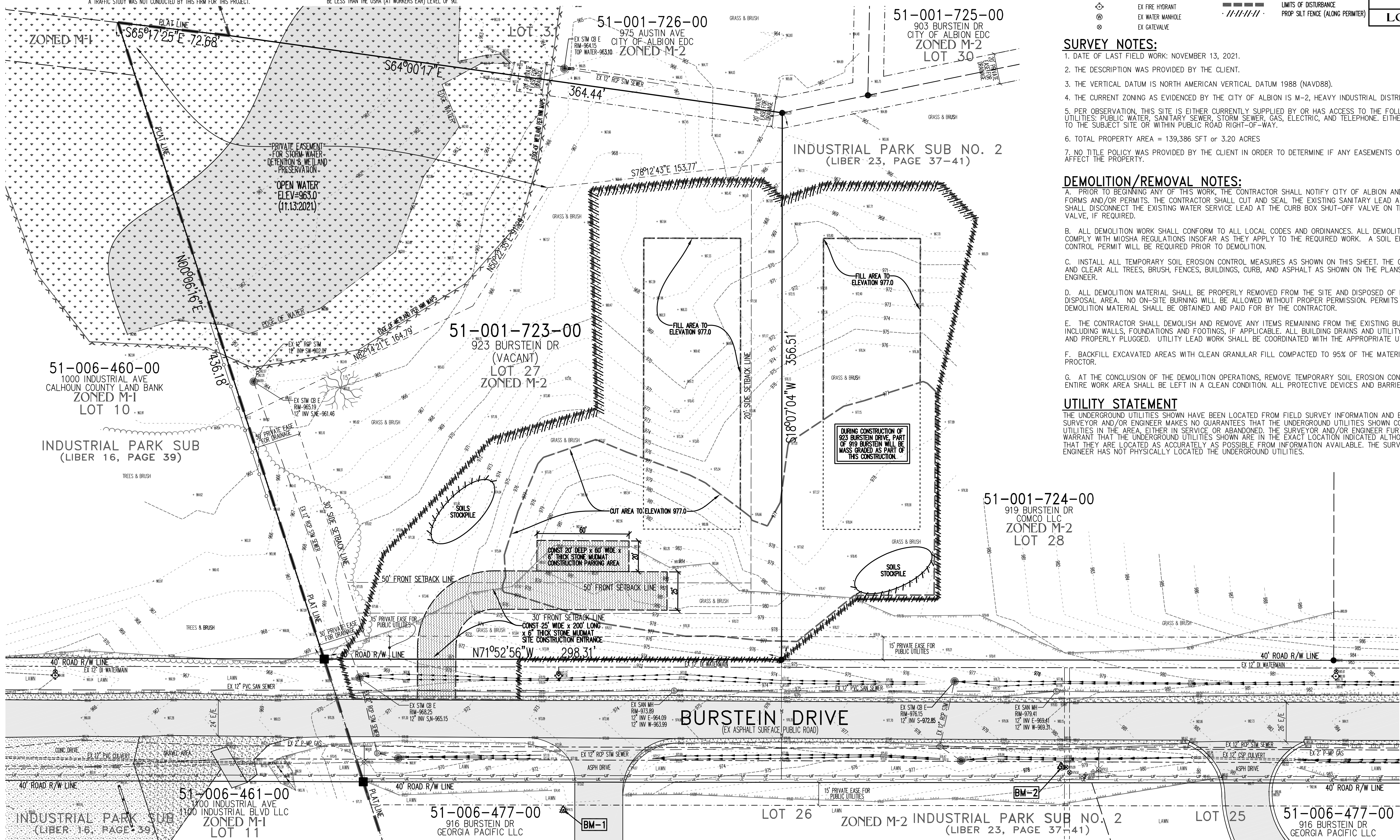
1. DATE OF LAST FIELD WORK: NOVEMBER 13, 2021.
2. THE DESCRIPTION WAS PROVIDED BY THE CLIENT.
3. THE VERTICAL DATUM IS NORTH AMERICAN VERTICAL DATUM 1988 (NAVD88).
4. THE CURRENT ZONING AS EVIDENCED BY THE CITY OF ALBION IS M-2, HEAVY INDUSTRIAL DISTRICT.
5. PER OBSERVATION, THIS SITE IS EITHER CURRENTLY SUPPLIED BY OR HAS ACCESS TO THE FOLLOWING PUBLIC UTILITIES: PUBLIC WATER, SANITARY SEWER, STORM SEWER, GAS, ELECTRIC, AND TELEPHONE. EITHER LOCATED ADJACENT TO THE SUBJECT SITE OR WITHIN PUBLIC ROAD RIGHT-OF-WAY.
6. TOTAL PROPERTY AREA = 139,386 SFT OR 3.20 ACRES
7. NO TITLE POLICY WAS PROVIDED BY THE CLIENT IN ORDER TO DETERMINE IF ANY EASEMENTS OR RESTRICTIONS AFFECT THE PROPERTY.

DEMOLITION/REMOVAL NOTES:

- A. PRIOR TO BEGINNING ANY OF THIS WORK, THE CONTRACTOR SHALL NOTIFY CITY OF ALBION AND FILL OUT THE NECESSARY FORMS AND/OR PERMITS. THE CONTRACTOR SHALL CUT AND SEAL THE EXISTING SANITARY LEAD AT THE PROPERTY LINE AND SHALL DISCONNECT THE EXISTING WATER SERVICE LEAD AT THE CURB BOX SHUT-OFF VALVE ON THE BUILDING SIDE OF THE VALVE, IF REQUIRED.
- B. ALL DEMOLITION WORK SHALL CONFORM TO ALL LOCAL CODES AND ORDINANCES. ALL DEMOLITION OPERATIONS SHALL COMPLY WITH MIOSHA REGULATIONS INSOFAR AS THEY APPLY TO THE REQUIRED WORK. A SOIL EROSION AND SEDIMENTATION CONTROL PERMIT WILL BE REQUIRED PRIOR TO DEMOLITION.
- C. INSTALL ALL TEMPORARY SOIL EROSION CONTROL MEASURES AS SHOWN ON THIS SHEET. THE CONTRACTOR SHALL REMOVE AND CLEAR ALL TREES, BRUSH, FENCES, BUILDINGS, CURB, AND ASPHALT AS SHOWN ON THE PLANS OR AS DIRECTED BY THE ENGINEER.
- D. ALL DEMOLITION MATERIAL SHALL BE PROPERLY REMOVED FROM THE SITE AND DISPOSED OF IN A LEGALLY DESIGNATED DISPOSAL AREA. NO ON-SITE BURNING WILL BE ALLOWED WITHOUT PROPER PERMISSION. PERMITS AND FEES FOR DISPOSAL OF DEMOLITION MATERIAL SHALL BE OBTAINED AND PAID FOR BY THE CONTRACTOR.
- E. THE CONTRACTOR SHALL DEMOLISH AND REMOVE ANY ITEMS REMAINING FROM THE EXISTING BUILDING, IN ITS ENTIRETY, INCLUDING WALLS, FOUNDATIONS AND FOOTINGS, IF APPLICABLE. ALL BUILDING DRAINS AND UTILITY LEADS SHALL BE LOCATED AND PROPERLY PLUGGED. UTILITY LEAD WORK SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANY.
- F. BACKFILL EXCAVATED AREAS WITH CLEAN GRANULAR FILL COMPACTED TO 95% OF THE MATERIAL UNIT WEIGHT BY MODIFIED PROCTOR.
- G. AT THE CONCLUSION OF THE DEMOLITION OPERATIONS, REMOVE TEMPORARY SOIL EROSION CONTROL DEVICES, AND THE ENTIRE WORK AREA SHALL BE LEFT IN A CLEAN CONDITION. ALL PROTECTIVE DEVICES AND BARRIERS SHALL BE REMOVED.

UTILITY STATEMENT

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS THE SURVEYOR AND/OR ENGINEER MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR AND/OR ENGINEER FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED, ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR AND/OR ENGINEER HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.



BENCHMARK NO. 1
NORTH EDGE OF A CONCRETE LIGHT POLE BASE, SOUTH SIDE OF BURSTEIN DRIVE, AS SHOWN ELEVATION=976.91 (NAVD88)

BENCHMARK NO. 2
ARROW ON EX FIRE HYDRANT, SOUTH SIDE OF BURSTEIN DRIVE, AS SHOWN ELEVATION=980.65 (NAVD88)

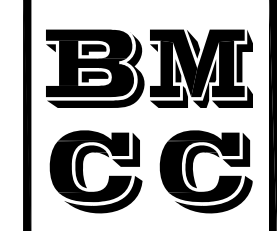


BMCC-005/091121/ANA DREAM/923 BURSTEIN - TOPO SURVEY EX CONDITIONS - C-2

SCALE: 1"=30'
JOB NO. 091121

OWNER/DEVELOPER:
ANA DREAM, LLC
12345 HOWLAND PARK DRIVE
PLYMOUTH, MI 48179
CONTACT: HADI SAEED

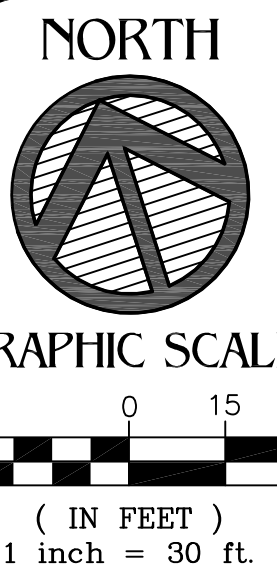
PART OF WEST 1/2,
SECTION 34, T2N-R4W,
ALBION CITY, CALHOUN CO, MI



BM CONSTRUCTION CONSULTANTS
2240 LAUDERDALE STREET
FLINT, MICHIGAN 48532
PHONE: 810.423.5014
EMAIL: BMCONSTRUCTION@COMCAST.NET

**SURVEY OF EX CONDITIONS & REMOVAL PLAN FOR:
PROPOSED MARIJUANA GROW FACILITY**
923 BURSTEIN DRIVE, ALBION, MI 49224

REVISIONS 01.15.2022	DRN. BY: J.R.B.	12.03.2021	SHEET NO: C-2
	DSN BY: J.R.B.		
	CHK'D BY: J.B.M.		
	APPR BY: J.B.M.		



LEGAL DESCRIPTION (AS PROVIDED):
 PARCEL NO. 51-001-723-00
 LOT 27, INDUSTRIAL PARK SUBDIVISION #2, AS RECORDED IN LIBER 23, PAGES 37-41, C.C.R. PART OF THE WEST HALF, SECTION 34, T2S-R4W, CITY OF ALBION, CALHOUN COUNTY, MICHIGAN

EXISTING ZONING INFORMATION:
 ACCORDING TO THE CITY OF ALBION ZONING ORDINANCE THIS PROPERTY IS CURRENTLY ZONED M-2 (HEAVY INDUSTRIAL DISTRICT), AND IS SUBJECT TO THE FOLLOWING CONDITIONS:

FOR MEDICAL MARIJUANA ESTABLISHMENTS:
 1) MINIMUM LOT WIDTH = NONE SPECIFIED
 2) MINIMUM LOT AREA = NONE SPECIFIED
 3) FRONT SETBACK = 10 FEET
 4) SIDE SETBACK = 10 FEET, 20 FEET COMBINED
 5) REAR SETBACK = 10 FEET
 6) MAXIMUM LOT COVERAGE = NONE
 7) MAXIMUM HEIGHT = 3 STOREYS OR 36 FEET (PER AP STANDARDS)

TRAFFIC IMPACT:
 A TRAFFIC STUDY WAS NOT CONDUCTED BY THIS FIRM FOR THIS PROJECT.

FLOOD PLAIN NOTE:
 THIS PROPERTY LIES IN ZONE "X" (AREAS OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) OF THE FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 2802502B90 WHICH BEARS AN EFFECTIVE DATE OF APRIL 4, 2011 AND IS NOT IN A SPECIAL FLOOD HAZARD AREA.

WETLAND NOTE:
 ACCORDING TO THE NATIONAL WETLAND INVENTORY MAPS OF MICHIGAN, THERE ARE WETLAND AREAS ON THIS PROPERTY.

SEWER & WATER NOTES:
 THE SITE IS CURRENTLY SERVED BY PUBLIC WATER AND PUBLIC SANITARY SEWER.

PROJECT NARRATIVE:
 IT IS NOT ANTICIPATED THAT THERE WILL BE ANY SUBSTANTIAL INCREASE IN DUST, COOL, SMOKE, FLAMES, NOISE, OR LIGHTS. THE CONTRACTOR WILL BE REQUIRED TO COMPLY WITH ANY APPLICABLE ZONING ORDINANCE REQUIREMENTS REGARDING THESE ITEMS. THE ON-SITE CONSTRUCTION ACTIVITIES WILL INCLUDE THE USE OF EQUIPMENT SUCH AS A BACK HOE, DOZER, TRUCKS, CONCRETE MIXER GENERATORS, COMPRESSORS, POWER SAWS, AND ELECTRIC DRILLS, ETC. THE AVERAGE SOUND LEVEL WILL BE LESS THAN THE OSHA (AT WORKERS EAR) LEVEL OF 90.

GRADING, DRAINAGE, PAVING & UTILITY PLAN

SANITARY SEWER STRUCTURE SCHEDULE

NOTE: CONSTRUCT PER CITY OF ALBION STANDARD SANITARY SEWER CONSTRUCTION DETAILS

SANITARY CLEANSOUT NO 1 (SC0-1)
 CONST 6" CLEANOUT RISER
 PLACE 6" PVC COVER
 PROP RIM-976.00
 PROP 6" INV NS-969.52

SANITARY CLEANSOUT NO 2 (SC0-2)
 CONST 6" CLEANOUT RISER
 PLACE 6" PVC COVER
 PROP RIM-976.95
 PROP 6" INV W-E-970.95

DRAINAGE STRUCTURE SCHEDULE

NOTE: CONSTRUCT PER CITY OF ALBION STANDARD DRAINAGE STRUCTURE & STORM SEWER CONSTRUCTION DETAILS

EX DRAINAGE STRUCT NO 1 (DS-1)
 EX 4" DIA MANHOLE
 W/ADOT COVER E
 EX RIM-968.25
 PROP 12" INV E-965.30
 EX 12" INV NS-965.15

DRAINAGE STRUCT NO 2 (DS-2)
 CONST 4" DIA MANHOLE
 W/ADOT COVER K & FRAME
 PROP RIM-972.20
 PROP 12" INV E-W-968.30

DRAINAGE STRUCT NO 3 (DS-3)
 CONST 4" DIA MANHOLE
 W/ADOT COVER K & FRAME
 PROP RIM-972.20
 PROP 12" INV W-969.20

ROOF DRAIN (RD) STRUCTURE SCHEDULE

NOTE: CONSTRUCT CLEANSOUT/CONNECTION PER STANDARD DETAIL SHOWN ON SHEET C-5 OF THESE PLANS

ROOF DRAIN CLEANSOUT NO 1 (RD-1)
 CONST 6" CLEANOUT/CONNECTION RISER
 (E-W) SIZE FRAME & COVER
 PROP RIM-977.00
 PROP 6" INV N-967.00
 PROP 6" INV S-972.00

ROOF DRAIN CLEANSOUT NO 2 (RD-2)
 CONST 6" CLEANOUT/CONNECTION RISER
 (E-W) SIZE FRAME & COVER
 PROP RIM-977.00
 PROP 6" INV NS-973.50

ROOF DRAIN CLEANSOUT NO 3 (RD-3)
 CONST 6" CLEANOUT/CONNECTION RISER
 (E-W) SIZE FRAME & COVER
 PROP RIM-977.00
 PROP 6" INV NS-973.50

ROOF DRAIN CLEANSOUT NO 4 (RD-4)
 CONST 6" CLEANOUT/CONNECTION RISER
 (E-W) SIZE FRAME & COVER
 PROP RIM-977.00
 PROP 6" INV NS-973.50

ROOF DRAIN CLEANSOUT NO 5 (RD-5)
 CONST 6" CLEANOUT/CONNECTION RISER
 (E-W) SIZE FRAME & COVER
 PROP RIM-977.00
 PROP 6" INV NS-973.50

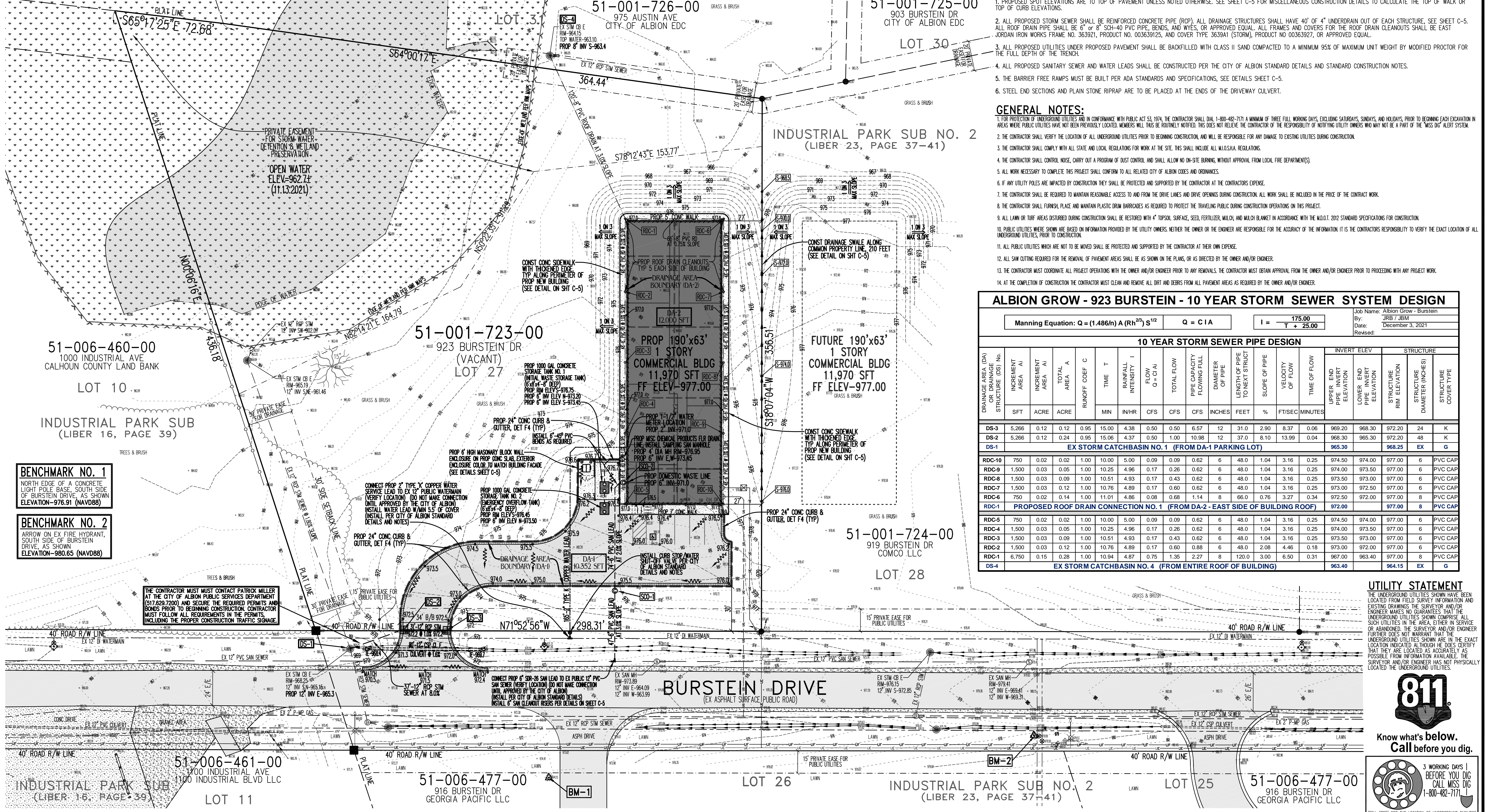
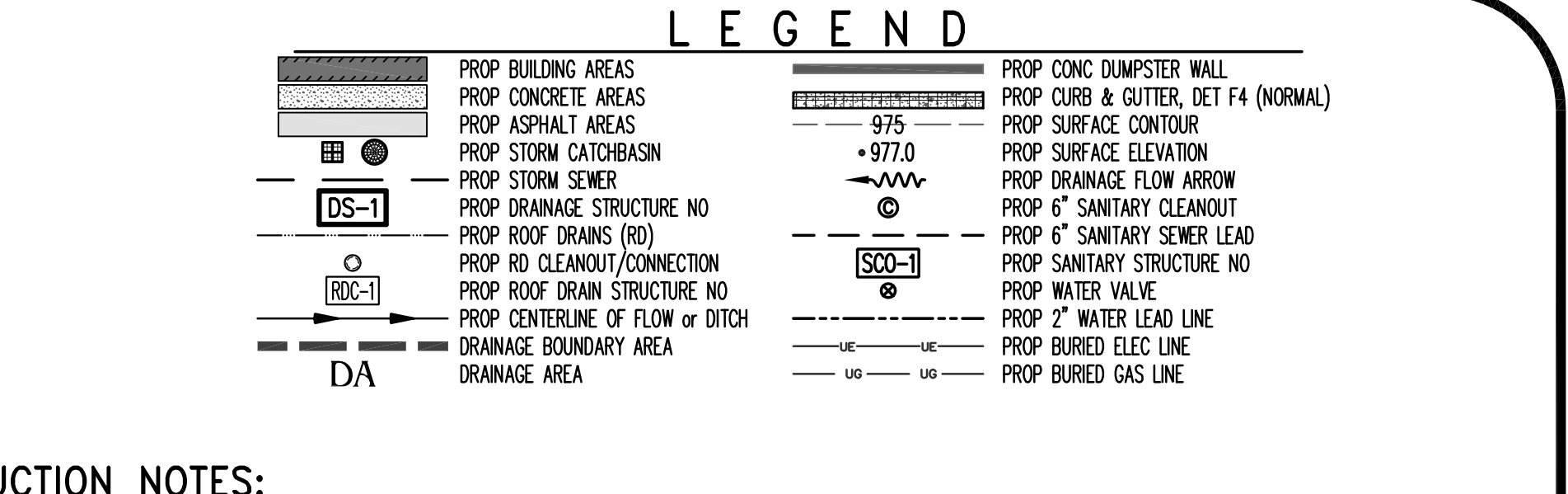
ROOF DRAIN CLEANSOUT NO 6 (RD-6)
 CONST 6" CLEANOUT/CONNECTION RISER
 (E-W) SIZE FRAME & COVER
 PROP RIM-977.00
 PROP 6" INV NS-973.50

ROOF DRAIN CLEANSOUT NO 7 (RD-7)
 CONST 6" CLEANOUT/CONNECTION RISER
 (E-W) SIZE FRAME & COVER
 PROP RIM-977.00
 PROP 6" INV NS-973.50

ROOF DRAIN CLEANSOUT NO 8 (RD-8)
 CONST 6" CLEANOUT/CONNECTION RISER
 (E-W) SIZE FRAME & COVER
 PROP RIM-977.00
 PROP 6" INV NS-973.50

ROOF DRAIN CLEANSOUT NO 9 (RD-9)
 CONST 6" CLEANOUT/CONNECTION RISER
 (E-W) SIZE FRAME & COVER
 PROP RIM-977.00
 PROP 6" INV NS-973.50

ROOF DRAIN CLEANSOUT NO 10 (RD-10)
 CONST 6" CLEANOUT/CONNECTION RISER
 (E-W) SIZE FRAME & COVER
 PROP RIM-977.00
 PROP 6" INV NS-973.50



CONSTRUCTION NOTES:

- PROPOSED SPOT ELEVATIONS ARE TO TOP OF PAVEMENT UNLESS NOTED OTHERWISE. SEE SHEET C-5 FOR MISCELLANEOUS CONSTRUCTION DETAILS TO CALCULATE THE TOP OF WALK OR TOP OF CURB ELEVATIONS.
- ALL PROPOSED STORM SEWER SHALL BE REINFORCED CONCRETE PIPE (RCP) ALL DRAINAGE STRUCTURES SHALL HAVE 40" OF 4" UNDERDRAIN OUT OF EACH STRUCTURE. SEE SHEET C-5. ALL ROOF DRAIN PIPE SHALL BE 6" OR 8" SCH-40 PVC PIPE, BENDS, AND WYES, OR APPROVED EQUAL. ALL FRAMES AND COVERS FOR THE ROOF DRAIN CLEANSOUTS SHALL BE EAST JORDAN IRON WORKS FRAME NO. 363921, PRODUCT NO. 003639125, AND COVER TYPE 3639A1 (STORM), PRODUCT NO. 003639227, OR APPROVED EQUAL.
- ALL PROPOSED UTILITIES UNDER PROPOSED PAVEMENT SHALL BE BACKFILLED WITH CLASS II SAND COMPACTED TO A MINIMUM 95% OF MAXIMUM UNIT WEIGHT BY MODIFIED PROCTOR FOR THE FULL DEPTH OF THE TRENCH.
- ALL PROPOSED SANITARY SEWER AND WATER LEADS SHALL BE CONSTRUCTED PER THE CITY OF ALBION STANDARD DETAILS AND STANDARD CONSTRUCTION NOTES.
- THE BARRIER FREE RAMPS MUST BE BUILT PER ADA STANDARDS AND SPECIFICATIONS, SEE DETAILS SHEET C-5.
- STEEL END SECTIONS AND PLAIN STONE RIPRAP ARE TO BE PLACED AT THE ENDS OF THE DRIVEWAY CULVERT.

GENERAL NOTES:

- FOR PROTECTION OF UNDERGROUND UTILITIES AND IN CONFORMANCE WITH PUBLIC ACT 53, 1974, THE CONTRACTOR SHALL OBTAIN A MINIMUM OF THREE FULL WORKING DAYS, EXCLUDING SATURDAYS, SUNDAYS, AND HOLIDAYS, PRIOR TO BEGINNING EACH EXCAVATION IN AREAS WHERE PUBLIC UTILITIES HAVE NOT BEEN PREVIOUSLY LOCATED. MEMBERS WILL THIS BE ROUTINELY NOTIFIED. THIS DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF NOTIFYING UTILITY OWNERS WHO MAY NOT BE A PART OF THE "MISS DIG" ALERT SYSTEM.
- THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO BEGINNING CONSTRUCTION, AND WILL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES DURING CONSTRUCTION.
- THE CONTRACTOR SHALL COMPLY WITH ALL STATE AND LOCAL REGULATIONS FOR WORK AT THE SITE. THIS SHALL INCLUDE ALL M.D.S.H.A. REGULATIONS.
- THE CONTRACTOR SHALL CONTROL NOISE, CARRY OUT A PROGRAM OF DUST CONTROL, AND SHALL ALLOW NO ON-SITE BURNING, WITHOUT APPROVAL FROM LOCAL FIRE DEPARTMENT(S).
- ALL WORK NECESSARY TO COMPLETE THIS PROJECT SHALL CONFORM TO ALL RELATED CITY OF ALBION CODES AND ORDINANCES.
- IF ANY UTILITY POLES ARE IMPACTED BY CONSTRUCTION THEY SHALL BE PROTECTED AND SUPPORTED BY THE CONTRACTOR AT THE CONTRACTORS EXPENSE.
- THE CONTRACTOR SHALL BE REQUIRED TO MAINTAIN REASONABLE ACCESS TO AND FROM THE DRIVE LINES AND OPERATIONS DURING CONSTRUCTION. ALL WORK SHALL BE INCLUDED IN THE PRICE OF THE CONTRACT WORK.
- THE CONTRACTOR SHALL FURNISH, PLACE AND MAINTAIN PLASTIC DIRT BARRETTAS AS REQUIRED TO PROTECT THE TRAVELING PUBLIC DURING CONSTRUCTION OPERATIONS ON THIS PROJECT.
- ALL LAWN OR TURF AREAS DISTURBED DURING CONSTRUCTION SHALL BE RESTORED WITH 4" TOPSOIL, SURFACE, SEED, FERTILIZER, MULCH, AND MULCH BLANKET IN ACCORDANCE WITH THE M.D.O.T. 2012 STANDARD SPECIFICATIONS FOR CONSTRUCTION.
- PUBLIC UTILITIES WHERE SHOWN ARE BASED ON INFORMATION PROVIDED BY THE UTILITY OWNERS. NEITHER THE OWNER OR THE ENGINEER ARE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION. IT IS THE CONTRACTORS RESPONSIBILITY TO VERIFY THE EXACT LOCATION OF ALL UNDERGROUND UTILITIES, PRIOR TO CONSTRUCTION.
- ALL PUBLIC UTILITIES WHICH ARE NOT TO BE MOVED SHALL BE PROTECTED AND SUPPORTED BY THE CONTRACTOR AT THEIR OWN EXPENSE.
- ALL SAW CUTTING REQUIRED FOR THE REMOVAL OF PAVEMENT AREAS SHALL BE AS SHOWN ON THE PLANS, OR AS DIRECTED BY THE OWNER AND/OR ENGINEER.
- THE CONTRACTOR MUST COORDINATE ALL PROJECT OPERATIONS WITH THE OWNER AND/OR ENGINEER PRIOR TO ANY REMOVALS. THE CONTRACTOR MUST OBTAIN APPROVAL FROM THE OWNER AND/OR ENGINEER PRIOR TO PROCEEDING WITH ANY PROJECT WORK.
- AT THE COMPLETION OF CONSTRUCTION THE CONTRACTOR MUST CLEAN AND REMOVE ALL DIRT AND DEBRIS FROM ALL PAVEMENT AREAS AS REQUIRED BY THE OWNER AND/OR ENGINEER.

ALBION GROW - 923 BURSTEIN - 10 YEAR STORM SEWER SYSTEM DESIGN

Manning Equation: $Q = (1.486/n) A (R h^{2/3}) S^{1/2}$ $Q = C I A$ $I = \frac{175.00}{T + 25.00}$

Job Name: Albion Grow - Burstein
 By: JRB / JBM
 Date: December 3, 2021
 Revised:

10 YEAR STORM SEWER PIPE DESIGN

DRAINAGE AREA (DA) STRUCTURE (DS) NO.	INCREMENT AREA A1	INCREMENT AREA A2	TOTAL AREA A	RUNOFF COEFF C	TIME T	RAINFALL INTENSITY I	FLOW Q = C I A	TOTAL FLOW	PIPE CAPACITY FLOWING FULL	DIAMETER OF PIPE	SLOPE OF PIPE	VELOCITY OF FLOW	TIME OF FLOW	INVERT ELEV		STRUCTURE			
														UPPER END PIPE INVERT ELEVATION	LOWER END PIPE INVERT ELEVATION	STRUCTURE RIM ELEVATION	STRUCTURE DIAMETER (INCHES)	STRUCTURE COVER TYPE	
DS-3	5,266	0.12	0.12	0.95	15.00	4.38	0.50	0.50	6.57	12	31.0	2.90	8.37	0.06	969.20	968.30	972.20	24	K
DS-2	5,266	0.12	0.24	0.95	15.06	4.37	0.50	1.00	10.98	12	37.0	8.10	13.99	0.04	968.30	965.30	972.20	48	K
DS-1															965.30		968.25	EX	G
EX STORM CATCHBASIN NO. 1 (FROM DA-1 PARKING LOT)																			
RD-10	750	0.02	0.02	1.00	10.00	5.00	0.09	0.09	0.62	6	48.0	1.04	3.16	0.25	974.50	974.00	977.00	6	PVC CAP
RD-9	1,500	0.03	0.05	1.00	10.25	4.96	0.17	0.26	0.62	6	48.0	1.04	3.16	0.25	974.00	973.50	977.00	6	PVC CAP
RD-8	1,500	0.03	0.09	1.00	10.51	4.93	0.17	0.43	0.62	6	48.0	1.04	3.16	0.25	973.50	973.00	977.00	6	PVC CAP
RD-7	1,500	0.03	0.12	1.00	10.76	4.89	0.17	0.60	0.62	6	48.0	1.04	3.16	0.25	973.00	972.50	977.00	6	PVC CAP
RD-6	750	0.02	0.14	1.00	11.01	4.86	0.08	0.68	1.14	8	66.0	0.76	3.27	0.34	972.50	972.00	977.00	8	PVC CAP
RD-1															972.00		977.00	8	PVC CAP
PROPOSED ROOF DRAIN CONNECTION NO. 1 (FROM DA-2 EAST SIDE OF BUILDING ROOF)																			
RD-5	750	0.02	0.02	1.00	10.00	5.00	0.09	0.09	0.62	6	48.0	1.04	3.16	0.25	974.50	974.00	977.00	6	PVC CAP
RD-4	1,500	0.03	0.05	1.00	10.25	4.96	0.17	0.26	0.62	6	48.0	1.04	3.16	0.25	974.00	973.50	977.00	6	PVC CAP
RD-3	1,500	0.03	0.09	1.00	10.51	4.93	0.17	0.43	0.62	6	48.0	1.04	3.16	0.25	973.50	973.00	977.00	6	PVC CAP
RD-2	1,500	0.03	0.12	1.00	10.76	4.89	0.17	0.60	0.88	6	48.0	2.08	4.46	0.18	973.00	972.00	977.00	6	PVC CAP
RD-1	6,750	0.15	0.28	1.00	10.94	4.87	0.75	1.35	2.27	8	120.0	3.00	6.50	0.31	967.00	963.40	977.00	8	PVC CAP
DS-4															963.40		964.15	EX	G
EX STORM CATCHBASIN NO. 4 (FROM ENTIRE ROOF OF BUILDING)																			

UTILITY STATEMENT

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR AND/OR ENGINEER MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR AND/OR ENGINEER FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR AND/OR ENGINEER HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

811

Know what's below.
 Call before you dig.

3 WORKING DAYS BEFORE YOU DIG
 CALL MISS DIG
 1-800-482-7171

(TOLL FREE) FOR THE LOCATION OF UNDERGROUND FACILITIES

SCALE: 1"=30'
 JOB NO. 091121

OWNER/DEVELOPER:
ANA DREAM, LLC
 12345 HOWLAND PARK DRIVE
 PLYMOUTH, MI 48179
 CONTACT: HADI SAEED

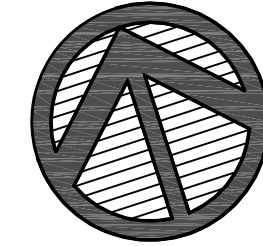
PART OF WEST 1/2,
 SECTION 34, T2N-R4W,
 ALBION CITY, CALHOUN CO, MI

BM CONSTRUCTION CONSULTANTS
 2240 LAUDERDALE STREET
 FLINT, MICHIGAN 48532
 PHONE: 810.423.5014
 EMAIL: BMCONSTRUCTION@COMCAST.NET

GRADING, DRAINAGE, PAVING & UTILITY PLAN FOR:
PROPOSED MARIJUANA GROW FACILITY
 923 BURSTEIN DRIVE, ALBION, MI 49224

REVISIONS 01.15.2022	DRN. BY: DSN BY:	J.R.B.	12.03.2021	SHEET NO: C-3
	CHK'D BY:	J.B.M.		
	APPR BY:	J.B.M.		

NORTH



GRAPHIC SCALE

0 15 30

(IN FEET)

1 inch = 30 ft.

LEGAL DESCRIPTION (AS PROVIDED):

PARCEL NO. 51-001-723-00

LOT 27, INDUSTRIAL PARK SUBDIVISION #2, AS RECORDED IN LIBER 23, PAGES 37-41, C.C.R. PART OF THE WEST HALF, SECTION 34, T2S-R4W, CITY OF ALBION, CALHOUN COUNTY, MICHIGAN

FLOOD PLAIN NOTE:

THIS PROPERTY LIES IN ZONE "X" (AREAS OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) OF THE FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 26030C02090 WHICH BEARS AN EFFECTIVE DATE OF APRIL 4, 2011 AND IS NOT IN A SPECIAL FLOOD HAZARD AREA.

WETLAND NOTE:

ACCORDING TO THE NATIONAL WETLAND INVENTORY MAPS OF MICHIGAN, THERE ARE WETLAND AREAS ON THIS PROPERTY.

DRAINAGE STRUCTURE SCHEDULE

NOTE: CONSTRUCT PER CITY OF ALBION STANDARD DRAINAGE STRUCTURE & STORM SEWER CONSTRUCTION DETAILS EX DRAINAGE STRUCT NO 1 (DS-1) DRAINAGE STRUCT NO 2 (DS-2) DRAINAGE STRUCT NO 3 (DS-3) EX 4" DIA MANHOLE CONST 4" DIA MANHOLE W/ADOT COVER E EX 12" INV N-965.25 PROP 12" INV E-W-965.30 EX 12" INV N-S-965.15

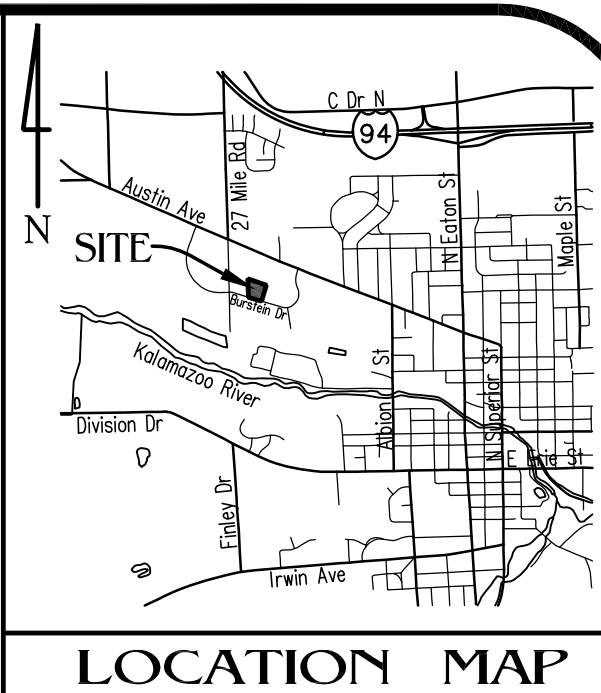
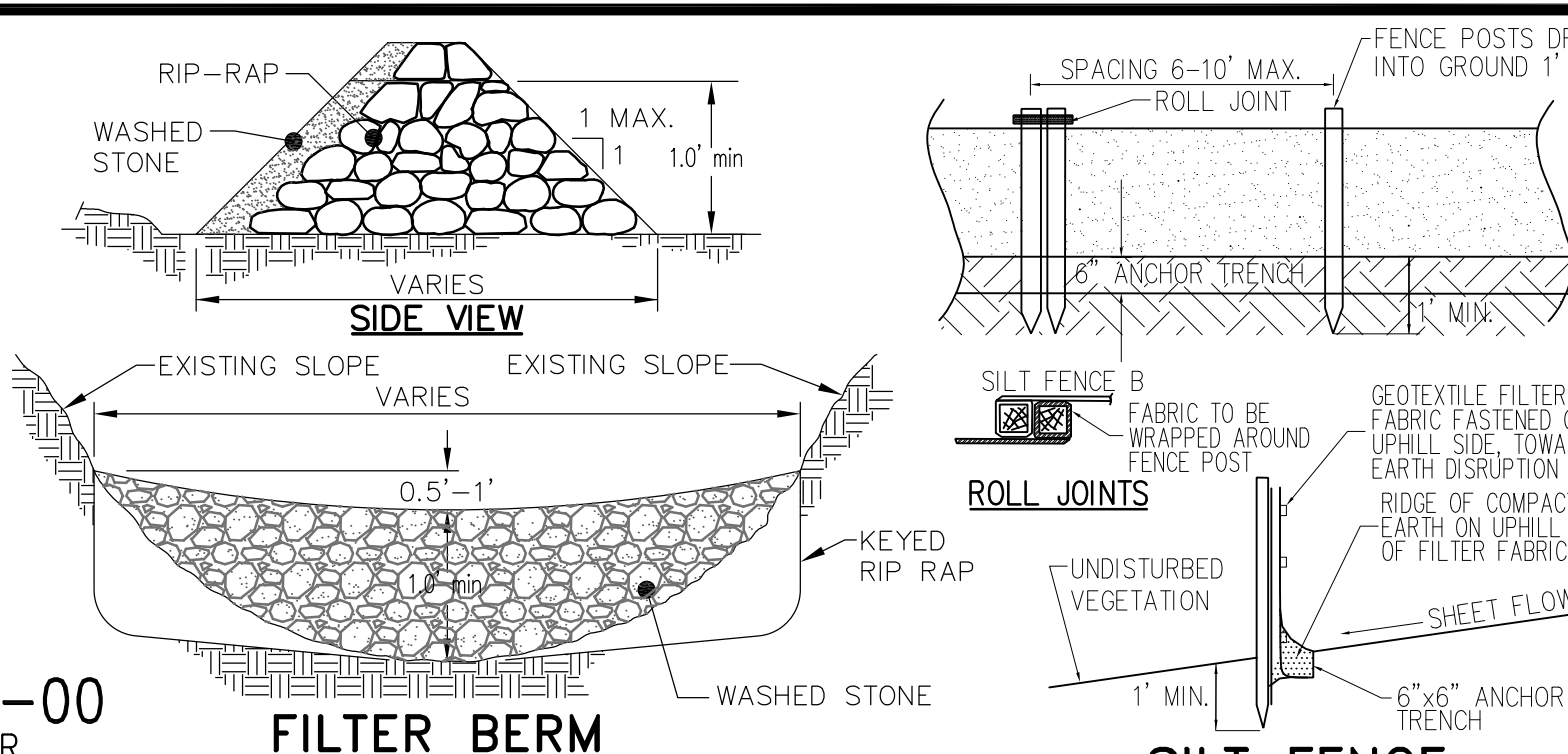
ROOF DRAIN (RD) STRUCTURE SCHEDULE

NOTE: CONSTRUCT CLEANOUT/CONNECTION PER STANDARD DETAIL SHOWN ON SHEET C-5 OF THESE PLANS. ROOF DRAIN CLEANOUT NO 1 (ROC-1) CONST 6" CLEANOUT/CONNECTION RISER (E-W 15'32" FRAME & COVER) PROP RM-971.00 PROP 6" INV N-971.00

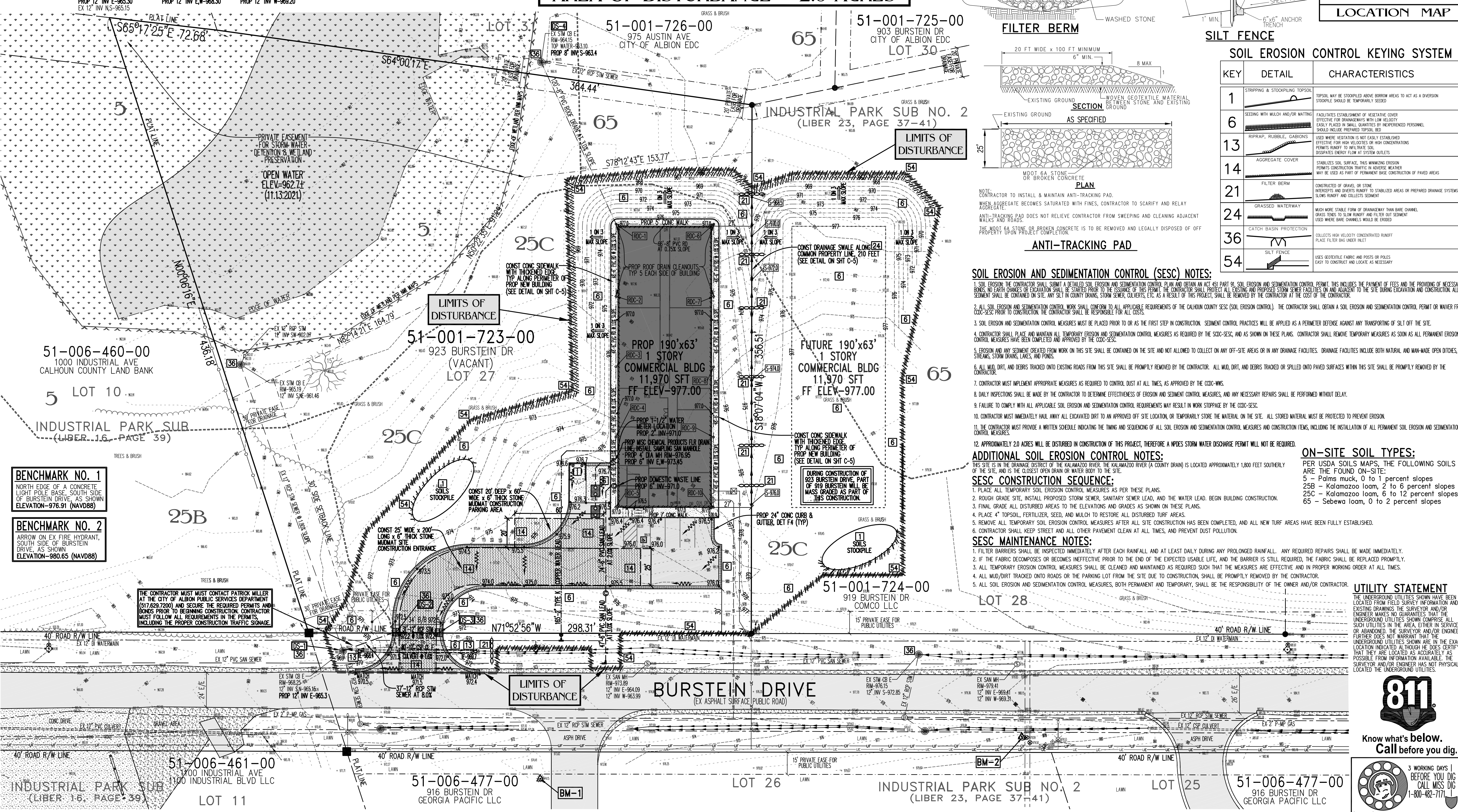
SOIL EROSION & SEDIMENTATION CONTROL PLAN

LEGEND

- PROP BUILDING AREAS
PROP CONCRETE AREAS
PROP ASPHALT AREAS
PROP STORM CATCHBASIN
PROP STORM SEWER
PROP DRAINAGE STRUCTURE NO
PROP ROOF DRAIN (RD)
PROP RD CLEANOUT/CONNECTION
PROP ROOF DRAIN STRUCTURE NO
PROP CENTERLINE OF FLOW OR DITCH
PROP CONC DUMPSIDE WALL



AREA OF DISTURBANCE = 2.0 ACRES



SOIL EROSION CONTROL KEYING SYSTEM

Table with 3 columns: KEY, DETAIL, CHARACTERISTICS. Lists items like Stripping & Stockpiling Topsoil, Seeding with Mulch, Rip-rap, Aggregate Cover, Filter Berm, Grassed Waterway, Catch Basin Protection, and Silt Fence.

SOIL EROSION AND SEDIMENTATION CONTROL (SESC) NOTES:

- 1. SOIL EROSION: THE CONTRACTOR SHALL SUBMIT A DETAILED SOIL EROSION AND SEDIMENTATION CONTROL PLAN AND OBTAIN AN ACT 451 PART 91 SOIL EROSION AND SEDIMENTATION CONTROL PERMIT. THIS INCLUDES THE PAYMENT OF FEES AND THE PROVIDING OF NECESSARY BONDS...
2. ALL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL CONFORM TO ALL APPLICABLE REQUIREMENTS OF THE CALHOUN COUNTY SESC (SOIL EROSION CONTROL). THE CONTRACTOR SHALL OBTAIN A SOIL EROSION AND SEDIMENTATION CONTROL PERMIT OR WAIVER FROM COCC-SESC PRIOR TO CONSTRUCTION...
3. SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE PLACED PRIOR TO OR AS THE FIRST STEP IN CONSTRUCTION...
4. CONTRACTOR SHALL PLACE AND MAINTAIN ALL TEMPORARY EROSION AND SEDIMENTATION CONTROL MEASURES AS REQUIRED BY THE SESC-SESC AND AS SHOWN ON THIS PLAN...
5. EROSION AND ANY SEDIMENT CREATED FROM WORK ON THIS SITE SHALL BE CONTAINED ON THE SITE AND NOT ALLOWED TO COLLECT ON ANY OFF-SITE AREAS...
6. ALL MUD, DIRT, AND DEBRIS TRACKED ONTO EXISTING ROADS FROM THIS SITE SHALL BE PROMPTLY REMOVED BY THE CONTRACTOR...
7. CONTRACTOR MUST IMPLEMENT APPROPRIATE MEASURES AS REQUIRED TO CONTROL DUST AT ALL TIMES...
8. DAILY INSPECTIONS SHALL BE MADE BY THE CONTRACTOR TO DETERMINE EFFECTIVENESS OF EROSION AND SEDIMENT CONTROL MEASURES...
9. FAILURE TO COMPLY WITH ALL APPLICABLE SOIL EROSION AND SEDIMENTATION CONTROL REQUIREMENTS MAY RESULT IN WORK STOPPAGE BY THE COCC-SESC...
10. CONTRACTOR MUST IMMEDIATELY HAIL AWAY ALL EXCAVATED OR APPROVED OFF SITE LOCATION, OR TEMPORARILY STORE THE MATERIAL ON THE SITE...
11. THE CONTRACTOR MUST PROVIDE A WRITTEN SCHEDULE INDICATING THE TIMING AND SEQUENCING OF ALL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES AND CONSTRUCTION ITEMS...
12. APPROXIMATELY 2.0 ACRES WILL BE DISTURBED IN CONSTRUCTION OF THIS PROJECT, THEREFORE A NPDES STORM WATER DISCHARGE PERMIT WILL NOT BE REQUIRED.

ADDITIONAL SOIL EROSION CONTROL NOTES:

THIS SITE IS IN THE DRAINAGE DISTRICT OF THE KALAMAZOO RIVER. THE KALAMAZOO RIVER (A COUNTY DRAIN) IS LOCATED APPROXIMATELY 1,800 FEET SOUTHERLY OF THE SITE, AND IS THE CLOSEST OPEN DRAIN OR WATER BODY TO THE SITE.

SESC CONSTRUCTION SEQUENCE:

- 1. PLACE ALL TEMPORARY SOIL EROSION CONTROL MEASURES AS PER THESE PLANS.
2. ROUGH GRADE SITE, INSTALL PROPOSED STORM SEWER, SANITARY SEWER LEAD, AND THE WATER LEAD. BEGIN BUILDING CONSTRUCTION.
3. FINAL GRADE ALL DISTURBED AREAS TO THE ELEVATIONS AND GRADES AS SHOWN ON THESE PLANS.
4. PLACE 4" TOPSOIL, FERTILIZER, SEED, AND MULCH TO RESTORE ALL DISTURBED TURF AREAS.
5. REMOVE ALL TEMPORARY SOIL EROSION CONTROL MEASURES AFTER ALL SITE CONSTRUCTION HAS BEEN COMPLETED, AND ALL NEW TURF AREAS HAVE BEEN FULLY ESTABLISHED.
6. CONTRACTOR SHALL KEEP STREET AND ALL OTHER PAVEMENT CLEAN AT ALL TIMES, AND PREVENT DUST POLLUTION.

SESC MAINTENANCE NOTES:

- 1. FILTER BARRIERS SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING ANY PROLONGED RAINFALL. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.
2. IF THE FABRIC DECOMPOSES OR BECOMES INEFFECTIVE PRIOR TO THE END OF THE EXPECTED USABLE LIFE, AND THE BARRIER IS STILL REQUIRED, THE FABRIC SHALL BE REPLACED PROMPTLY.
3. ALL TEMPORARY EROSION CONTROL MEASURES SHALL BE CLEANED AND MAINTAINED AS REQUIRED SUCH THAT THE MEASURES ARE EFFECTIVE AND IN PROPER WORKING ORDER AT ALL TIMES.
4. ALL MUD/DIRT TRACKED ONTO ROADS OR THE PARKING LOT FROM THE SITE DUE TO CONSTRUCTION SHALL BE PROMPTLY REMOVED BY THE CONTRACTOR.
5. ALL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES, BOTH PERMANENT AND TEMPORARY, SHALL BE THE RESPONSIBILITY OF THE OWNER AND/OR CONTRACTOR.

ON-SITE SOIL TYPES:

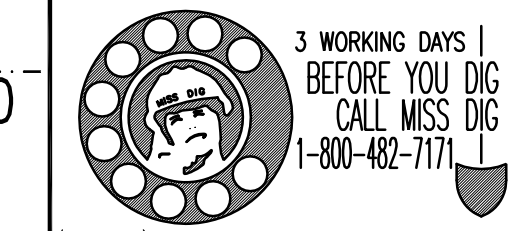
PER USDA SOILS MAPS, THE FOLLOWING SOILS ARE THE FOUND ON-SITE:
5 - Plains muck, 0 to 1 percent slopes
25B - Kalamazoo loam, 2 to 6 percent slopes
25C - Kalamazoo loam, 6 to 12 percent slopes
65 - Sebawa loam, 0 to 2 percent slopes

UTILITY STATEMENT

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS THE SURVEYOR AND/OR ENGINEER MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR AND/OR ENGINEER FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR AND/OR ENGINEER HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.



Know what's below. Call before you dig.



BENCHMARK NO. 1
NORTH EDGE OF A CONCRETE LIGHT POLE BASE, SOUTH SIDE OF BURSTEIN DRIVE, AS SHOWN ELEVATION-976.91 (NAVD88)

BENCHMARK NO. 2
ARROW ON EX FIRE HYDRANT, SOUTH SIDE OF BURSTEIN DRIVE, AS SHOWN ELEVATION-980.65 (NAVD88)

THE CONTRACTOR MUST CONTACT PATRICK MILLER AT THE CITY OF ALBION PUBLIC SERVICES DEPARTMENT (517.629.7200) AND SECURE THE REQUIRED PERMITS AND BONDS PRIOR TO BEGINNING CONSTRUCTION. CONTRACTOR MUST FOLLOW ALL REQUIREMENTS IN THE PERMITS, INCLUDING THE PROPER CONSTRUCTION TRAFFIC SIGNAGE.

SCALE: 1"=30'
JOB NO. 091121

OWNER/DEVELOPER:
ANA DREAM, LLC
12345 HOWLAND PARK DRIVE
PLYMOUTH, MI 48179
CONTACT: HADI SAEED

PART OF WEST 1/2, SECTION 34, T2N-R4W, ALBION CITY, CALHOUN CO, MI



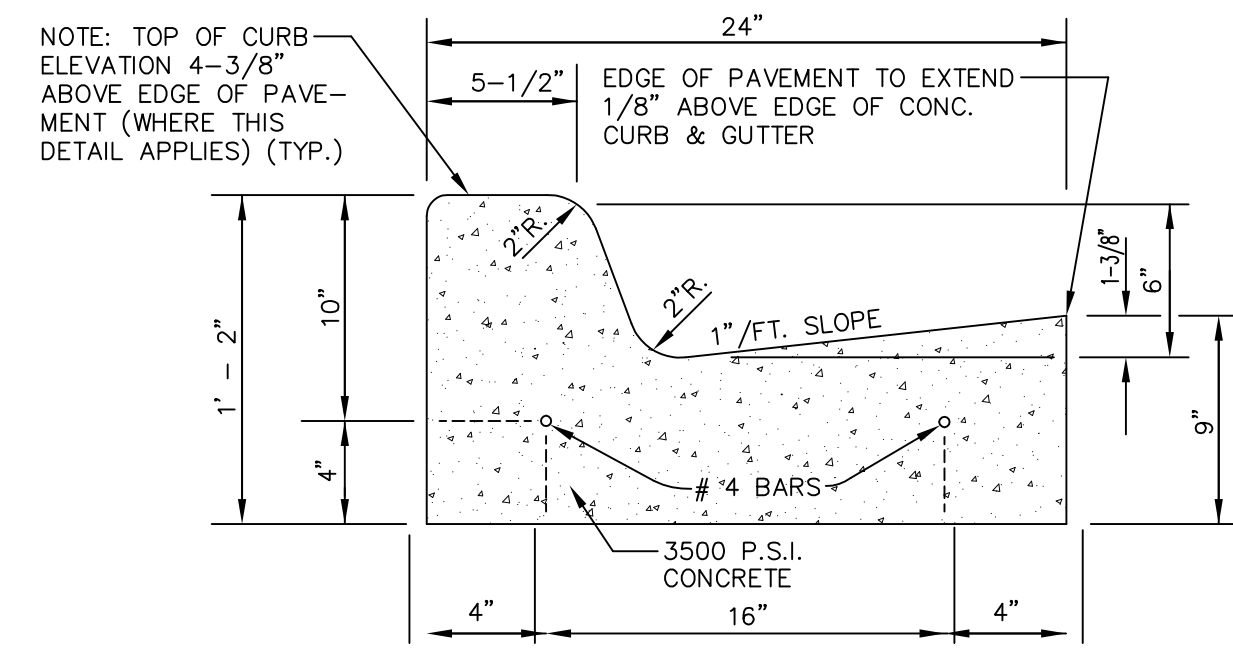
BM CONSTRUCTION CONSULTANTS
2240 LAUDERDALE STREET
FLINT, MICHIGAN 48832
PHONE: 810.423.5014
EMAIL: BMCONSTRUCTION@COMCAST.NET

SOIL EROSION & SEDIMENTATION CONTROL PLAN FOR:
PROPOSED MARIHUANA GROW FACILITY
923 BURSTEIN DRIVE, ALBION, MI 49224

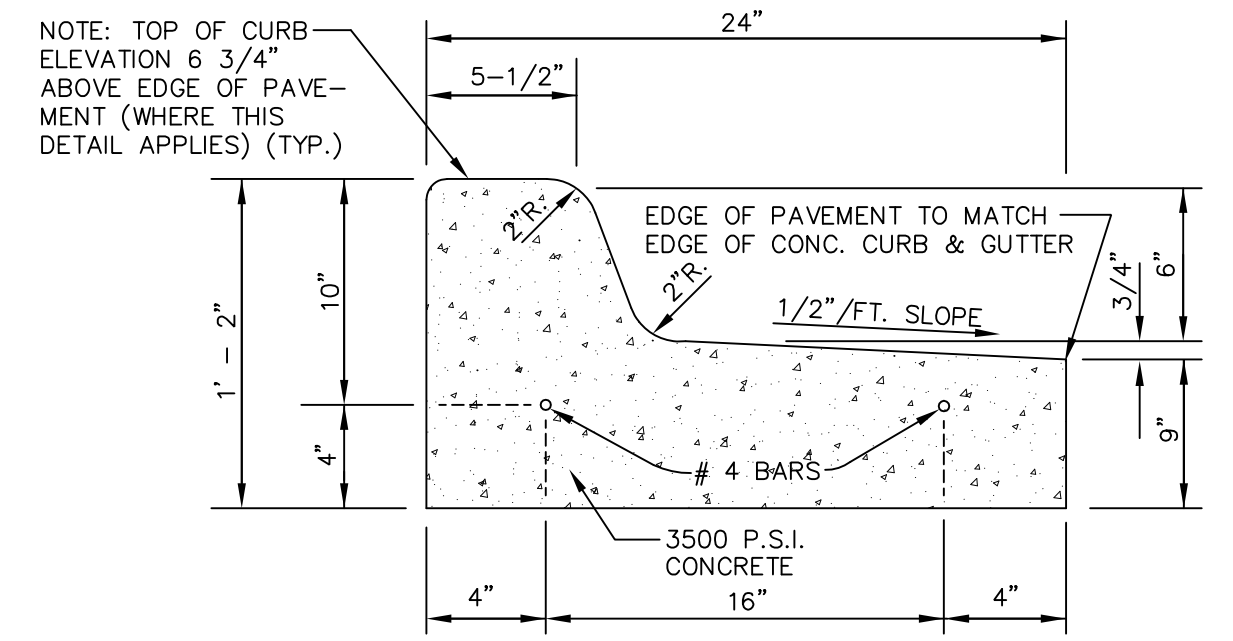
REVISIONS
01.15.2022

Table with columns: DRN. BY, J.R.B., 12.03.2021, SHEET NO: C-4, CHK'D BY, J.B.M., APPR BY, J.B.M.

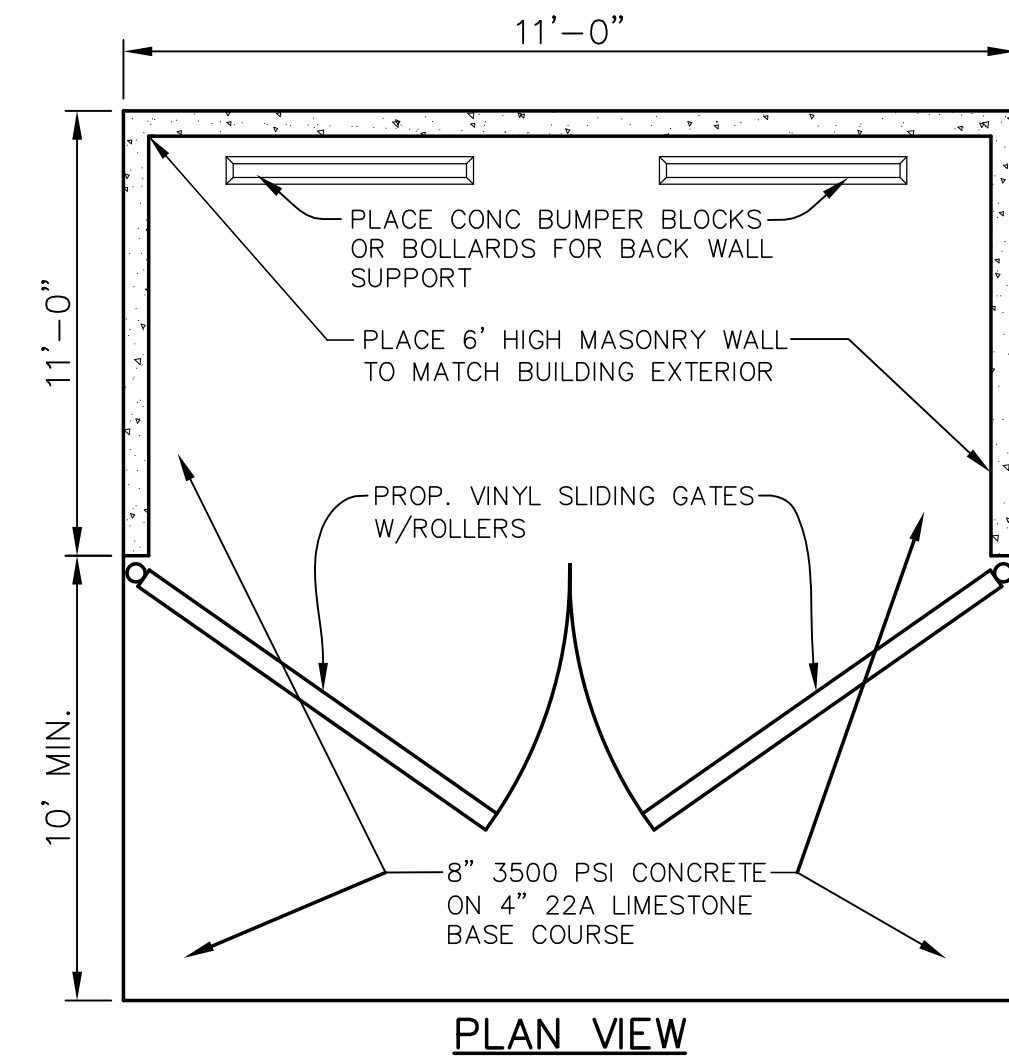
STANDARD CONSTRUCTION DETAILS & NOTES



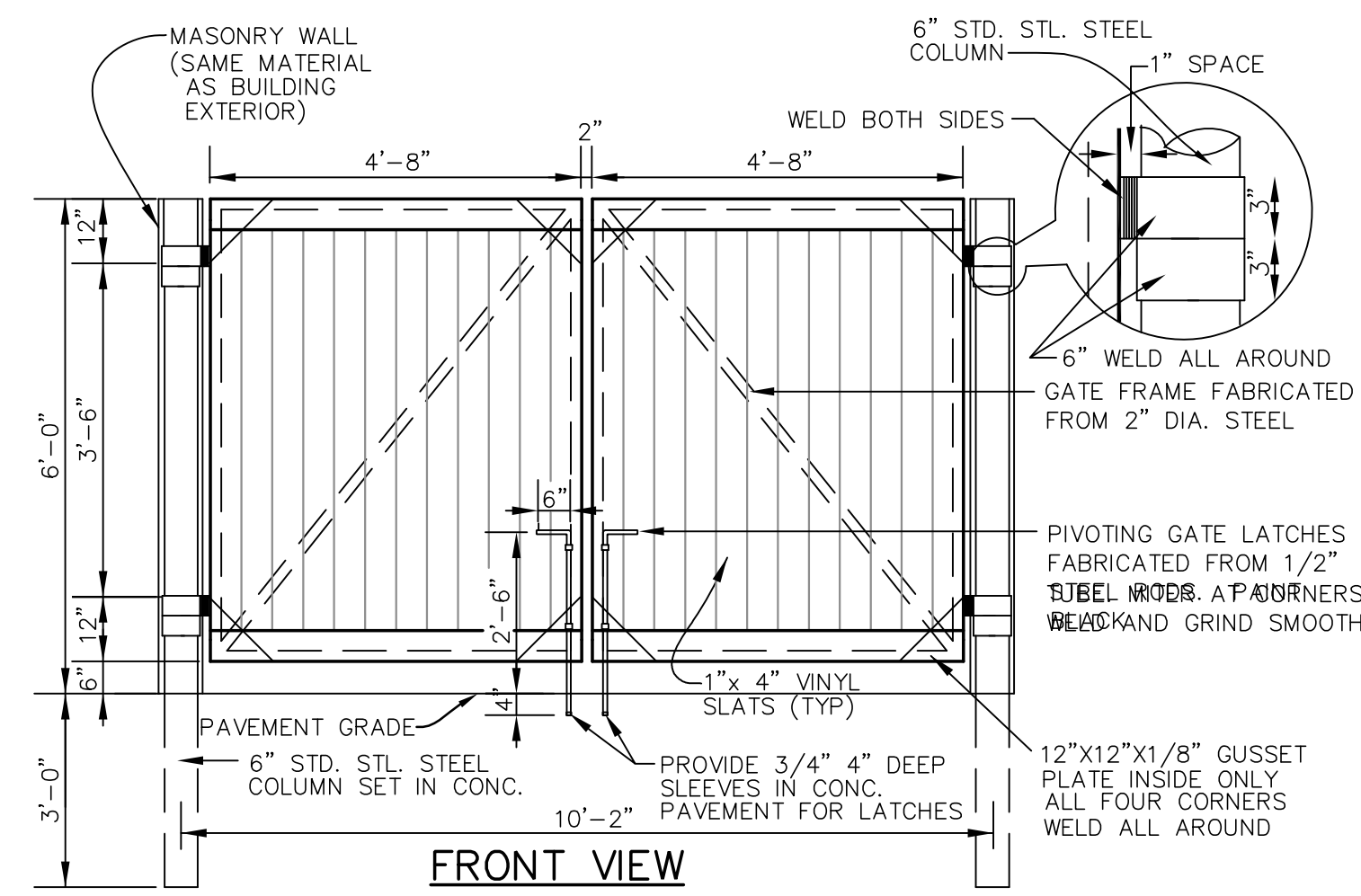
CONCRETE CURB & GUTTER DETAIL F4 (W/NORMAL GUTTER GRADE) APPLIES WHEN GRADE SLOPES TO



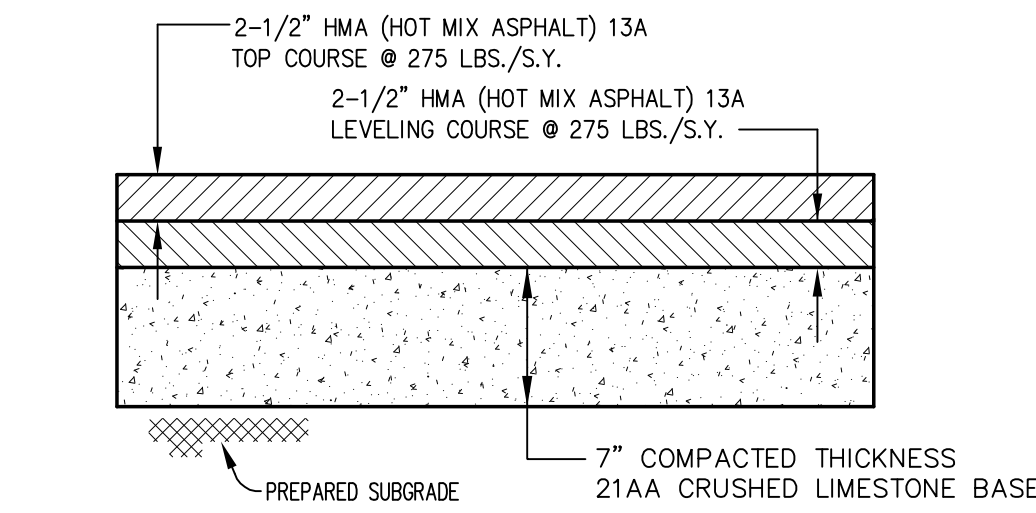
CONCRETE CURB & GUTTER DETAIL F4-MOD (W/REVERSE GUTTER GRADE) APPLIES WHEN GRADE SLOPES AWAY



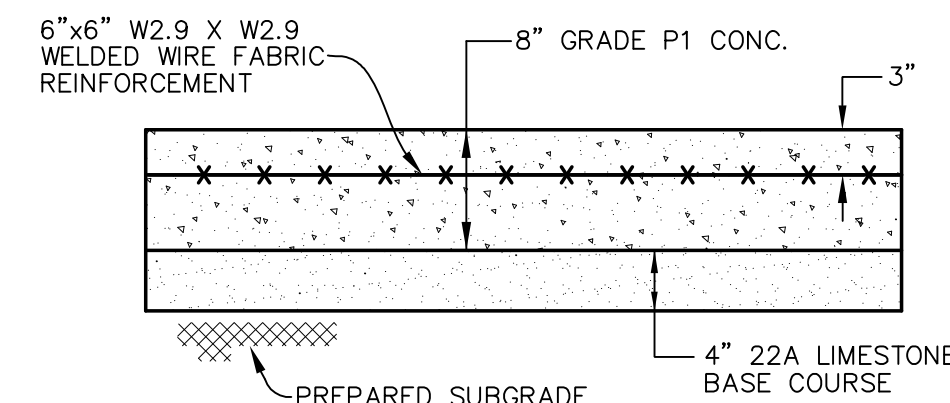
PLAN VIEW



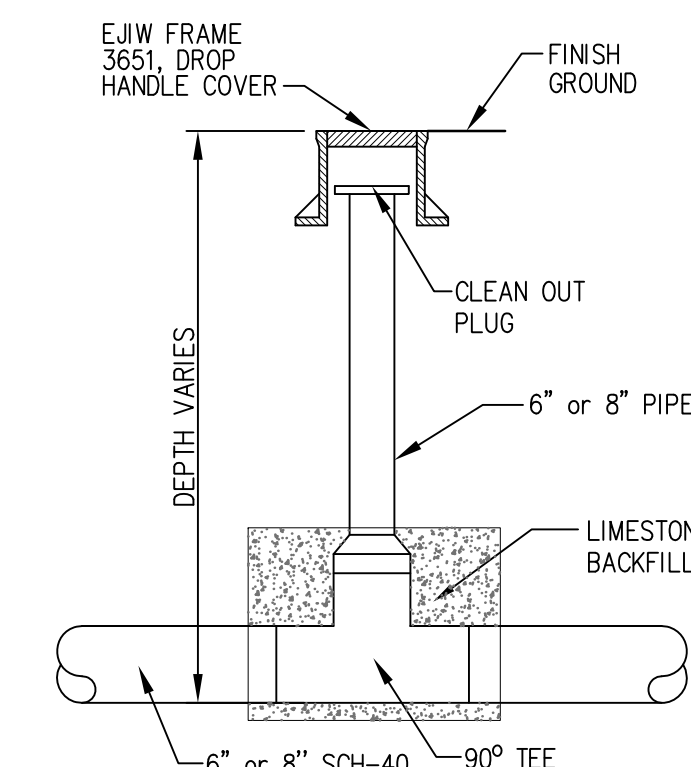
DUMPSTER ENCLOSURE DETAIL



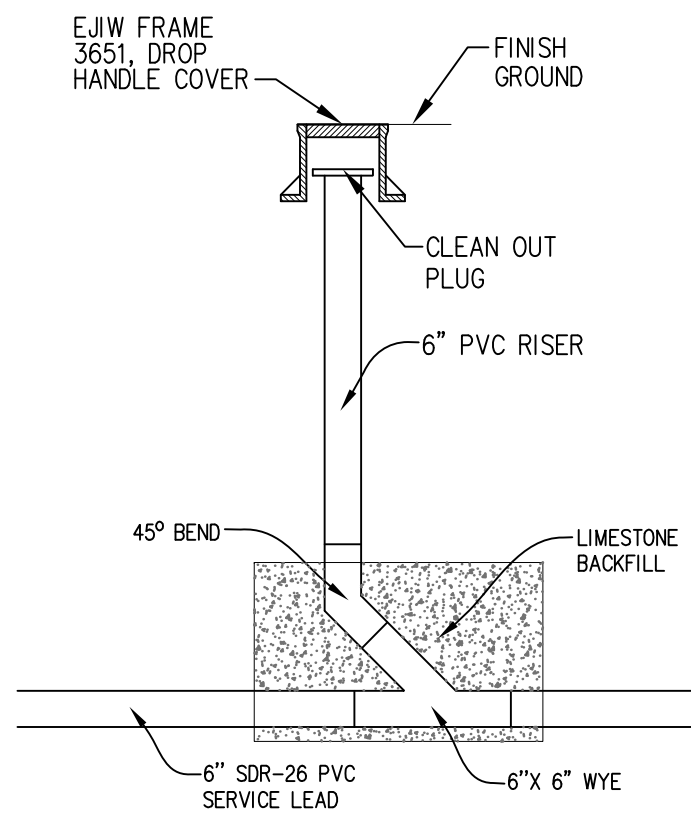
HEAVY DUTY APPROACH & PARKING LOT PAVEMENT X-SECTION



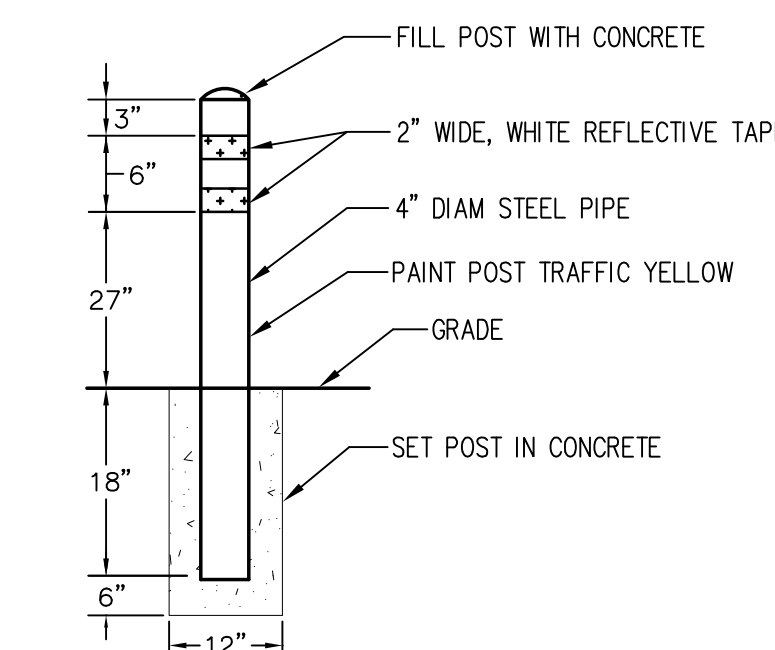
DUMPSTER ENCLOSURE CONCRETE PAVEMENT X-SECTION



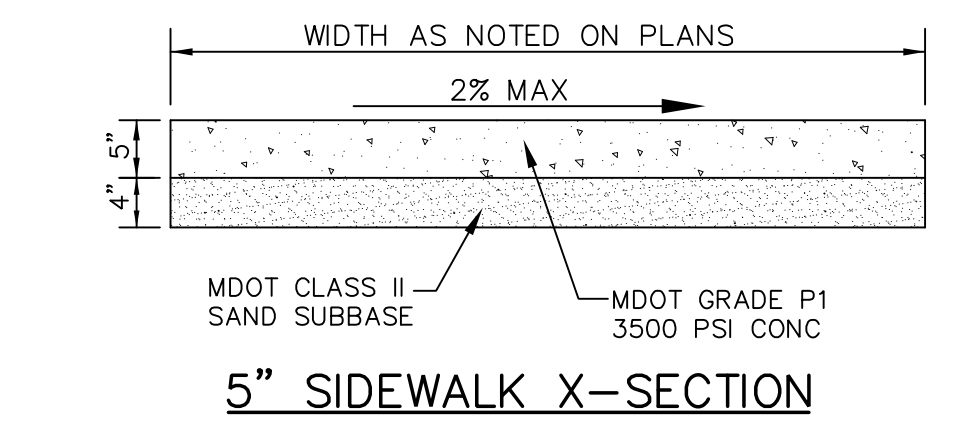
STORM CLEANOUT R.D. DETAIL



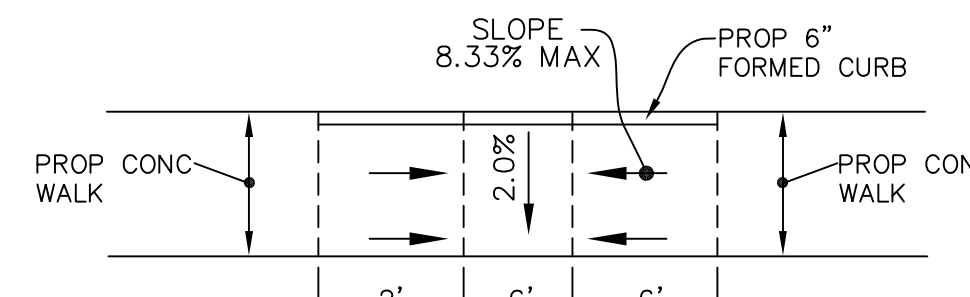
SANITARY CLEAN-OUT DETAIL



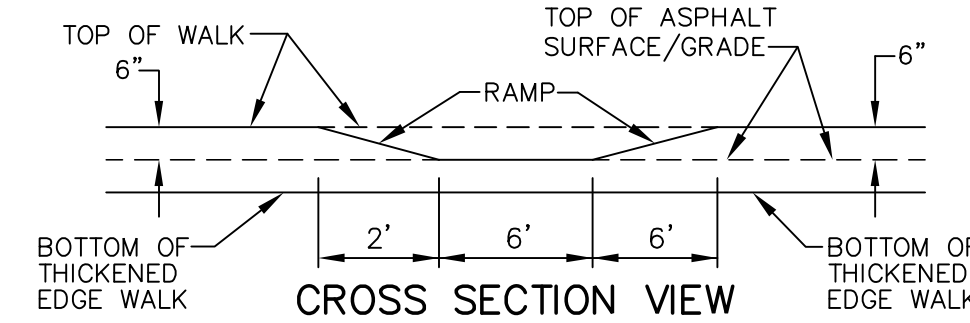
TYPICAL BOLLARD DETAIL



5" SIDEWALK X-SECTION



PLAN VIEW

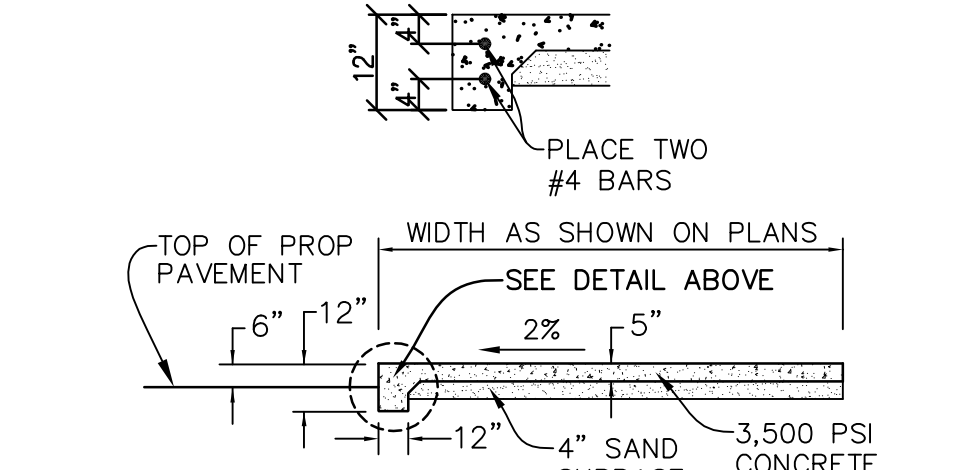


CROSS SECTION VIEW

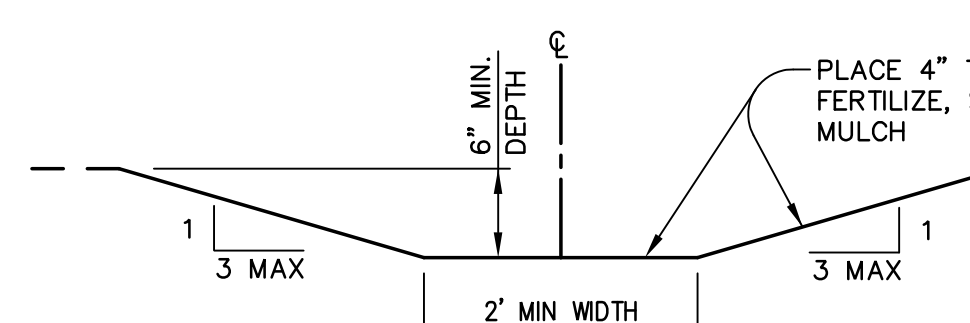
SIDEWALK BARRIER FREE RAMP DETAIL

ACCESS RAMP CONSTRUCTION NOTES

- RAMP SHALL HAVE A 12" WIDE BORDER WITH 1/4" X 1/4" GROOVES @ 3/4" O.C.
- THE SURFACE OF THE RAMP SHALL HAVE A TRANSVERSE BROOMED SLIP-RESISTANT SURFACE TEXTURE ROUGHER THAN THE SURROUNDING SIDEWALK.
- RAMP CONSTRUCTION SHALL COMPLY WITH ALL FEDERAL, STATE AND LOCAL CODES AND REGULATIONS.
- THE SIDEWALK RAMP CROSS SECTION SHALL BE A MINIMUM OF 5 INCHES OF 3500 PSI GRADE P1 CONCRETE ON A MINIMUM OF 4 INCHES OF CLASS II SAND SUBBASE.

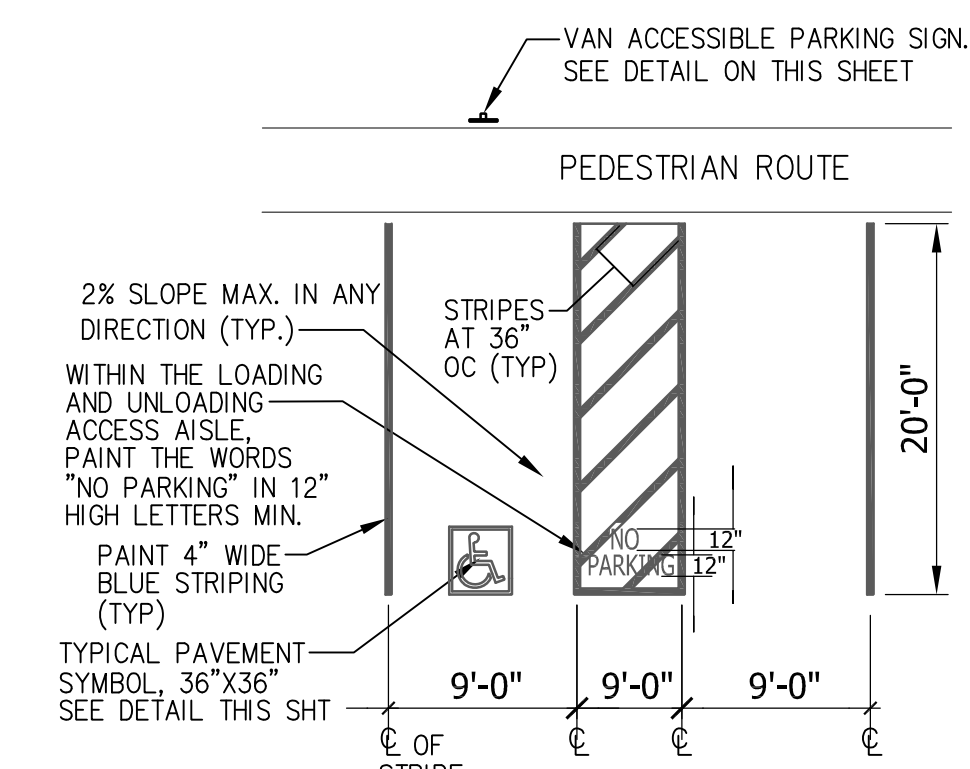


PROPOSED THICKENED EDGE SIDEWALK X-SECTION



DRAINAGE DITCH/SWALE X-SECTION

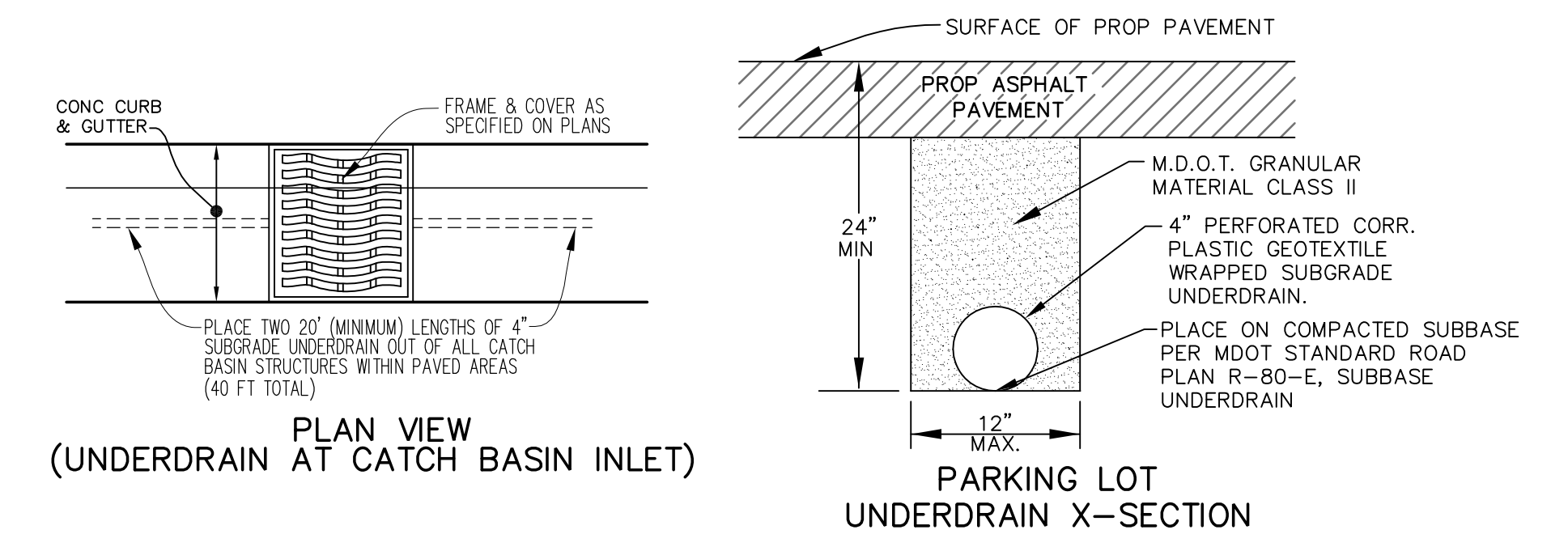
CONSTRUCT AT 0.50% MIN. SLOPE AT LOCATIONS SHOWN OR AS REQUIRED



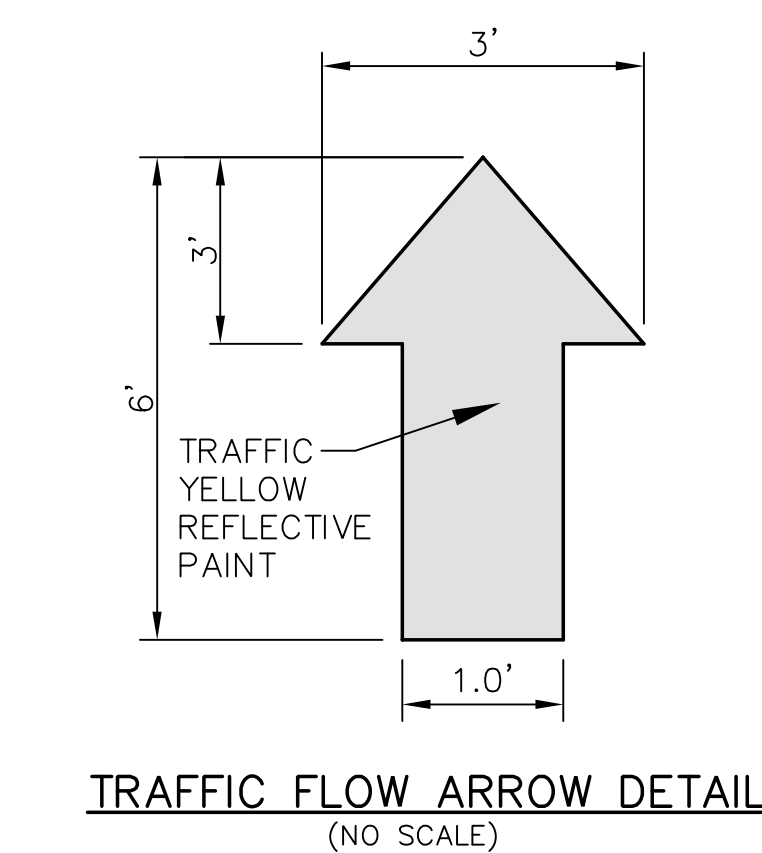
A.D.A. PARKING & REGULAR SPACE PAVEMENT MARKING LAYOUT DETAIL

GENERAL CONSTRUCTION NOTES:

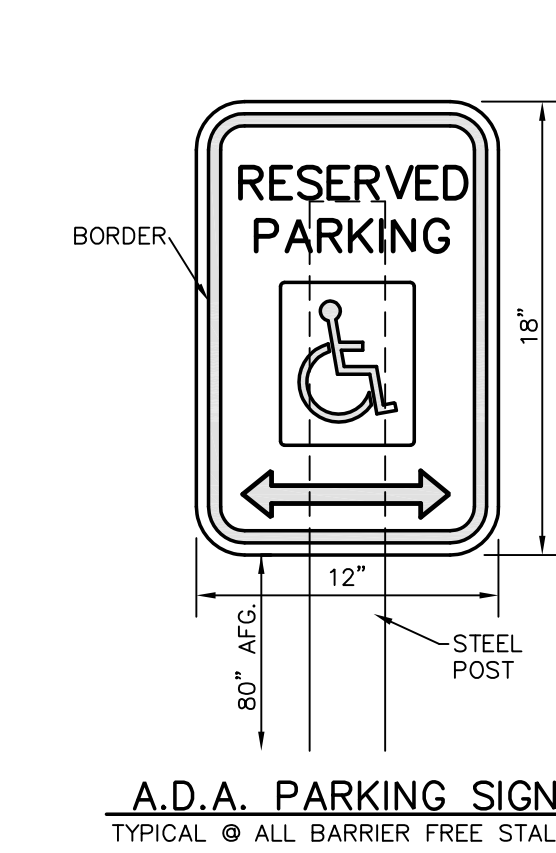
- ALL SITE CONSTRUCTION WORK SHALL BE IN ACCORDANCE WITH ALL APPLICABLE REQUIREMENTS THE 2012 MICHIGAN DEPARTMENT OF TRANSPORTATION (MDOT) STANDARD SPECIFICATIONS FOR CONSTRUCTION, THE LATEST MDOT STANDARD ROAD PLANS, AND THE LATEST CITY OF ALBION ZONING ORDINANCE AND ENGINEERING DESIGN STANDARDS. COPIES OF ALL MDOT DOCUMENTS MAY BE OBTAINED FROM THEIR WEBSITE (WWW.MICHIGAN.GOV/MDOT)
- THE CONTRACTOR SHALL PERFORM ALL WORK NECESSARY TO GRADE THE SITE TO THE GRADES SHOWN ON THE PLANS OR SPECIFIED BY THE ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL EXCAVATION, EMBANKMENT, AND THE FURNISHING AND PLACING OF ALL BORROW MATERIAL REQUIRED TO OBTAIN THE SPECIFIED GRADES, AND REMOVAL OF EXCESS EARTH MATERIAL.
- SUBGRADE PREPARATION: REMOVE ALL ROCKS, DEBRIS, VEGETATION AND TOPSOIL FROM THE AREA TO BE PAVED. SHAPE THE SUBGRADE TO PROPER ELEVATIONS FOR PLACEMENT OF THE PAVEMENT. COMPACT SUBGRADE TO NOT LESS THAN 95% OF MAXIMUM UNIT WEIGHT IN 9 INCH LIFTS IN ACCORDANCE WITH THE MODIFIED PROCTOR T-180 METHOD. THE CONTRACTOR SHALL UNDERCUT ANY UNSUITABLE SUBGRADE MATERIAL AND REPLACE IT WITH SUITABLE MATERIAL COMPACTED TO MINIMUM 95% OF MAX UNIT WEIGHT.
- ALL WORK NECESSARY TO COMPLETE THIS PROJECT SHALL CONFORM TO ALL RELATED CITY OF ALBION AND CALHOUN COUNTY CODES AND ORDINANCES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, INSURANCE AND BONDS PRIOR TO CONSTRUCTION, INCLUDING THE PAYMENT OF ANY FEES, REQUIRED BY ANY FEDERAL, STATE, LOCAL, OR PRIVATE ORGANIZATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER DISPOSAL OF SURPLUS OR WASTE MATERIAL.
- SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE EMPLOYED IN ACCORDANCE WITH THE SOIL EROSION CONTROL PLAN, AND SHALL MEET THE APPROVAL OF THE CALHOUN COUNTY DRAIN COMMISSIONER (CCDC) AND/OR CITY OF ALBION, SOIL EROSION CONTROL DEPARTMENT. CONTRACTOR SHALL OBTAIN SOIL EROSION CONTROL PERMIT FROM THE CCDC-SEDC AND/OR CITY OF ALBION SOIL EROSION CONTROL DEPARTMENT (SESC).
- ALL LAWN OR TURF AREAS SHALL BE ESTABLISHED WITH TOPSOIL AND APPLICATION OF FERTILIZER, SEED AND MULCH IN ACCORDANCE WITH THE FOLLOWING RATES:
TOPSOIL SURFACE = MINIMUM 4 INCHES
CHEMICAL FERTILIZER NUTRIENT = 240 LBS/ACRE
CLASS A SEEDING = 120 LBS/ACRE
MULCH = 2 TONS/ACRE
ALL LANDSCAPE BEDS SHALL HAVE 18" OF TOPSOIL.
- ALL MATERIAL SHALL COMPLY WITH MDOT STANDARD SPECIFICATIONS.
- CONTRACTOR SHALL NOTIFY ALL APPROPRIATE UTILITY COMPANIES PRIOR TO PERFORMING WORK, AND SHALL OBTAIN ANY REQUIRED PERMITS OR APPROVALS PRIOR TO PERFORMING WORK.
- THREE (3) WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT MISS DIG UTILITY PROTECTION SERVICE (1-800-482-7171) TO VERIFY THE LOCATION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR THE PROTECTION OF ALL EXISTING UTILITIES DURING CONSTRUCTION. ALL UTILITIES DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED IN ACCORDANCE WITH THE UTILITY OWNERS REQUIREMENTS AT THE CONTRACTORS EXPENSE.
- PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL BE REQUIRED TO EXPOSE ALL EXISTING UTILITIES THAT CROSS THE PROPOSED CONSTRUCTION IN ORDER TO DETERMINE IF A VERTICAL CONFLICT EXISTS BETWEEN THE EXISTING UTILITY AND THE PROPOSED CONSTRUCTION. ALL LABOR REQUIRED TO UNCOVER THE EXISTING UTILITY SHALL BE CONSIDERED AS BEING INCLUDED IN THE COST OF CONSTRUCTION. THE CONTRACTOR SHALL VERIFY THE DEPTH AND HORIZONTAL LOCATIONS OF ALL UTILITIES IN SUFFICIENT TIME SUCH THAT ANY CONFLICTS CAN BE RESOLVED BEFORE WORK IS STARTED IN THAT PORTION OF THE PROJECT. THE CONTRACTOR SHALL ARRANGE FOR THE VARIOUS UTILITY OWNERS TO LOCATE, REMOVE AND REPLACE, OR RELOCATE THEIR FACILITIES. ALL COST FOR THIS WORK SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- PRIOR TO BIDDING THE CONTRACTOR AND SUBCONTRACTORS SHALL MAKE A PERSONAL INVESTIGATION OF THE SITE AND EXISTING SURFACE AND SUBSURFACE CONDITIONS. THE CONTRACTOR IS RESPONSIBLE TO ACQUAINT THEMSELVES WITH CONDITIONS OF THE WORK AREA. THE CONTRACTOR IS ADVISED TO DETERMINE THE SUBSURFACE SOIL AND GROUND WATER CONDITIONS. DEWATERING, IF DETERMINED NECESSARY BY THE CONTRACTOR, WILL BE INCIDENTAL TO THE COST OF CONSTRUCTION.
- ALL FILL ON THE PROPERTY SHALL BE ADEQUATELY COMPACTED BY ROLLING TO PRODUCE A SURFACE SATISFACTORY FOR THE PROPER INSTALLATION OF THE PROPOSED WORK. BEFORE COMMENCING PAVING WORK, THE PAVING CONTRACTOR MUST MAKE CERTAIN THAT THE SURFACES TO BE COVERED ARE IN PROPER CONDITION. SURFACES NOT ACCEPTABLE SHALL BE REPORTED TO THE OWNER IMMEDIATELY. THE APPLICATION OF PAVING MATERIALS SHALL BE HELD TO BE AN ACCEPTANCE OF THE SURFACES AND WORKING CONDITIONS BY THE PAVING CONTRACTOR WHO WILL BE HELD RESPONSIBLE FOR THE RESULTS. ANY UNSTABLE LIMESTONE BASE OR ASPHALT PAVEMENT MUST BE REMOVED AND REPLACED BY THE CONTRACTOR AT THEIR COST AS REQUIRED BY THE OWNER AND/OR ENGINEER.
- CONTRACTOR SHALL REMOVE ALL EXISTING STRUCTURES, TREES, BRUSH, FENCES, SLABS, DRIVEWAYS AND/OR SIDEWALKS THAT ARE AFFECTED BY THE PROPOSED WORK. VISIT SITE TO DETERMINE EXTENT OF REMOVAL WORK WHICH MAY OR MAY NOT BE SHOWN ON PLANS.
- THE CONTRACTOR MUST PROVIDE ALL MEASURES REQUIRED FOR TRAFFIC CONTROL DURING CONSTRUCTION AS REQUIRED BY CITY OF ALBION AND IN ACCORDANCE WITH ALL APPLICABLE REQUIREMENTS OF THE 2011 EDITION OF THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES AS AMENDED, AND SECTION 812 OF THE 2012 MDOT STANDARD SPECIFICATIONS FOR CONSTRUCTION. THE CONTRACTOR MUST PLACE PLASTIC DRUMS, TEMPORARY SIGNING, LIGHTED ARROWS, YELLOW CONSTRUCTION WARNING TAPE, AND ANY OTHER MEASURES REQUIRED TO PROTECT THE PUBLIC DURING CONSTRUCTION.
- ALL PARKING SPACE LINES, CROSSWALKS, STOP BARS, & PAINTED ISLANDS SHALL BE MARKED WITH 4" WHITE REFLECTIVE PAINT. ALL HANDICAP PARKING SPACE LINES SHALL BE MARKED WITH 4" BLUE REFLECTIVE PAINT. HANDICAP SYMBOLS SHALL BE BLUE REFLECTIVE PAINT. ALL MATERIALS SHALL COMPLY WITH SECTION 811 OF THE 2012 MDOT STANDARD SPECIFICATIONS FOR CONSTRUCTION.
- ALL TRAFFIC SIGNS SHALL CONFORM WITH THE REQUIREMENTS OF THE 2011 EDITION OF THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, AS AMENDED, AND SECTION 810 OF THE 2012 MDOT STANDARD SPECIFICATIONS FOR CONSTRUCTION.
- THE CONTRACTOR SHALL CONTROL NOISE, CARRY OUT A PROGRAM OF DUST CONTROL AND SHALL ALLOW NO ON-SITE BURNING, WITHOUT APPROVAL FROM LOCAL FIRE DEPARTMENT.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT ALL EXISTING UTILITIES AND PAVEMENT. THE CONTRACTOR MUST PROPERLY REPAIR ANY DAMAGE CAUSED BY THEIR OPERATIONS AT THEIR COST AS REQUIRED BY THE OWNER AND/OR ENGINEER.



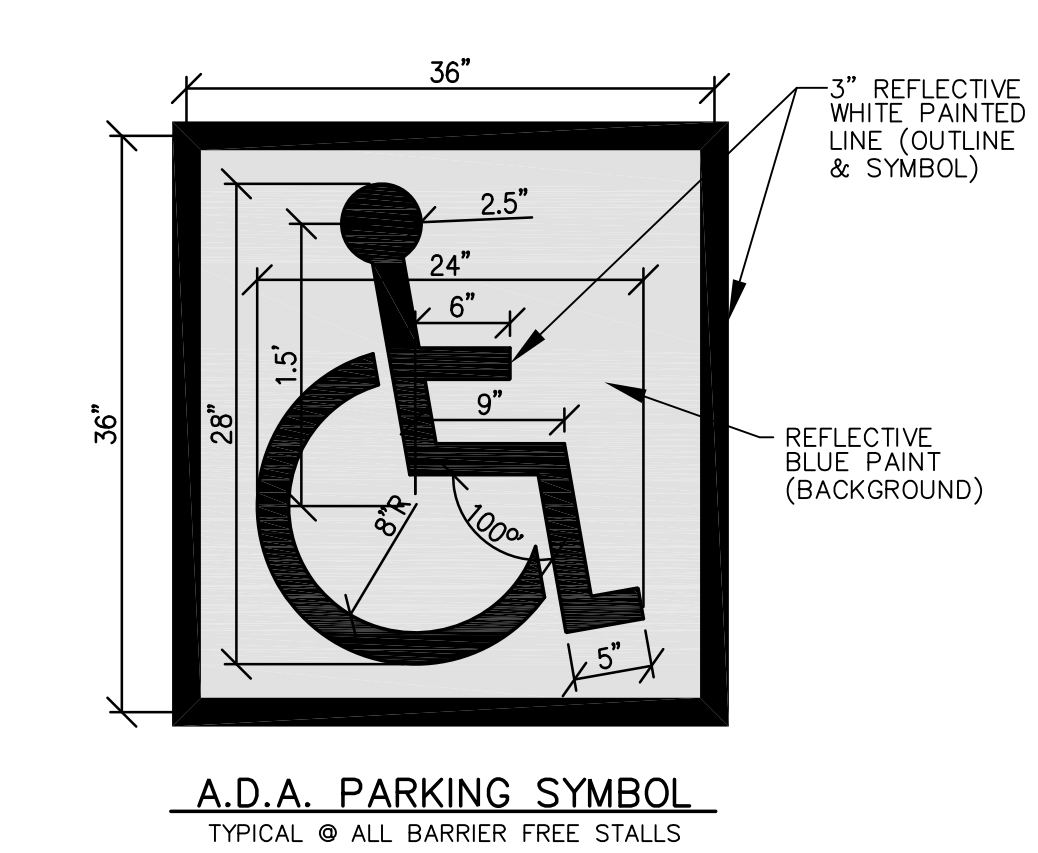
PARKING LOT UNDERDRAIN DETAILS SEE MDOT DETAIL R-80-E (SUBBASE UNDERDRAIN)



TRAFFIC FLOW ARROW DETAIL (NO SCALE)



A.D.A. PARKING SIGN TYPICAL @ ALL BARRIER FREE STALLS

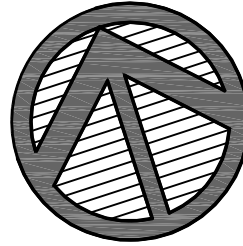


A.D.A. PARKING SYMBOL TYPICAL @ ALL BARRIER FREE STALLS

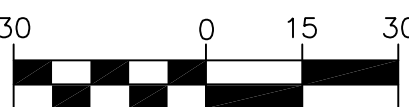
BNC - JOBS/091121/ANA/AMG/023 BURSTEIN - CONST DETL.DWG - C-5

SCALE: NONE	OWNER/DEVELOPER: ANA DREAM, LLC 12345 HOWLAND PARK DRIVE PLYMOUTH, MI 9 48179 CONTACT: HADI SAEED	PART OF WEST 1/2, SECTION 34, T2N-R4W, ALBION CITY, CALHOUN CO, MI	BM CC	BM CONSTRUCTION CONSULTANTS 2240 LAUDERDALE STREET FLINT, MICHIGAN 48532 PHONE: 810.423.5014 EMAIL: BMCONSTRUCTION@COMCAST.NET	STANDARD CONSTRUCTION DETAILS & NOTES FOR: PROPOSED MARIHUANA GROW FACILITY 923 BURSTEIN DRIVE, ALBION, MI 49224	REVISIONS	DRN. BY: J.R.B. 12.03.2021	SHEET NO: C-5
JOB NO. 091121						DSN BY: J.R.B.		
						CHK'D BY: J.B.M.		
						APPR BY: J.B.M.		

NORTH



GRAPHIC SCALE



(IN FEET)

1 inch = 30 ft.

LEGAL DESCRIPTION (AS PROVIDED):

PARCEL NO. 51-001-723-00
LOT 27, INDUSTRIAL PARK SUBDIVISION #2, AS RECORDED IN LIBER 23, PAGES 37-41, C.C.R. PART OF THE WEST HALF, SECTION 34, T2S-R4W, CITY OF ALBION, CALHOUN COUNTY, MICHIGAN

EXISTING ZONING INFORMATION:

ACCORDING TO THE CITY OF ALBION ZONING ORDINANCE THIS PROPERTY IS CURRENTLY ZONED M-2 (HEAVY INDUSTRIAL DISTRICT), AND IS SUBJECT TO THE FOLLOWING CONDITIONS:

- 1) MINIMUM LOT SIZE = NONE SPECIFIED
- 2) MINIMUM LOT WIDTH = NONE SPECIFIED
- 3) FRONT SETBACK = 10 FEET
- 4) SIDE SETBACK = 10 FEET, 20 FEET COMBINED
- 5) REAR SETBACK = 10 FEET
- 6) MAXIMUM LOT COVERAGE = NONE
- 7) MAXIMUM HEIGHT = 3 STORIES OR 36 FEET

TRAFFIC IMPACT:

A TRAFFIC STUDY WAS NOT CONDUCTED BY THIS FIRM FOR THIS PROJECT.

- FOR MEDICAL MARIJUANA ESTABLISHMENTS:
- 1) MINIMUM LOT AREA = NONE SPECIFIED
 - 2) FRONT SETBACK = 50 FEET
 - 3) SIDE SETBACK = 20 FEET
 - 4) REAR SETBACK = 30 FEET
 - 5) STRUCTURE HEIGHT = 3 STORIES OR 50 FEET
 - 6) PER AP STANDARDS

FLOOD PLAIN NOTE:

THIS PROPERTY LIES IN ZONE "X" (AREAS OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) OF THE FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 280250289C WHICH BEARS AN EFFECTIVE DATE OF APRIL 4, 2011 AND IS NOT IN A SPECIAL FLOOD HAZARD AREA.

WETLAND NOTE:

ACCORDING TO THE NATIONAL WETLAND INVENTORY MAPS OF MICHIGAN, THERE ARE WETLAND AREAS ON THIS PROPERTY.

SEWER & WATER NOTES:

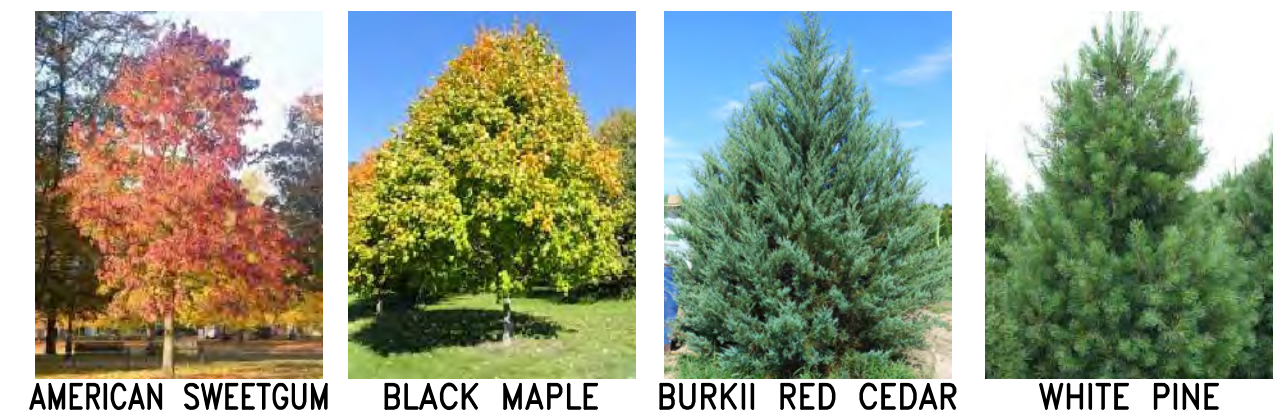
THE SITE IS CURRENTLY SERVED BY PUBLIC WATER AND PUBLIC SANITARY SEWER. IT IS NOT ANTICIPATED THAT THERE WILL BE ANY SUBSTANTIAL INCREASE IN OIL, OIL, SMOKE, FLAMES, NOISE, OR LIGHTS. THE CONTRACTOR WILL BE REQUIRED TO COMPLY WITH ANY APPLICABLE ZONING ORDINANCE REQUIREMENTS REGARDING THESE ITEMS. THE ON-SITE CONSTRUCTION ACTIVITIES WILL INCLUDE THE USE OF EQUIPMENT SUCH AS A BACK HOE, DOZER, TRUCKS, CONCRETE MIXER, GENERATORS, COMPRESSORS, POWER SAWS, AND ELECTRIC DRILLS, ETC. THE AVERAGE SOUND LEVEL WILL BE LESS THAN THE OSHA (AT WORKERS EAR) LEVEL OF 90.

SITE LANDSCAPING PLAN

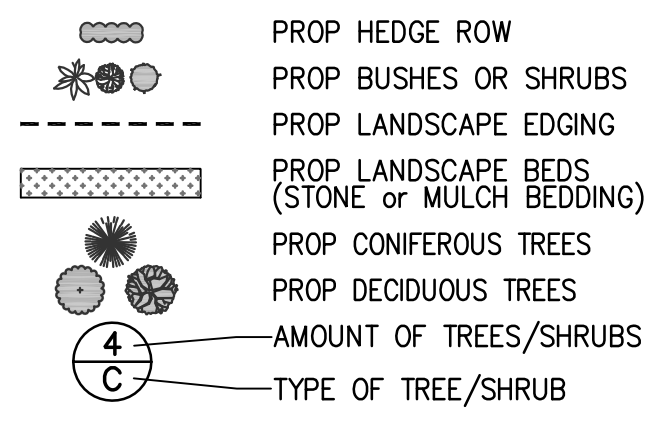
SHRUBS, BUSHES, & PERANNIALS



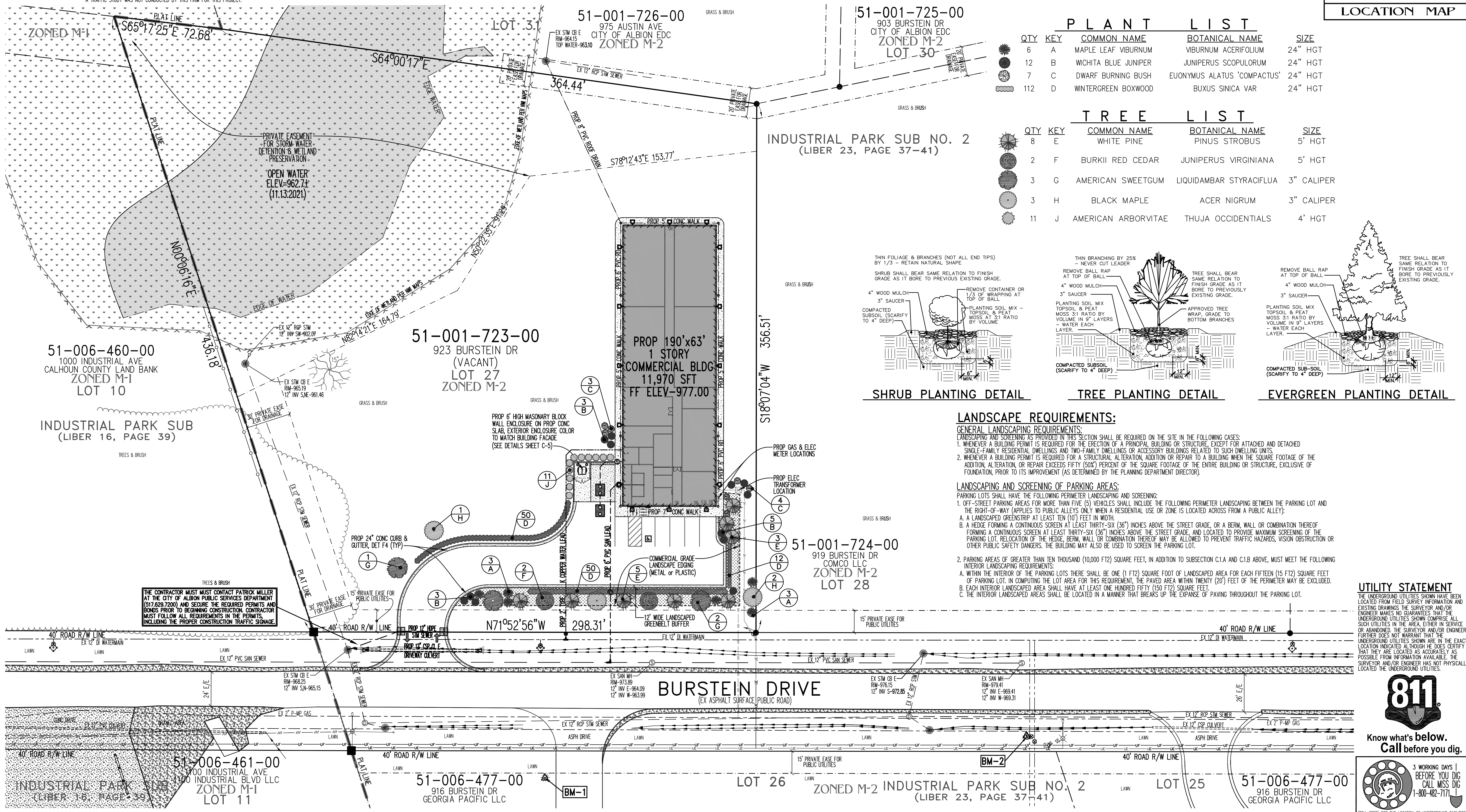
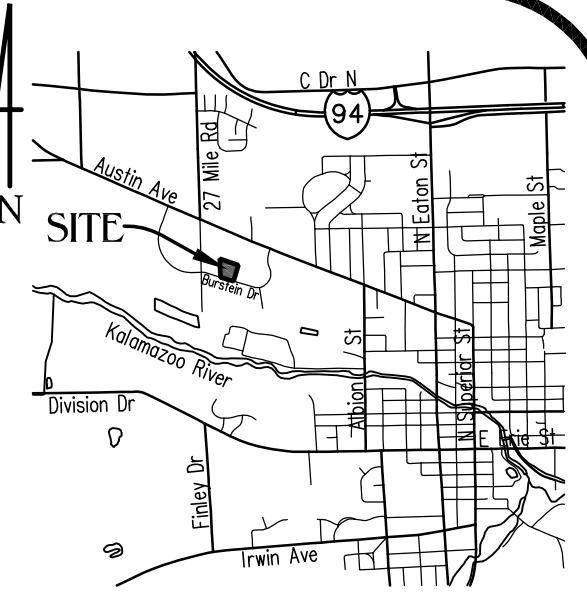
TREE TYPES



LEGEND



LOCATION MAP

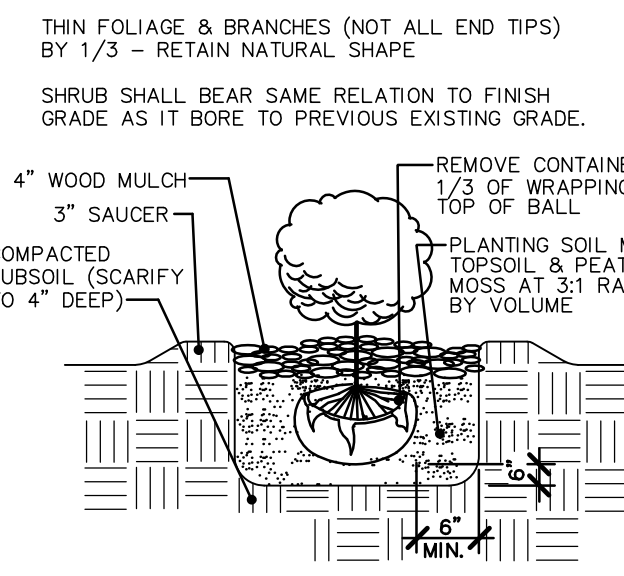


PLANT LIST

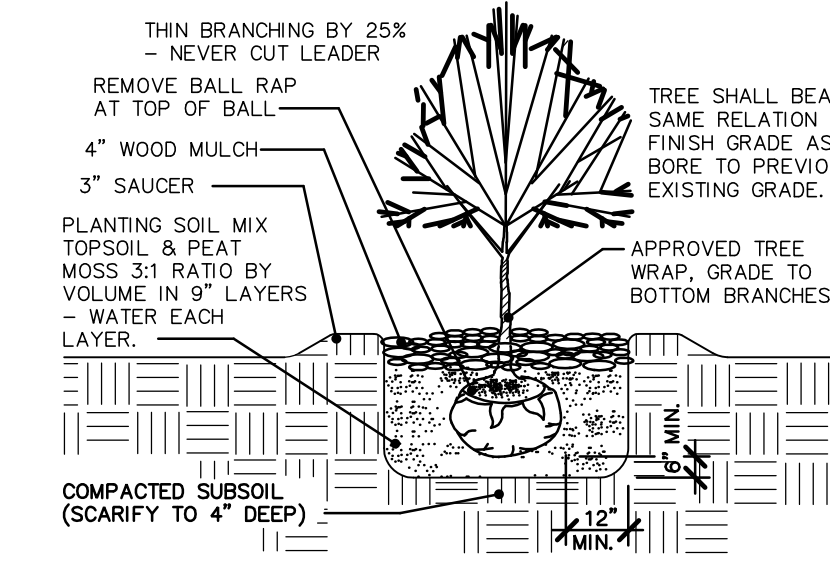
QTY	KEY	COMMON NAME	BOTANICAL NAME	SIZE
6	A	MAPLE LEAF VIBURNUM	VIBURNUM ACERIFOLIUM	24" HGT
12	B	WICHITA BLUE JUNIPER	JUNIPERUS SCOPULORUM	24" HGT
7	C	DWARF BURNING BUSH	EUONYMUS ALATUS 'COMPACTUS'	24" HGT
112	D	WINTERGREEN BOXWOOD	BUXUS SINICA VAR	24" HGT

TREE LIST

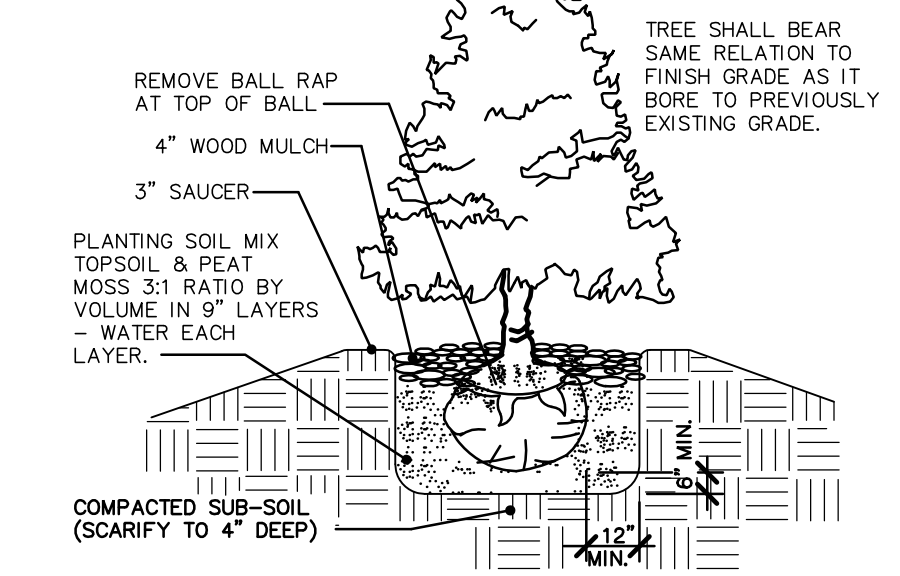
QTY	KEY	COMMON NAME	BOTANICAL NAME	SIZE
8	E	WHITE PINE	PINUS STROBUS	5' HGT
2	F	BURKII RED CEDAR	JUNIPERUS VIRGINIANA	5' HGT
3	G	AMERICAN SWEETGUM	LIQUIDAMBAR STYRACIFLUA	3" CALIPER
3	H	BLACK MAPLE	ACER NIGRUM	3" CALIPER
11	J	AMERICAN ARBORVITAE	THUJA OCCIDENTALS	4' HGT



SHRUB PLANTING DETAIL



TREE PLANTING DETAIL



EVERGREEN PLANTING DETAIL

LANDSCAPE REQUIREMENTS:

- GENERAL LANDSCAPING REQUIREMENTS:**
- WHENEVER A BUILDING PERMIT IS REQUIRED FOR THE ERECTION OF A PRINCIPAL BUILDING OR STRUCTURE, EXCEPT FOR ATTACHED AND DETACHED SINGLE-FAMILY RESIDENTIAL DWELLINGS AND TWO-FAMILY DWELLINGS OR ACCESSORY BUILDINGS RELATED TO SUCH DWELLING UNITS.
 - WHENEVER A BUILDING PERMIT IS REQUIRED FOR A STRUCTURAL ALTERATION, ADDITION OR REPAIR TO A BUILDING WHEN THE SQUARE FOOTAGE OF THE ADDITION, ALTERATION OR REPAIR EXCEEDS FIFTY (50%) PERCENT OF THE SQUARE FOOTAGE OF THE ENTIRE BUILDING OR STRUCTURE, EXCLUSIVE OF FOUNDATION, PRIOR TO ITS IMPROVEMENT (AS DETERMINED BY THE PLANNING DEPARTMENT DIRECTOR).
- LANDSCAPING AND SCREENING OF PARKING AREAS:**
- PARKING LOTS SHALL HAVE THE FOLLOWING PERIMETER LANDSCAPING AND SCREENING:
- OFF-STREET PARKING AREAS FOR MORE THAN FIVE (5) VEHICLES SHALL INCLUDE THE FOLLOWING PERIMETER LANDSCAPING BETWEEN THE PARKING LOT AND THE RIGHT-OF-WAY (APPLIES TO PUBLIC ALLEYS OR WHEN A RESIDENTIAL USE OR ZONE IS LOCATED ACROSS FROM A PUBLIC ALLEY):
 - A LANDSCAPED GREENSTRIP AT LEAST TEN (10') FEET IN WIDTH.
 - A HEDGE FORMING A CONTINUOUS SCREEN AT LEAST THIRTY-SIX (36") INCHES ABOVE THE STREET GRADE, OR A BERM, WALL OR COMBINATION THEREOF FORMING A CONTINUOUS SCREEN AT LEAST THIRTY-SIX (36") INCHES ABOVE THE STREET GRADE, AND LOCATED TO PROVIDE MAXIMUM SCREENING OF THE PARKING LOT. RELOCATION OF THE HEDGE, BERM, WALL OR COMBINATION THEREOF MAY BE ALLOWED TO PREVENT TRAFFIC HAZARDS, VISION OBSTRUCTION OR OTHER PUBLIC SAFETY DANGERS. THE BUILDING MAY ALSO BE USED TO SCREEN THE PARKING LOT.
 - PARKING AREAS OF GREATER THAN TEN THOUSAND (10,000 FT²) SQUARE FEET, IN ADDITION TO SUBSECTION C.1.A AND C.1.B ABOVE, MUST MEET THE FOLLOWING INTERIOR LANDSCAPING REQUIREMENTS:
 - WITHIN THE INTERIOR OF THE PARKING LOTS THERE SHALL BE ONE (1 FT²) SQUARE FOOT OF LANDSCAPED AREA FOR EACH FIFTEEN (15 FT²) SQUARE FEET OF PARKING LOT. IN COMPUTING THE LOT AREA FOR THIS REQUIREMENT, THE PAVED AREA WITHIN TWENTY (20') FEET OF THE PERIMETER MAY BE EXCLUDED.
 - EACH INTERIOR LANDSCAPED AREA SHALL HAVE AT LEAST ONE HUNDRED FIFTY (150 FT²) SQUARE FEET.
 - THE INTERIOR LANDSCAPED AREAS SHALL BE LOCATED IN A MANNER THAT BREAKS UP THE EXPANSE OF PAVING THROUGHOUT THE PARKING LOT.

UTILITY STATEMENT

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR AND/OR ENGINEER MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR AND/OR ENGINEER FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR AND/OR ENGINEER HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.



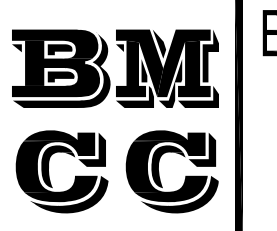
Know what's below. Call before you dig.



SCALE: 1"=30'
JOB NO. 091121

OWNER/DEVELOPER:
ANA DREAM, LLC
12345 HOWLAND PARK DRIVE
PLYMOUTH, MI 48179
CONTACT: HADI SAEED

PART OF WEST 1/2,
SECTION 34, T2N-R4W,
ALBION CITY, CALHOUN CO, MI



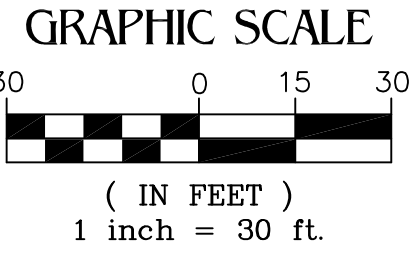
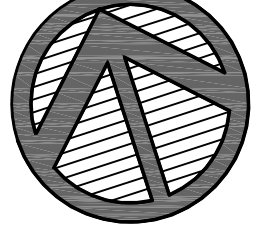
BM CONSTRUCTION CONSULTANTS
2240 LAUDERDALE STREET
FLINT, MICHIGAN 48532
PHONE: 810.423.5014
EMAIL: BMCONSTRUCTION@COMCAST.NET

SITE LANDSCAPING PLAN FOR:
PROPOSED MARIJUANA GROW FACILITY
923 BURSTEIN DRIVE, ALBION, MI 49224

REVISIONS	DRN. BY:	J.R.B.	12.03.2021	SHEET NO:
01.15.2022	DSN BY:	J.R.B.	"	C-6
	CHK'D BY:	J.B.M.	"	
	APPR BY:	J.B.M.	"	

BMCC-0055/091121/ANA DREAM/923 BURSTEIN - LANDSCAPE PLANNING - C-6

NORTH



LEGAL DESCRIPTION (AS PROVIDED):

PARCEL NO. 51-001-723-00
LOT 27, INDUSTRIAL PARK SUBDIVISION #2, AS RECORDED IN LIBER 23, PAGES 37-41, C.C.R. PART OF THE WEST HALF, SECTION 34, T2S-R4W, CITY OF ALBION, CALHOUN COUNTY, MICHIGAN

EXISTING ZONING INFORMATION:

ACCORDING TO THE CITY OF ALBION ZONING ORDINANCE THIS PROPERTY IS CURRENTLY ZONED M-2 (HEAVY INDUSTRIAL DISTRICT), AND IS SUBJECT TO THE FOLLOWING CONDITIONS:

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- 2) MINIMUM LOT WIDTH = NONE SPECIFIED
- 3) FRONT SETBACK = 10 FEET
- 4) SIDE SETBACK = 10 FEET, 20 FEET COMBINED
- 5) REAR SETBACK = 10 FEET
- 6) MAXIMUM LOT COVERAGE = NONE
- 7) MAXIMUM HEIGHT = 3 STORIES OR 36 FEET

TRAFFIC IMPACT:

A TRAFFIC STUDY WAS NOT CONDUCTED BY THIS FIRM FOR THIS PROJECT.

- FOR MEDICAL MARIJUANA ESTABLISHMENTS:
- 1) MINIMUM LOT AREA = NONE SPECIFIED
 - 2) FRONT SETBACK = 50 FEET
 - 3) SIDE SETBACK = 20 FEET
 - 4) REAR SETBACK = 30 FEET
 - 5) STRUCTURE HEIGHT = 3 STORIES OR 50 FEET
 - 6) (PER AIP STANDARDS)

FLOOD PLAIN NOTE:

THIS PROPERTY LIES IN ZONE "X" (AREAS OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) OF THE FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 2602502089C WHICH BEARS AN EFFECTIVE DATE OF APRIL 4, 2011 AND IS NOT IN A SPECIAL FLOOD HAZARD AREA.

WETLAND NOTE:

ACCORDING TO THE NATIONAL WETLAND INVENTORY MAPS OF MICHIGAN, THERE ARE WETLAND AREAS ON THIS PROPERTY.

SEWER & WATER NOTES:

THE SITE IS CURRENTLY SERVICED BY PUBLIC WATER AND PUBLIC SANITARY SEWER. IT IS NOT ANTICIPATED THAT THERE WILL BE ANY SUBSTANTIAL INCREASE IN ODOUR, SMOKE, FUMES, NOISE, OR LIGHTS. THE CONTRACTOR WILL BE REQUIRED TO COMPLY WITH ANY APPLICABLE ZONING ORDINANCE REQUIREMENTS REGARDING THESE ITEMS. THE ON-SITE CONSTRUCTION ACTIVITIES WILL INCLUDE THE USE OF EQUIPMENT SUCH AS A BACK HOE, DOZER, TRUCKS, CONCRETE MIXER, GENERATORS, COMPRESSORS, POWER SAWS, AND ELECTRIC DRILLS, ETC. THE AVERAGE SOUND LEVEL WILL BE LESS THAN THE OSHA (AT WORKERS EAR) LEVEL OF 90.

SITE LIGHTING PLAN

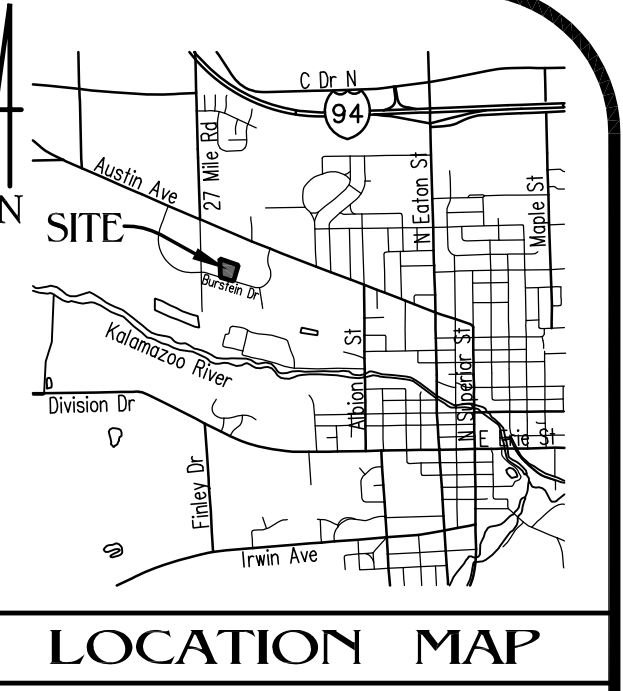
LIGHTING STATEMENTS:

BASED ON THE INFORMATION PROVIDED, ALL DIMENSIONS AND LUMINAIRE LOCATIONS SHOWN REPRESENT RECOMMENDED POSITIONS. THE ENGINEER AND/OR ARCHITECT MUST DETERMINE THE APPLICABILITY OF THE LAYOUT TO EXISTING OR FUTURE FIELD CONDITIONS.

THIS LIGHTING PLAN REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH THE ILLUMINATING ENGINEERING SOCIETY (IES) APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRES MAY VARY DUE TO CHANGES IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS/LED'S AND OTHER VARIABLE FIELD CONDITIONS. CALCULATIONS DO NOT INCLUDE OBSTRUCTIONS SUCH AS BUILDINGS, CURBS, LANDSCAPING, OR ANY OTHER ARCHITECTURAL ELEMENTS UNLESS NOTED.

LEGEND

EX ROAD SIGNS	B/B	BACK TO BACK
EX UTILITY & LIGHT POLE	EX	EXISTING
EX OVERHEAD POWERLINES	17	PROP PARKING SPACE NO.
EX STREET LIGHT POLE	18	PROP BARRIER FREE (ADA) PARKING
EX PEDESTAL	19	PROP PAINTED TRAFFIC FLOW ARROW
EX BUILDING LINE	20	PROP WALL PACK LIGHT
EX GAS LINE	21	PROP CONCRETE AREAS
EX GAS/ELEC METER	22	PROP BUILDING AREA
EX STORM SEWER	23	PROP ASPHALT PARKING PAVEMENT
EX STORM MANHOLE	24	PROP HEAVY DUTY PAVEMENT
EX STORM CATCHBASINS	25	PROP STORM CATCHBASIN
EX SANITARY SEWER	26	PROP STORM DRAIN
EX SANITARY MANHOLE	27	PROP ROOF DRAINS
EX SANITARY CLEANOUT	28	PROP ROOF DRAIN CLEANOUT
EX WATERMAIN	29	PROP SANITARY CLEANOUT
EX FIRE HYDRANT	30	PROP SANITARY SEWER LEAD
EX WATER MANHOLE	31	PROP WATER SHUT-OFF VALVE
EX GATEVALVE	32	PROP WATER LEAD LINE
EX CHAIN LINK FENCE	33	PROP ELEC TRANSFORMER & BURIED LINE
EX WOOD FENCE	34	PROP GAS METER & BURIED LINE
EX TREE	35	



LEGEND

- PROP 10' HIGH WALL PACK LIGHT (TYPE A)
- PROP 10' HIGH WALL PACK LIGHT (TYPE B)
- PROP Fc (FOOTCANDLE) GRID POINT
- PROP LIGHT FIXTURE TYPE

Luminaire Schedule

Symbol	Qty	Label	Arrangement	Description	LLF	Arr Lum	Arr Watts
⬢	13	A	SINGLE	LXT-WM2-PLD-II-43 WATT LED - 10' A.F.G.	1.000	6,281	42.7
⬢	3	B	SINGLE	LXT-WM2-PLD-II-65 WATT LED - 10' A.F.G.	1.000	9,540	64.7

Calculation Summary

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
OVERALL SITE POINTS AT GRADE 6'x6'	ILLUMINATION	Fc	0.29	17.3	0.0	N.A.	N.A.
ALONG PROPERTY LINE PERIMETER	ILLUMINATION	Fc	0.09	1.6	0.0	N.A.	N.A.

SITE LIGHTING NOTES:

- ALL OUTDOOR LIGHTING IN ALL USE DISTRICTS OTHER THAN RESIDENTIAL DISTRICTS SHALL BE SHIELDED SO THE SURFACE OF THE SOURCE OF THE LIGHT SHALL NOT BE VISIBLE FROM ALL ADJACENT RESIDENTIAL DISTRICTS, ADJACENT RESIDENCES AND PUBLIC RIGHTS-OF-WAY.
- LIGHT FIXTURES WERE DESIGNED AND SHIELDED SO THAT LIGHT IS DIRECTED ONTO THE PARKING AREA AND DIRECTED AWAY FROM ADJACENT PROPERTY AND TRAFFIC.
- THE DESIGN AND STYLE OF FIXTURES (COLOR, SHAPE, STYLE, AND MATERIALS) SHALL MATCH OR COMPLEMENT THE STYLE AND MATERIALS OF THE BUILDINGS SERVED.
- ALL LIGHTING EXCEPT SECURITY LIGHTING SHALL BE ON A TIME-CLOCK OR PHOTO-SENSOR SYSTEM, AS APPROVED BY CITY OF ALBION.
- PARKING LOTS SHALL BE ILLUMINATED WITH A LIGHT-EMITTING DIODE (LED) OR OTHER CITY APPROVED LIGHTING SYSTEM. THE LIGHTING SYSTEM SHALL PROVIDE NOT LESS THAN ONE FOOTCANDLE OVERALL AVERAGE ILLUMINATION WITH A MINIMUM OF 0.5 FOOTCANDLES ON THE PARKING SURFACE.
- LIGHTING STANDARDS IN PARKING LOTS IN AND ADJACENT TO RESIDENTIAL ZONES SHALL NOT EXCEED SIXTEEN FEET (15') IN HEIGHT AS MEASURED FROM THE ADJACENT GRADE TO THE TOP OF THE LIGHT FIXTURE. THE TOTAL LIGHT CUTOFF ANGLE MAY BE NO GREATER THAN 85 DEGREES. ILLUMINATION SHALL NOT BE OF A FLASHING, MOVING OR INTERMITTENT TYPE. ALL ILLUMINATION SHALL BE CONSTANT IN INTENSITY AND COLOR AT ALL TIMES WHEN IN USE.
- PARKING LOT LIGHTS MUST BE FULL CUT OFF TYPE FIXTURES AND LAMPS MUST BE SHIELDED TO PREVENT LIGHT TRESPASS OR GLARE. A WHITE LIGHT SOURCE SHOULD BE USED FOR THE WALL MOUNTED LIGHTS, SUCH AS INCANDESCENT, METAL HALIDE, OR OTHER LAMPS WITH A COLOR RENDERING INDEX OF AT LEAST 70. MAXIMUM LIGHT LEVELS MUST BE LESS THAN OR EQUAL TO 2.0 FOOTCANDLE BEYOND A PROPERTY LINE, ADJACENT TO COMMERCIAL OR INDUSTRIAL.
- SEE THIS SHEET FOR LIGHT FIXTURE DETAILS. THE BUILDING WALLPACK LIGHTS SHALL BE INSTALLED AT 10 FEET ABOVE GRADE, AS NOTED. THE CONTRACTOR SHALL CONTACT MISS DIG 72 HOURS PRIOR TO CONSTRUCTION TO VERIFY IF ANY UNDER GROUND UTILITIES WILL BE IN DIRECT CONFLICT.



LXT-WM2-PLD-II-43 WATT LED LIGHT FIXTURE ON BUILDING TYPE A - 10' FROM FINISH GRADE



LXT-WM2-PLD-II-65 WATT LED LIGHT FIXTURE ON BUILDING TYPE B - 10' FROM FINISH GRADE

UTILITY STATEMENT

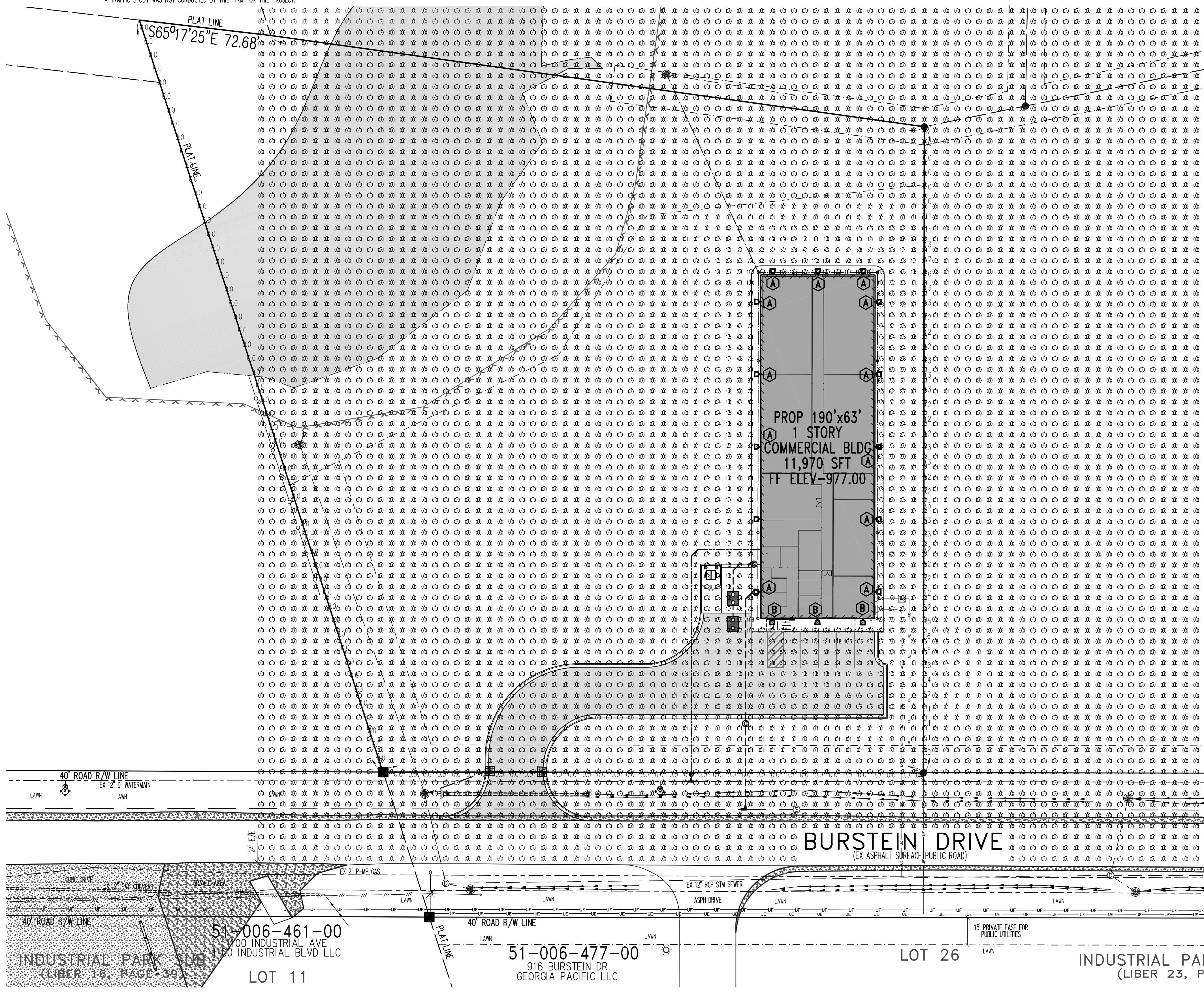
THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS THE SURVEYOR AND/OR ENGINEER MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR AND/OR ENGINEER FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR AND/OR ENGINEER HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.



Know what's below. Call before you dig.

3 WORKING DAYS BEFORE YOU DIG
CALL MISS DIG
1-800-482-7171

(TOOL FREE) FOR THE LOCATION OF UNDERGROUND FACILITIES



BMCC-DGS/091121/ANA/AMG/023 BURSTEIN - LIGHTING PLANING - C-7

SCALE: 1"=30'
JOB NO. 091121

OWNER/DEVELOPER:
ANA DREAM, LLC
12345 HOWLAND PARK DRIVE
PLYMOUTH, MI 48179
CONTACT: HADI SAEED

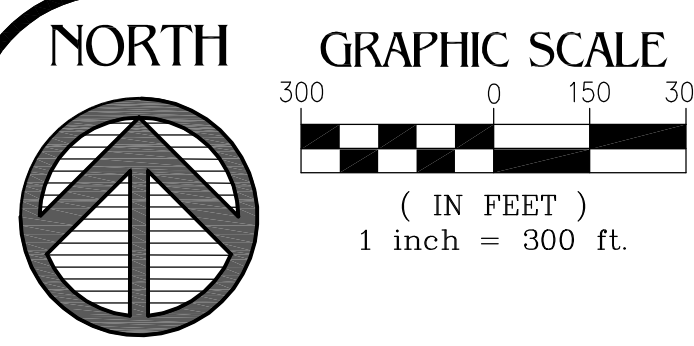
PART OF WEST 1/2,
SECTION 34, T2N-R4W,
ALBION CITY, CALHOUN CO, MI



BM CONSTRUCTION CONSULTANTS
2240 LAUDERDALE STREET
FLINT, MICHIGAN 48532
PHONE: 810.423.5014
EMAIL: BMCONSTRUCTION@COMCAST.NET

**SITE LIGHTING PLAN FOR:
PROPOSED MARIJUANA GROW FACILITY**
923 BURSTEIN DRIVE, ALBION, MI 49224

REVISIONS 01.15.2022	DRN. BY: DSN BY:	J.R.B. J.R.B.	12.03.2021 "	SHEET NO: C-7
	CHK'D BY:	J.B.M.	"	
	APPR BY:	J.B.M.	"	



LEGAL DESCRIPTION (AS PROVIDED):
PARCEL NO. 51-001-723-00
 LOT 27, INDUSTRIAL PARK SUBDIVISION #2, AS RECORDED IN LIBER 23, PAGES 37-41, C.C.R. PART OF THE WEST HALF, SECTION 34, T2S-R4W, CITY OF ALBION, CALHOUN COUNTY, MICHIGAN

**PROXIMITY MAP OF ADJACENT PROPERTY ZONING FOR:
 PROPOSED MARIHUANA GROW FACILITY
 923 BURSTEIN DRIVE, ALBION, MI 49224**

PURPOSE OF THIS PLAN:
 THE PURPOSE OF THIS DRAWING IS TO SHOW THE DISTANCE/LOCATION (WITHIN 500 FEET) TO THE NEAREST PUBLIC OR PRIVATE ELEMENTARY, LICENSED CHILD CARE FACILITY, VOCATIONAL OR SECONDARY SCHOOL, (WITHIN 250 TO 500 FEET) FROM A PUBLICLY OWNED PARK OR PLAYGROUND, A CHURCH OR PLACE OF WORSHIP, AND/OR RESIDENTIAL ZONING DISTRICT. THE DISTANCE SHALL BE MEASURED AS THE DISTANCE ALONG A STRAIGHT LINE BEGINNING AT THE NEAREST POINT TO THE BUFFERED USE, ON THE PARCEL LINE OF THE PARCEL UPON WHICH A MARIHUANA GROW CENTER IS PROPOSED, TO THE NEAREST POINT ON THE PARCEL LINE OF THE PARCEL UPON WHICH THE BUFFERED USE IS LOCATED.

SEC. 22-207. - MINIMUM OPERATIONAL STANDARDS OF GROWER FACILITY.

- The following minimum standards for a grower facility shall apply:
- (a) The grower facility shall comply at all times and in all circumstances with the Michigan Medical Marijuana Act, the Medical Marijuana Facilities Licensing Act, and the general rules of the department of licensing and regulatory affairs, as they may be amended from time to time.
 - (b) The premises shall be open for inspection upon probable cause that a violation of this chapter has occurred during the stated hours of operation and at such other times as anyone is present on the premises.
 - (c) Any grower facility shall maintain a log book and/or database indicating the number of marijuana plants. Each marijuana plant will be tagged as required by the MMA and Medical Marijuana Facilities Licensing Act.
 - (d) All marijuana shall be contained within an enclosed locked facility. All operations shall be conducted within the facility so as not to be exposed to the public and all operations are expressed prohibited from being conducted outside the facility or outdoors.
 - (e) All necessary building, electrical, plumbing and mechanical permits shall be obtained for any portion of the structure in which electrical wiring, lighting and/or watering devices that support the grower, growing or harvesting of marijuana are located.
 - (f) That portion of the structure where the storage of any chemicals such as herbicides, pesticides, and fertilizers shall be subject to inspection and approval by the Albion Department of Public Safety to ensure compliance with the Michigan Fire Protection Code.
 - (g) The dispensing of marijuana at the grower facility shall be prohibited.
 - (h) All persons working in direct contact with marijuana shall conform to hygienic practices while on duty, including but not limited to: 1. Maintaining adequate personal cleanliness; 2. Washing hands thoroughly in adequate hand washing areas before starting work and at any other time when the hands may have become soiled or contaminated; 3. Refraining from having direct contact with marijuana if the person has or may have an illness, open lesion, including boils, sores or infected wounds, or any other abnormal source of microbial contamination, until the condition is corrected.
 - (i) Litter and waste shall be properly removed and the operating systems for waste disposal are maintained in an adequate manner so that they do not constitute a source of contamination in areas where marijuana is exposed.
 - (j) Floors, walls and ceilings shall be constructed in such a manner that they may be adequately cleaned and kept clean and in good repair.
 - (k) There shall be adequate screening or other protection against the entry of pests. Rubbish shall be disposed of so as to minimize the development of odor and minimize the potential for the waste development of odor and minimize the potential for waste becoming an attractant, harborage or breeding places for pests.
 - (l) Any buildings, fixtures and other facilities shall be maintained in a sanitary condition.
 - (m) Each grower facility shall provide its occupants with adequate and readily accessible toilet facilities that are maintained in a sanitary condition and good repair.
 - (n) Marijuana that can support the rapid growth of undesirable microorganisms shall be held in a manner that prevents the growth of these microorganisms.
 - (o) The grower facility shall be free from infestation by insects, rodents, birds, or vermin of any kind.
 - (p) Exterior signage or advertising identifying the facility as a grower facility shall be prohibited.
 - (q) Odor control - No person, tenant, occupant, or property owner shall permit the emission of marijuana odor from any source to result in detectable odors that leave the premises upon which they originated and interfere with the reasonable and comfortable use and enjoyment of another's property. Whether or not a marijuana odor emission interferes with the reasonable and comfortable use and enjoyment of a property shall be measured against the objective standards of a reasonable person of normal sensitivity. A grower or processor shall install and maintain in operable condition a system which precludes the emission of marijuana odor from the premises.
 - (1) A plan for ventilation of the medical marijuana facility that describes the ventilation systems that will be used to prevent any odor of medical marijuana off the premises of the business. For medical marijuana facilities that grow medical marijuana plants, such plan shall also include all ventilation systems used to control the environment for the plants and describe how such systems operate with the systems preventing any odor leaving the premises. For medical marijuana infused products, such plan shall also include all ventilation systems used to mitigate noxious gases or other fumes used or created as part of the production process.
 - (2) Cultivated, produced, or distributed by a medical marijuana business. A medical marijuana business shall be ventilated so that the odor of marijuana cannot be detected by a person with a normal sense of smell at the exterior of the medical marijuana business or at any adjoining use or property.
 - (3) Sufficient measures and means of preventing smoke, odor, debris, dust, fluids and other substances from exiting a marijuana commercial entity must be provided at all times. In the event that any odors, debris, dust, fluids or other substances exit a marijuana commercial entity, the owner of the subject premises and the licensee shall be jointly and severally liable for such conditions and shall be responsible for immediate, full clean-up and correction of such condition. The licensee shall properly dispose of all such materials, items and other substances in a safe, sanitary and secure manner and in accordance with all applicable federal, state and local laws and regulations.

SEC. 22-211. - LOCATION OF GROWER FACILITY, SAFETY COMPLIANCE FACILITY, PROCESSOR FACILITY, PROVISIONING CENTER, AND SECURE TRANSPORTER.

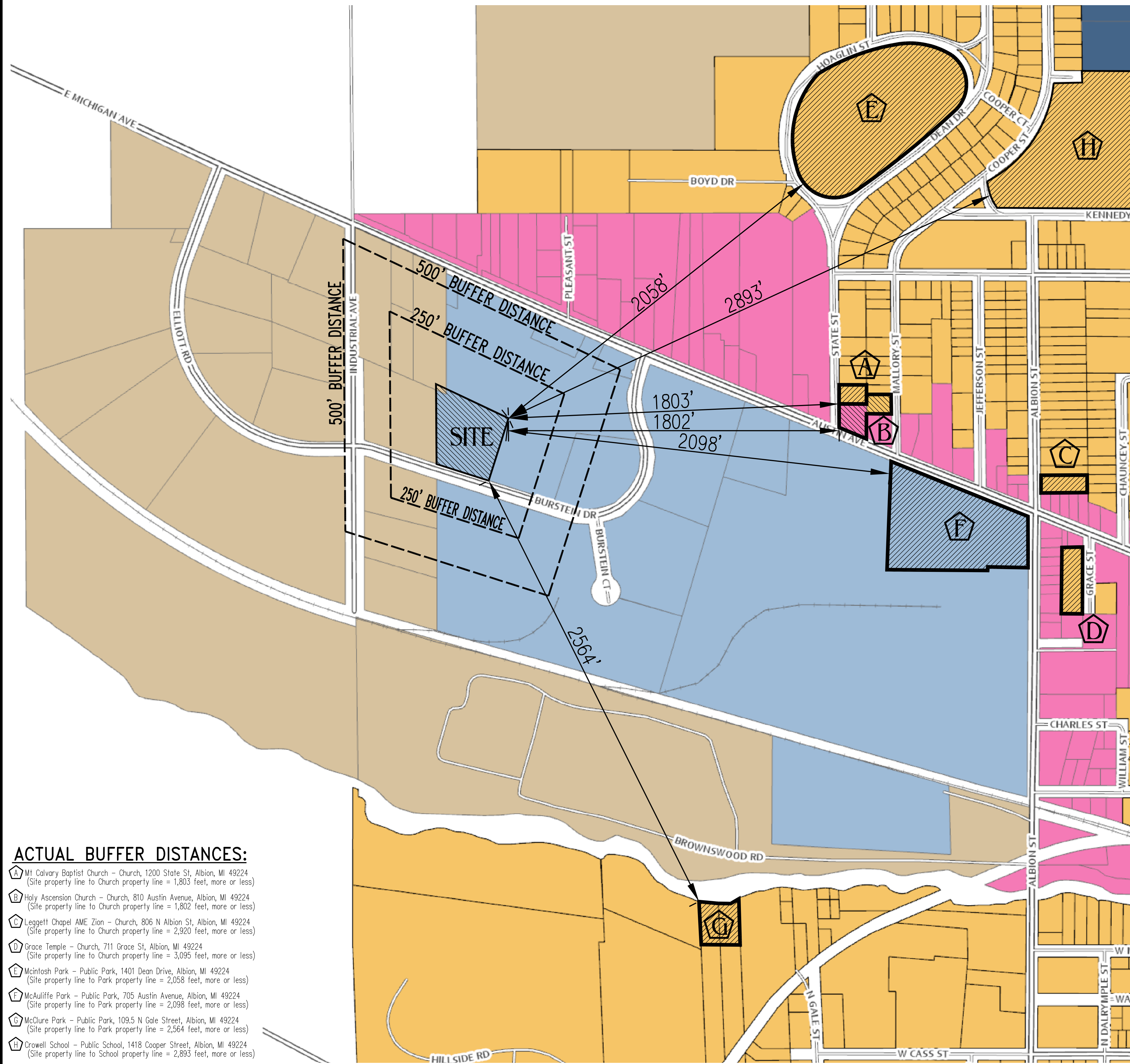
- (a) No grower facility, safety compliance facility, processor facility, provisioning center or secure transporter shall be located within 500 feet of real property comprising a public or private elementary, licensed child care facility, vocational or secondary school.
 - (b) No grower facility, safety compliance facility, processor facility, provisioning center, or secure transporter shall be located within 250 feet of real property comprising a public park. Any grower facility, safety compliance facility, processor facility or secure transporter located more than 250 feet but less than 500 feet of real property comprising a public park shall be surrounded by a fence as required by city ordinance. The fence requirement contained herein may be waived if the city deems a fence to be impractical with the location of the facility and if the facility has other adequate security measures to ensure the security of the premises and safety of the public.
 - (c) No grower facility, safety compliance facility, processor facility, provisioning center, or secure transporter shall be located within 250 feet of real property comprising a place of religious worship. Any grower facility, safety compliance facility, processor facility or secure transporter located more than 250 feet but less than 500 feet of real property comprising a place of religious worship shall be surrounded by a fence as required by city ordinance. The fence requirement contained herein may be waived if the city deems a fence to be impractical with the location of the facility and if the facility has other adequate security measures to ensure the security of the premises and safety of the public.
 - (d) No provisioning center shall be located within 250 feet of any residential zoning district of the city. Any provisioning center located more than 250 feet but less than 500 feet of any residential zoning district shall be surrounded by a fence as required by ordinance. The fence requirement contained herein may be waived if the city deems a fence to be impractical with the location of the facility and if the facility has other adequate security measures to ensure the security of the premises and safety of the public.
- All grower facilities shall be limited to the M-1-P, M-2, and M-2-P zoning districts. Safety compliance facilities shall be limited to the B-3, M-1-P, M-2, and M-2-P zoning districts. Secure transporters shall be limited to the B-3, M-1-P, M-2, and M-2-P zoning districts. Processor facilities and provisioning centers shall be limited to B-3, M-1-P, M-2, and M-2-P zoning districts.

ADDITIONAL NOTES AND SITE DATA:

- THERE ARE NO EXISTING PUBLIC SCHOOL PROPERTIES OR LICENSED DAY CARE FACILITIES WITHIN 500 FEET OF THE BOUNDARIES OF THE PROPOSED REGULATED USE SITE.
- THERE ARE NO EXISTING PUBLIC PARKS OR PUBLIC PLAYGROUNDS WITHIN 500 FEET OF THE BOUNDARIES OF THE PROPOSED REGULATED USE SITE.
- THERE ARE NO PLACES OF WORSHIP WITHIN 500 FEET OF THE BOUNDARIES OF THE PROPOSED REGULATED USE SITE.
- THERE ARE NO RESIDENTIALLY ZONED PROPERTIES WITHIN 500 FEET OF THE BOUNDARIES OF THE PROPOSED REGULATED USE SITE.

ZONING

- R-1
- R-2
- MU
- CBD
- C
- CDD
- M-1
- M-2



ACTUAL BUFFER DISTANCES:

- A Mt. Calvary Baptist Church - Church, 1200 State St, Albion, MI 49224 (Site property line to Church property line = 1,803 feet, more or less)
- B Holy Ascension Church - Church, 810 Austin Avenue, Albion, MI 49224 (Site property line to Church property line = 1,802 feet, more or less)
- C Leggett Chapel AME Zion - Church, 806 N Albion St, Albion, MI 49224 (Site property line to Church property line = 2,920 feet, more or less)
- D Grace Temple - Church, 711 Grace St, Albion, MI 49224 (Site property line to Church property line = 3,095 feet, more or less)
- E Meintosh Park - Public Park, 1401 Dean Drive, Albion, MI 49224 (Site property line to Park property line = 2,058 feet, more or less)
- F McAuliffe Park - Public Park, 705 Austin Avenue, Albion, MI 49224 (Site property line to Park property line = 2,098 feet, more or less)
- G McClure Park - Public Park, 109.5 N Gale Street, Albion, MI 49224 (Site property line to Park property line = 2,564 feet, more or less)
- H Crowell School - Public School, 1418 Cooper Street, Albion, MI 49224 (Site property line to School property line = 2,893 feet, more or less)

BMCC - JOBS/091121/ANA/MWG/923 BURSTEIN - PROXIMITY MAP PLANDWG - PROX

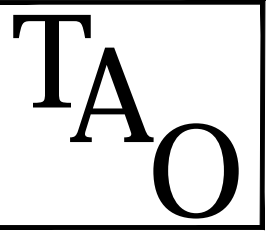
SCALE: 1"=300'
 JOB NO. 091121
 OWNER/DEVELOPER:
ANA DREAM, LLC
 12345 HOWLAND PARK DRIVE
 PLYMOUTH, MI 9 48179
 CONTACT: HADI SAEED

PART OF WEST 1/2,
 SECTION 34, T2N-R4W,
 ALBION CITY, CALHOUN CO, MI

BM
CC
 BM CONSTRUCTION CONSULTANTS
 2240 LAUDERDALE STREET
 FLINT, MICHIGAN 48532
 PHONE: 810.423.5014
 EMAIL: BMCONSTRUCTION@COMCAST.NET

**PROXIMITY MAP OF ADJACENT PROPERTIES FOR:
 PROPOSED MARIHUANA GROW FACILITY
 923 BURSTEIN DRIVE, ALBION, MI 49224**

REVISIONS	DRN. BY:	J.R.B.	01.15.2022	SHEET NO:
	DSN BY:	J.R.B.	"	PROX
	CHK'D BY:	J.B.M.	"	
	APPR BY:	J.B.M.	"	

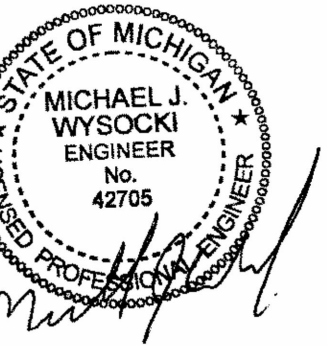


T.A.O.
Design Services, LLC
Architecture Design | Engineering | Interior Design
5494 McNAMARA LANE
FLINT, MICHIGAN 48506
(PH) 810-820-1436
TAODESIGN@YAHOO.COM

PROPOSED BUILDING FOR:

ANA DREAM LLC
923 BURSTEIN DRIVE
ALBION, MICHIGAN 4

MJW
CONSULTING, LLC
840 Brookville Plz SE
Grand Rapids, MI



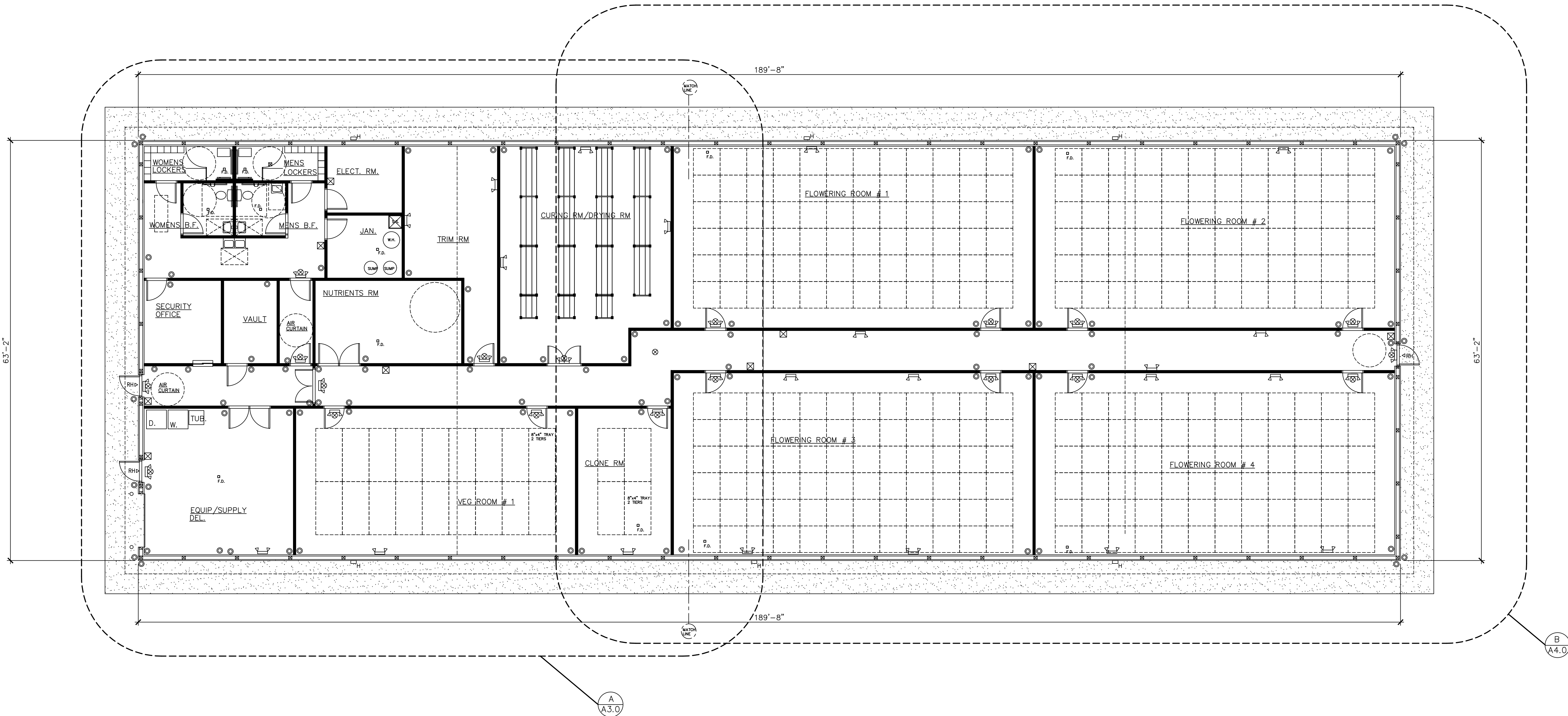
STATE OF MICHIGAN
MICHAEL WYSOCKI
ENGINEER
No. 42705
ALL RIGHTS RESERVED

ISSUED FOR	DATE
CITY REVIEW	12.06.21

DATE : 11.25.21
DRAWN BY: TAO
CHECKED : TAO
SCALE : NOTED

JOB NO :21-000 ANA DREAM

SHEET TITLE :
OVERALL
FLOOR PLAN
SHEET
A2.0



- GENERAL NOTES:**
1. GENERAL CONTRACTOR TO COMPLY WITH CODES CURRENTLY IN EFFECT IN VASSAR TOWNSHIP MICHIGAN.: MICHIGAN BUILDING CODE 2015, MICHIGAN PLUMBING CODE 2015, MICHIGAN ELECTRICAL CODE 2015 AND MICHIGAN MECHANICAL CODE 2015.
 2. ASSUMED SOIL BEARING CAPACITY OF 1500 P.S.F., CONTRACTOR TO VERIFY IN FIELD AND NOTIFY ARCHITECT IF THIS CANNOT BE ACHIEVED FOR POSSIBLE RE-DESIGN.
 3. MECHANICAL AND ELECTRICAL BY OTHERS
 4. CONTRACTOR AND / OR OWNER TO PROVIDE MTD. BUILDING ADDRESS NUMBERS PER. MBC 2015 (MIN. 4" IN HEIGHT)
 5. BUILDING IS A DESIGN BUILD PROJECT BY OWNER

OVER ALL FLOOR PLAN

SCALE: 1/8" = 1'-0"

NOTE:
USE AND OCCUPANCY CLASSIFICATION:
USE GROUP: " F-1 "
CONSTRUCTION TYPE: 2B
ZONED M-2
NON-SPRINKLED
TOTAL SQUARE FT. 11,986 S.F.GROSS
OCCUPANT LOAD: 11,986 SQ. FT. / 300 (TABLE 1004.1.2 =39.95 =40 PERSONS)
TOTAL NUMBER OF EMPLOYEES (6)
OWNER TO PROVIDE WRITTEN AND SIGNED AFFIDAVIT FOR 15 OR LESS EMPLOYEES

- EMG. EXIT LIGHT
- CAMERA LOCATION
- FIRE EXTINGUISHER ABC DRY CHEMICAL 10# SODIUM SULFATE AMERICAN UI 300 HMIS INDUSTRIAL CLASS 4ABO BC
- LED WALL PACK SEE ELECTRICAL DRAWINGS FOR LOCATIONS PRIOR TO CONSTRUCTION
- REMOTE HEAD SEE ELECTRICAL DRAWINGS FOR LOCATIONS PRIOR TO CONSTRUCTION

NOTE:
1. SUB CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD PRIOR TO THE PREPARATION OF ALL SHOP DRAWINGS, CONSTRUCTION AND TO NOTIFY TAO DESIGN SERVICES AND MJW OF ALL DISCREPANCY.
2. CONTRACTOR TO ENCAPSULATE ALL EXPOSED SPRAY INSUL.
NO EXPOSED SPRAY INSUL. SHALL BE ALLOWED PER MICHIGAN 2015 BUILDING CODE.

Questions for the 923 Burstein from the DPW

How much water will you use per day? (average & max amounts)

What will be the max water demand at any given time? (X gallons per minute)

Will all of the water used be returned to us as wastewater? If not, how much will?

What will be in the wastewater? (chemicals, pH, BOD, temp, **nutrients**, FOG)

Do they plan on cutting the curb for new driveways? If so, they need a permit from DPW.

Are they running the stormwater into our system or their own retention pond?

From: [Mickey Bittner](#)
To: [Ian Arnold](#)
Subject: RE: 923 Burstein - Application for Site Plan Review 1-27-22 - Recommendations Requested
Date: Monday, February 14, 2022 4:57:19 PM

Hi Ian

I have reviewed the package submitted and find it to be very thorough. I have the following questions / comments for consideration.

1. On plan sheets C-1 through C-4, it shows grading on the adjacent parcel to the east (923 Burstein). I could not find if the applicant owns this adjacent parcel or has written permission to conduct grading activities on it.
2. It appears all storm water runoff is directed to the existing "private easement for storm detention and wetland preservation" in the northwestern area of the site, which also encroaches on the adjacent parcels to the west and north. Without having the easement for this preservation area, I do not know if it is intended to be the outlet for storm water from developments. This should be confirmed. Typically, the developer is responsible for retention or detention of their own storm water.

Other than that, it was a very complete site plan submittal package.

Please let me know if you have any questions.

Mickey E. Bittner PE

OFFICE [269.692.9338](tel:269.692.9338) MOBILE [269.266.2159](tel:269.266.2159)
 1670 LINCOLN ROAD, ALLEGAN, MI 49010
GOWIGHTMAN.COM



From: Ian Arnold <iarnold@cityofalbionmi.gov>
Sent: Friday, January 28, 2022 1:23 PM
To: Scott Kipp <skipp@cityofalbionmi.gov>; Patrick Miller <pmiller@cityofalbionmi.gov>; Mickey Bittner <mbittner@gowightman.com>; Fritz Pins <fpins@safebuilt.com>
Subject: 923 Burstein - Application for Site Plan Review 1-27-22 - Recommendations Requested

Hello everyone,

The City of Albion Zoning Ordinance, Section 5.5, D. requires that the Planning Department seek the recommendations for approval or disapproval of site plans from; City Inspector, City Engineer, Public Safety/Fire Chief, and the Water and Sewer Department.

Please if you can, provide a brief recommendation prior to February 15th Planning Commission Meeting, including any comments or questions or conditions that you might have. The ordinance only requires that I seek out these recommendations, so if this is not something you're able to complete, I understand. I will provide these in writing to the Planning Commission, unless you elect to provide them in person at their meeting.

Thank you for your time and consideration.

Ian R. Arnold
Director of Planning and Building
City of Albion
112 W Cass St. Albion, MI 49224
Office: 517-629-7189
Cell: 517-404-7253
iarnold@cityofalbionmi.gov

memo

**Albion Economic Development Corporation**

To: City of Albion Planning Commission
From: Christine Bowman , Economic Development Specialist
CC:
Date: February 10, 2021
Re: Site Plan Approval – 923 Burstein – Lot 27 Albion Industrial Park

Please accept this memo from the Albion EDC as indication of our support for approval of the Site Plan for 923 Burstein Drive, as presented by Ana Dream, LLC.

The Albion EDC worked closely with the City Planning and Building Department and Ana Dream, LLC on the development of their Site Plan to ensure it met all City requirements and the Building and Use Restrictions and Development Standards for the Albion Industrial Park.

We appreciate the work of the Planning Commission that supports the efforts of the Albion EDC to attract investment and jobs to the Albion community.

Sincerely,

A handwritten signature in blue ink that reads "Christine Bowman".

Christine Bowman
Economic Development Specialist

CC: Ian Arnold, City of Albion, Director of Planning and Building

City of Albion

Department of Planning and Building
112 West Cass Street
Albion, Michigan 49224

Phone: (517)-629-7189
Email: larnold@cityofalbionmi.gov



Report to Planning Commission – February 18, 2022 923 Burstein Drive, Application for Site Plan Review

Background:

Herein is the Department of Planning and Building's recommendation on the Site Plan review application submitted for a Marijuana growing facility to be constructed at 923 Burstein Drive by Ashrf Saad of Ana Dream LLC. This use is permitted under the City of Albion Zoning Ordinance for M-2 zoned parcels. The proposed structure per attached application is on a lot which is conforming to lot standards, and the proposed structure is conforming to setback requirements.

I have met with Mr. Saad, and the various partners he has brought onto his project alongside Christine Bowman of the Albion EDC in multiple pre-application conferences. To the best of my knowledge and ability, the application and supplemental materials have been submitted completely, and with all of the requisite information outlined in section five of the Zoning Ordinance. This application has been distributed to the City Building Official at SAFEBuilt, the City Engineer at Wightman and Associates, the Director of Public Works, and the Director of Public Safety. Comments returned by the aforementioned have been included in your agenda packet for consideration. The Albion Economic Development Corporation, due to their jurisdiction over the Albion Industrial Park has been solicited for a recommendation as well, which has been included in your packet.

With the exception of a few minor corrections made to the application (the drawings reference the site as M-1 zoned, when it is M-2 zoned, though it conforms still to the M-2 requirements), there are no major deficiencies that would disqualify this application from eligibility for Planning Commission review. I would urge the Planning Commission to consider the below consolidated list of questions from City staff and contractors prior to making a decision on this site plan.

Questions from the DPW:

How much water will you use per day? In average and maximum amounts.

What will be the maximum water demand at any given time? In gallons per minute.

Will all of the water used be returned to the City water system as wastewater? If not, how much will be returned?

What will be in the wastewater? (Chemicals, pH, BOD, temp, nutrients, FOG)

Do they plan on cutting the curb for new driveways? If so, they need a permit from DPW.

Are they running the stormwater into our system or their own retention pond?

Questions from the City Engineer:

1. On plan sheets C-1 through C-4, it shows grading on the adjacent parcel to the east (919 Burstein). I could not find if the applicant owns this adjacent parcel or has written permission to conduct grading activities on it.
2. It appears all storm water runoff is directed to the existing “private easement for storm detention and wetland preservation” in the northwestern area of the site, which also encroaches on the adjacent parcels to the west and north. Without having the easement for this preservation area, I do not know if it is intended to be the outlet for storm water from developments. This should be confirmed. Typically, the developer is responsible for retention or detention of their own storm water.

Recommendation:

Based on the application materials provided, and provided no other issues come to my attention, I would recommend the Planning Commission give conditional approval for this Site Plan, contingent upon satisfaction of questions raised by the Director of Public Works, and the City Engineer. I feel that Mr. Saad and his partners have provided a satisfactory Site Plan, in compliance with our ordinance.

CITY OF ALBION—ZONING SERVICE INVOICE

For Office Use Only: _____

2021 - _____

Property Address: <u>923 Burstein</u>	Property Owner: <u>Ashraf Saad</u>
Parcel Number: <u>57-001-723-00</u>	Applicant: <u>11</u>

Zoning Permits	Fee	Due	Fee	Due
Single Family Residential Uses:			Site Plan Review:	
New Home	\$45	_____	Subdivision/Site Condo/PUD Review	
Addition/Alteration	\$15	_____	Base Fee	\$350 _____
Accessory Structure	\$45	_____	Plus Consultant Charges	_____
Change in Use	\$45	_____	Other Uses	
Signs/Billboards	\$45	_____	Base Fee	\$275 <u>X</u> _____
Fences/Screening	\$45	_____	Plus Consultant Charges	_____
Home Occupation	\$45	_____	Zoning Board of Appeals/Sign Appeals Board:	
Other	\$45	_____	Variance Application (Including Zoning Permit Fee):	
Multiple Family Uses:			Single Family Uses	\$250 _____
New Construction	\$45	_____	Other Uses	\$250 _____
Addition/Alteration	\$45	_____	Building Board of Appeals:	
Accessory Structure	\$45	_____	Outdoor or Sidewalk Café Appeal	
Repair/Replace	\$45	_____		\$100 _____
Change in Use	\$45	_____	Residential	\$100 _____
Signs/Billboards	\$45	_____	Commercial	\$100 _____
Fences/Screening	\$45	_____	Land Division/Combination	
Home Occupation	\$45	_____	Per Lot	\$55 _____
Other	\$45	_____	Meet & Bounds Description	\$90 _____
Commercial and Industrial Uses:			Lot Line Adjustment	\$55 _____
New Construction	\$45	_____	Other Fees	
Addition/Alteration	\$45	_____	Special Fee	\$45 _____
Accessory Structure	\$45	_____	Re-Inspection Fee	\$45 _____
Repair/Replace	\$45	_____	Publications, Maps, Copies:	
Change in Use	\$45	<u>X</u> _____	Zoning Ordinance	
Signs/Billboards	\$45	_____	(Map Included)	\$50 _____
Fences/Screening	\$45	_____	Zoning District Maps	
Home Occupation	\$45	_____	11 1/2" x 17"	\$25 _____
Other	\$45	_____	30" x 42"	\$50 _____
Special Use Permits:			Other Blueprints (per page)	\$50 _____
Single Family	\$250	_____	Other GIS Maps (per page)	\$50 _____
Other Uses	\$250	_____	Data Copies/Zoning Reports	
Plus Consultant Charges		_____	(\$3/1 st .25 e. add. pg.)	\$3.+ _____
Rezoning Applications:			Grand Total	
Rezoning Application	\$375	_____	<u>\$320</u>	
Text Amendment	\$275	_____		

Fee Total Approved By: 

Date: 1/27/22

CITY OF ALBION
Date 01/27/2022 3:35:33 PM
ZONING PERMITS
Receipt # 40174512
Amount \$320.00



CITY OF ALBION—APPLICATION FOR SITE PLAN REVIEW

City of Albion Planning Department (517) 629-7189

Cornerstone Inspection Services (269) 729-9244

Application Instructions: Complete all sections of this form. Type or use black ink. No application will be considered submitted or processed by the Planning Department until a complete application and all required documents are received.

Required Documents: (Major Projects)

- Twelve sets of plans, drawn to scale in black line or blueprint.

Base Fee: \$250 **Plus:** Consultant Charges *if applicable* (actual cost).

Additional Instructions: The applicant, or a representative with a letter of authority or power of attorney for the applicant, must be present at a meeting of the Albion Planning Commission concerning this application.

Remember to contact **Cornerstone Inspection Services** office at (269) 729-9244 to see what Permits may be necessary for your project.

FOR OFFICE USE ONLY	
Permit #	20 11 - 08
Stamp here for "Date Received"	1/27/22
Received by	JLH
Deposit to Account #101-400-483.00	
Stamp here for "Paid"	1/27/22
Amount	\$275
Stamp here for "Approved/Deny"	
Date	

1. Property Information:

Property Zoned: **M-2**

Street Address: <i>Use Complete Street Address, e.g. 101 North Main Street</i>		Parcel Number	
923 Burstein Drive, Albion, MI 48224		51-001-723-00	
Present Zoning District	Present Use of Site:	<input checked="" type="checkbox"/> Residential	<input checked="" type="checkbox"/> Industrial
M2 Industrial	<input type="checkbox"/> Commercial	<input type="checkbox"/> Other (describe)	
Requested Zoning District	Proposed Use of Site:	<input checked="" type="checkbox"/> Residential	<input checked="" type="checkbox"/> Industrial
MARIJUANA GROWING FACILITY	<input type="checkbox"/> Commercial	<input type="checkbox"/> Other (describe)	

2. Owner Information:

Name: <i>Include Contact Person If Applicable</i>		Phone
Ashrf Saad		313-289-3200
Street Address: <i>Use Complete Street Address, e.g. 101 North Main Street</i>		City, State Zip Code:
12345 Howland Park Drive		Plymouth, MI 48170

3. Applicant Information:

Name: <i>Include Contact Person If Applicable</i>		Phone
Ashrf Saad		313-289-3200
Street Address: <i>Use Complete Street Address, e.g. 101 North Main Street</i>		City, State Zip Code:
12345 Howland Park Drive		Plymouth, MI 48170

4. Engineer or Architect Information:

Name: <i>Include Contact Person If Applicable</i>		ENG.	Phone
BM CONSTRUCTION CONSULTANTS			810.423.5014
Street Address: <i>Use Complete Street Address, e.g. 101 North Main Street</i>		City, State Zip Code:	
2240 LAUDERDALE ST		FLINT, MI 48532	

5. Developer Information:

Name: <i>Include Contact Person If Applicable</i>		Phone
SAME AS OWNER		
Street Address: <i>Use Complete Street Address, e.g. 101 North Main Street</i>		City, State Zip Code:

6. Project Description:

Provide a narrative description of the project including gross and net acreage of all parcels in the project, the total number of proposed structures, square feet, total and usable floor space, parking spaces, garages, open space, and other related information pertinent to this application.

7. Site Plan Specifications:

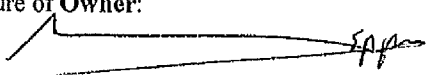
The site plan shall consist of an accurate, reproducible drawing at a scale of 1"= 100' or less, showing the site and all land within 150 feet of the site. If multiple sheets are used, each shall be labeled and the preparer identified. Each site plan shall depict the following:

- North arrow, scale and date of original submittal and last revision.
- Location of proposed and/or existing property lines, dimensions, legal descriptions and setback lines.
- Location of existing public roads, rights-of-way and private easements of record and abutting streets.
- Project description, including the total number of structures, square feet, total and usable floor area, parking spaces, garages, open space and related information as pertinent or otherwise required by the ordinance.
- Existing topographic elevations at two foot intervals, proposed grades and direction of drainage flows.
- Location and type of significant existing vegetation.
- Location and elevations of existing watercourses and water bodies, including county drains and man-made surface drainage ways, floodplains, and wetlands.
- Locations of existing and proposed building and intended uses thereof, as well as the length, width, and height of each building.
- Proposed location of accessory structures, buildings and uses, including but not limited to flagpoles, lightpoles, docks, storage sheds, transformers, air conditioners and the method of screening where applicable.

- Location and dimensions of existing and/or proposed curbing, carports, barrier free access, parking areas (including indication of all spaces and method of surfacing), fire lanes and all lighting thereof.
- Location, size and characteristics of all loading and unloading areas.
- Locations and design of all sidewalks, walkways, bicycle paths and areas for public use.
- Location of all other utilities on the site including, but not limited, to natural gas, electric, cable TV, telephone and steam.
- Location and specifications for all fences, walls, and other screening features.
- Location for all proposed perimeter and internal landscaping.
- Location and size for screening of all trash receptacles and other solid waste disposal facilities.
- Location and specifications for any existing or proposed above or below ground storage facilities for any chemicals, salt, flammable materials, or hazardous materials as well as any containment structures or clear zones required by government authorities.
- Identification of any significant site amenities.

8. Certification

*I hereby certify that I am the **owner** of record of the named property and that I have authorized the proposed work. I further agree to conform to all applicable laws of this jurisdiction. If a permit for work described in this application is issued, I certify that the code official or the code official's authorized representative shall have the authority to enter areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit.*

Signature of Owner: 	Phone 313-289-3200	Date 1 / 14 / 22
Street Address: 12345 Howland Park Drive		City, State, Zip Code Plymouth, MI 48170

I hereby certify that I have been authorized by the owner to make this application as his/her authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the code official or the code official's authorized representative shall have the authority to enter areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit.

Signature of Applicant:	Phone	Date
Street Address:		City, State, Zip Code

For Planning Department Use Only

9. Evaluation and Determination

CORNERSTONE INSPECTION SERVICES

Mechanical Permit	<input type="checkbox"/> YES	<input type="checkbox"/> NO
Plumbing Permit	<input type="checkbox"/> YES	<input type="checkbox"/> NO
Electrical Permit	<input type="checkbox"/> YES	<input type="checkbox"/> NO
Residential Building Permit	<input type="checkbox"/> YES	<input type="checkbox"/> NO
Commercial Building Permit	<input type="checkbox"/> YES	<input type="checkbox"/> NO
Plans Examination	<input type="checkbox"/> YES	<input type="checkbox"/> NO

PUBLIC SERVICES

Right of Way	<input type="checkbox"/> YES	<input type="checkbox"/> NO
Curb Cut	<input type="checkbox"/> YES	<input type="checkbox"/> NO
Soil Erosion	<input type="checkbox"/> YES	<input type="checkbox"/> NO
Sewer Connection	<input type="checkbox"/> YES	<input type="checkbox"/> NO

ZONING PERMIT

Site Plan	<input type="checkbox"/> YES	<input type="checkbox"/> NO
Non-conformity	<input type="checkbox"/> YES	<input type="checkbox"/> NO
Special Use	<input type="checkbox"/> YES	<input type="checkbox"/> NO
Variance	<input type="checkbox"/> YES	<input type="checkbox"/> NO

REVIEWER

<i>Staff whom Reviewed the Application</i>	<i>Staff Hours</i>	<i>Approved/Deny</i>	<i>Date Applicant Notified</i>
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Commission Action Required? YES NO

PUBLIC NOTICE

<i>Public Notice in Newspaper</i>	<i>Letter to Nearby Properties</i>	<i>Public Hearing Date</i>
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PLANNING COMMISSION

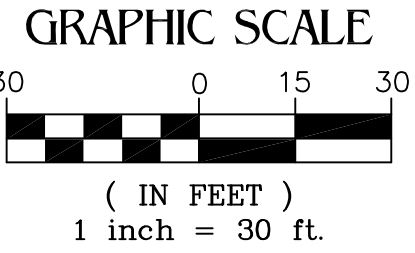
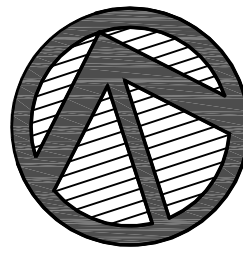
<i>Planning Commission Action (Approved/Deny)</i>	<i>CHECK HERE FOR CONDITIONAL APPROVAL</i>	<i>Vote Approval _____ Deny _____</i>
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PLANNING DEPARTMENT APPROVAL/DENY

<i>Signature</i>	<i>Date</i>
<i>Notes</i>	<i>Stamp</i>

Revised 01-30-14

NORTH



LEGAL DESCRIPTION (AS PROVIDED):

PARCEL NO. 51-001-723-00
LOT 27, INDUSTRIAL PARK SUBDIVISION #2, AS RECORDED IN LIBER 23, PAGES 37-41, C.C.R. PART OF THE WEST HALF, SECTION 34, T2S-R4W, CITY OF ALBION, CALHOUN COUNTY, MICHIGAN

EXISTING ZONING INFORMATION:

ACCORDING TO THE CITY OF ALBION ZONING ORDINANCE THIS PROPERTY IS CURRENTLY ZONED M-2 (HEAVY INDUSTRIAL DISTRICT), AND IS SUBJECT TO THE FOLLOWING CONDITIONS:
1) MINIMUM LOT SIZE = NONE SPECIFIED
2) MINIMUM LOT WIDTH = NONE SPECIFIED
3) FRONT SETBACK = 10 FEET
4) SIDE SETBACK = 10 FEET, 20 FEET COMBINED
5) REAR SETBACK = 10 FEET
6) MAXIMUM LOT COVERAGE = NONE
7) MAXIMUM HEIGHT = 3 STORIES OR 36 FEET (PER AP STANDARDS)

TRAFFIC IMPACT:

A TRAFFIC STUDY WAS NOT CONDUCTED BY THIS FIRM FOR THIS PROJECT.

FLOOD PLAIN NOTE:

THIS PROPERTY LIES IN ZONE "X" (AREAS OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) OF THE FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 2602502690 WHICH BEARS AN EFFECTIVE DATE OF APRIL 4, 2011 AND IS NOT IN A SPECIAL FLOOD HAZARD AREA.

WETLAND NOTE:

ACCORDING TO THE NATIONAL WETLAND INVENTORY MAPS OF MICHIGAN, THERE ARE WETLAND AREAS ON THIS PROPERTY.

SEWER & WATER NOTES:

THE SITE IS CURRENTLY SERVICED BY PUBLIC WATER AND PUBLIC SANITARY SEWER. IT IS NOT ANTICIPATED THAT THERE WILL BE ANY SUBSTANTIAL INCREASE IN ODOUR, SMOKES, FUMES, NOISE, OR LIGHTS. THE CONTRACTOR WILL BE REQUIRED TO COMPLY WITH ANY APPLICABLE ZONING ORDINANCE REQUIREMENTS REGARDING THESE ITEMS. THE ON-SITE CONSTRUCTION ACTIVITIES WILL INCLUDE THE USE OF EQUIPMENT SUCH AS A BACK HOE, DOZERS, TRUCKS, CONCRETE MIXER, GENERATORS, COMPRESSORS, POWER SAWS, AND ELECTRIC DRILLS, ETC. THE AVERAGE SOUND LEVEL WILL BE LESS THAN THE OSHA (AT WORKERS EAR) LEVEL OF 90.

SITE PLAN LAYOUT & COVER SHEET

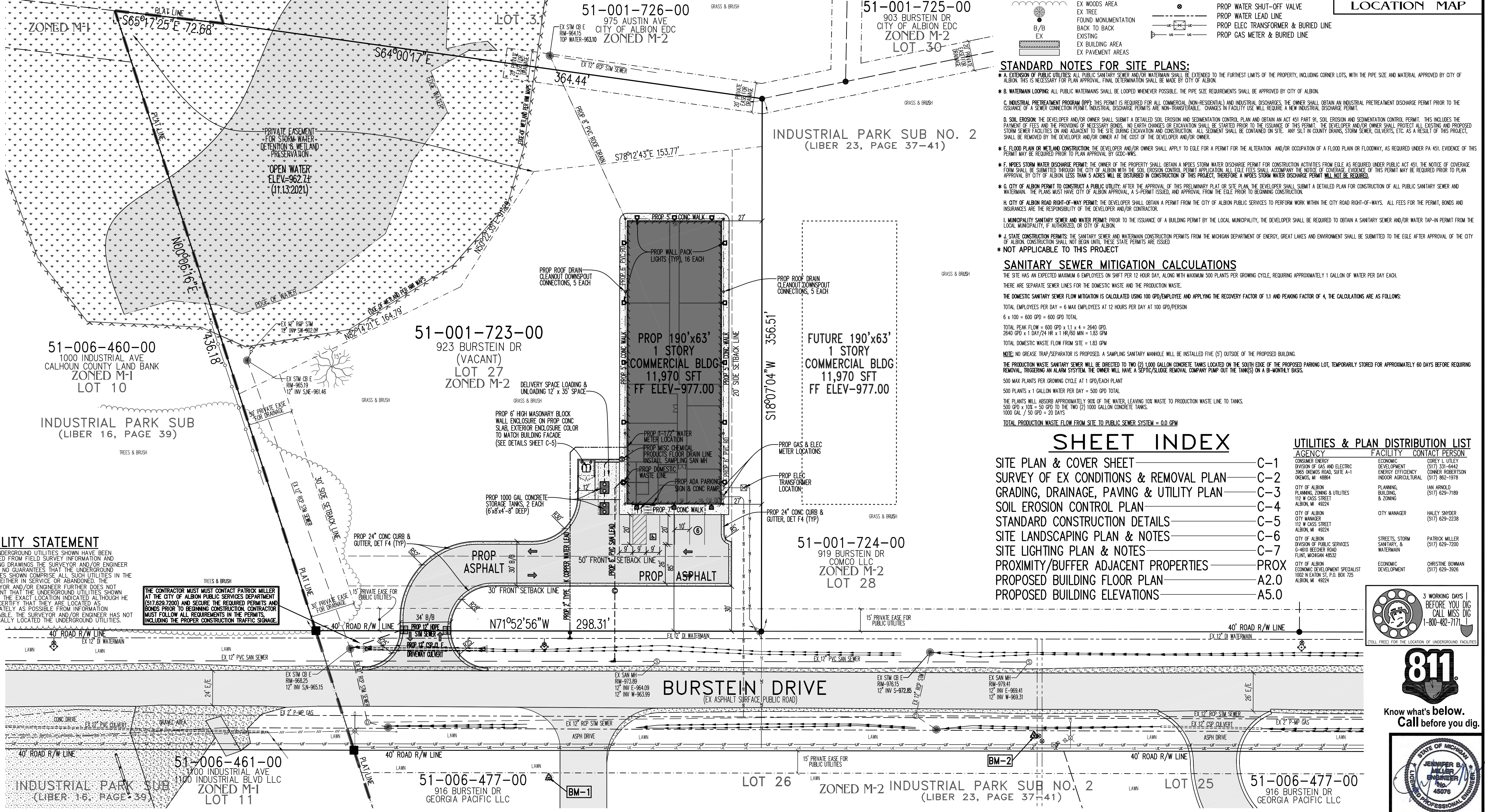
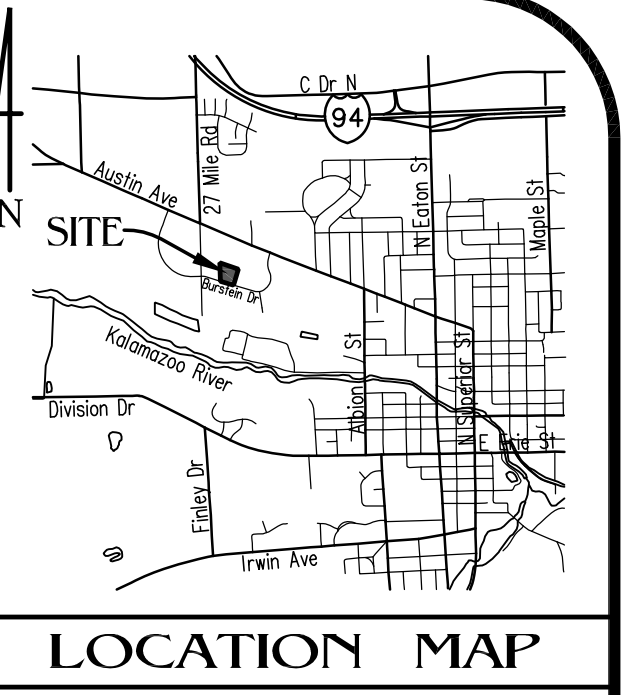
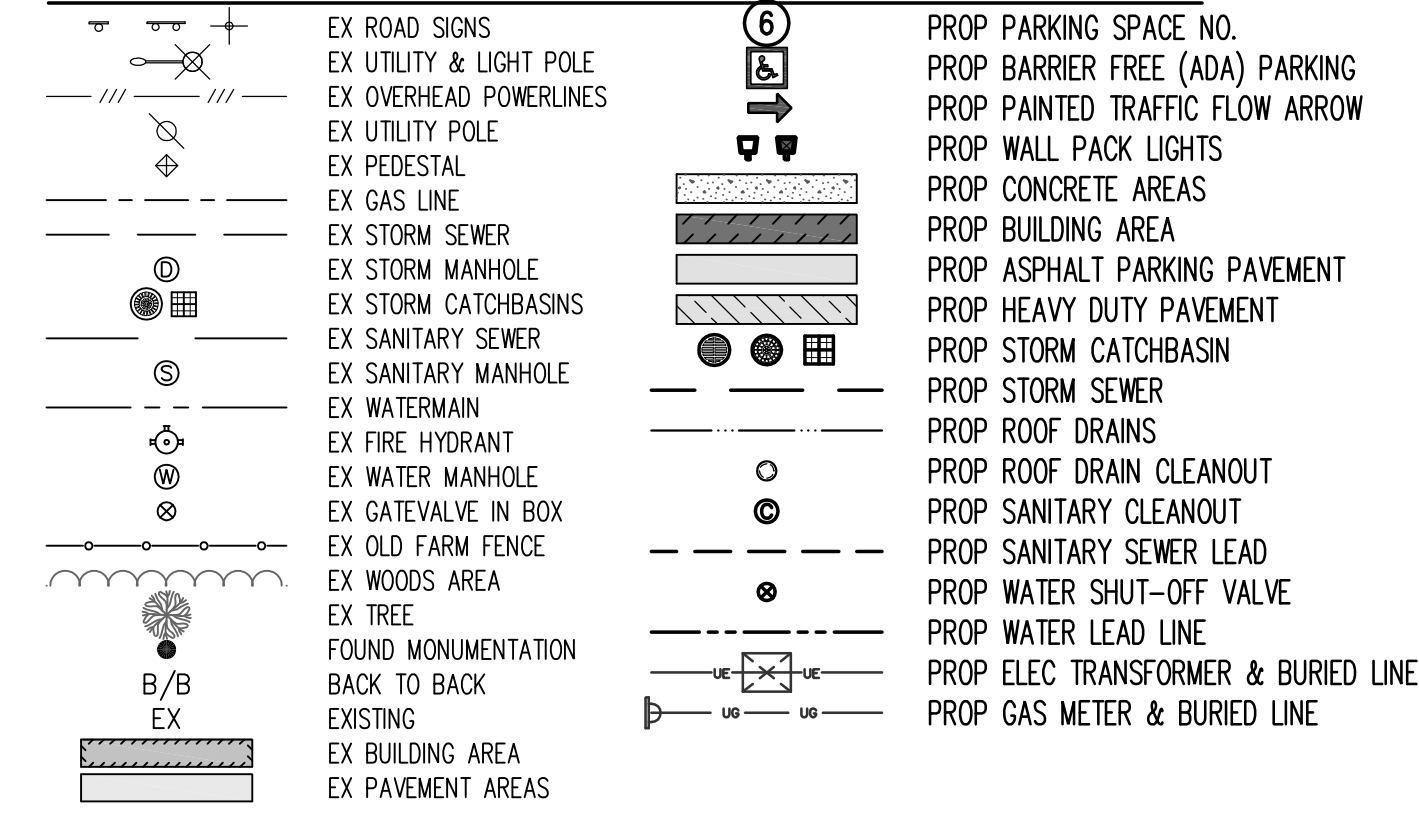
SITE DATA:

- 1) SITE ZONING = M-1 (LIGHT INDUSTRIAL DISTRICT)
- 2) ADJACENT ZONING = M-1 (ALL ADJACENT)
- 3) TOTAL GROSS OVERALL AREA = 139,386 SFT OR 3.20 ACRES
- 4) TOTAL GROSS BUILDING AREA = 11,970 SFT
- 5) PROPOSED TOTAL FLOOR AREA = 11,970 SFT
- 6) MAXIMUM BUILDING HEIGHT ALLOWED = 3 STORIES/50'-0"
- 7) PROPOSED BUILDING HEIGHT = 1 STORY/12'-0"
- 8) TOTAL BUILDING SITE COVERAGE = 11970/139386 = 8.59%
- 9) MAXIMUM IMPERVIOUS COVERAGE ALLOWED = NONE SPECIFIED
- 10) TOTAL BUILDING SITE COVERAGE = 24602/139386 = 17.65%
- 11) PARKING SPACE & LANE SIZE REQUIREMENTS
- 12) REGULAR PARKING SPACE = 9' x 20'
- 13) BARRIER FREE SPACE = 9' x 20' W/8' AISLE (VAN ACCESSIBLE)
- 14) DRIVE LANE WIDTH = 24' (MIN) AT 90° PARKING
- 15) PROPOSED SITE ADDRESS = 923 BURSTEIN DRIVE, ALBION

SITE PLAN NOTES:

- 1. DELIVERIES AND PICKUPS WILL BE MADE BY LARGE BOX TRUCKS, NO LONGER THAN 40 FEET, NO SEMI TRUCK DELIVERIES MADE. PRODUCT TRIMMINGS & WASTE WILL BE STORED INSIDE THE BUILDING UNTIL A CERTIFIED COMPANY PICKS UP THE WASTE. ALL OTHER GARBAGE WILL BE TAKEN TO THE OUTSIDE DUMPSTER.
- 2. ALL SANITARY SEWER LEAD AND WATER LEAD CONSTRUCTION/CONNECTIONS REQUIRE A CITY OF ALBION CONNECTION PERMIT APPLICATION PRIOR TO FINAL APPROVAL.
- 3. THIS DEVELOPMENT IS LOCATED IN THE CITY OF ALBION AND WILL BE SUBJECT TO THE CITY ORDINANCES RELATED TO MARIJUANA LOCATION, USE, ZONING, AND AGREEMENTS OF RECORD.
- 4. NO OUTDOOR LONG TERM STORAGE IS ALLOWED ON THE SITE, AND ON-SITE BURNING WILL NOT BE ALLOWED.

LEGEND



STANDARD NOTES FOR SITE PLANS:

- * A. EXTENSION OF PUBLIC UTILITIES: ALL PUBLIC SANITARY SEWER AND/OR WATERMAIN SHALL BE EXTENDED TO THE FURTHEST LIMITS OF THE PROPERTY, INCLUDING CORNER LOTS, WITH THE PIPE SIZE AND MATERIAL APPROVED BY CITY OF ALBION. THIS IS NECESSARY FOR PLAN APPROVAL. FINAL DETERMINATION SHALL BE MADE BY CITY OF ALBION.
- * B. WATERMAIN LOOPING: ALL PUBLIC WATERMANS SHALL BE LOOPED WHENEVER POSSIBLE. THE PIPE SIZE REQUIREMENTS SHALL BE APPROVED BY CITY OF ALBION.
- * C. INDUSTRIAL PRETREATMENT PROGRAM (IPP): THIS PERMIT IS REQUIRED FOR ALL COMMERCIAL (NON-RESIDENTIAL) AND INDUSTRIAL DISCHARGES. THE OWNER SHALL OBTAIN AN INDUSTRIAL PRETREATMENT DISCHARGE PERMIT PRIOR TO THE ISSUANCE OF A SEWER CONNECTION PERMIT. INDUSTRIAL DISCHARGE PERMITS ARE NON-TRANSFERABLE. CHANGES IN FACILITY USE WILL REQUIRE A NEW INDUSTRIAL DISCHARGE PERMIT.
- * D. SOIL EROSION: THE DEVELOPER AND/OR OWNER SHALL SUBMIT A DETAILED SOIL EROSION AND SEDIMENTATION CONTROL PLAN AND OBTAIN AN ACT 451 PART 91, SOIL EROSION AND SEDIMENTATION CONTROL PERMIT. THIS INCLUDES THE PAYMENT OF FEES AND THE PROVIDING OF NECESSARY BONDS. NO EARTH CHANGES OR EXCAVATION SHALL BE STARTED PRIOR TO THE ISSUANCE OF THIS PERMIT. THE DEVELOPER AND/OR OWNER SHALL PROTECT ALL EXISTING AND PROPOSED STORM SEWER FACILITIES ON AND ADJACENT TO THE SITE DURING EXCAVATION AND CONSTRUCTION. ALL SEDIMENT SHALL BE CONTAINED ON SITE. ANY SILT IN COUNTY DRAINS, STORM SEWER, CULVERTS, ETC. AS A RESULT OF THIS PROJECT, SHALL BE REMOVED BY THE DEVELOPER AND/OR OWNER AT THE COST OF THE DEVELOPER AND/OR OWNER.
- * E. FLOOD PLAN OR WETLAND CONSTRUCTION: THE DEVELOPER AND/OR OWNER SHALL APPLY TO EGLE FOR A PERMIT FOR THE ALTERATION AND/OR OCCUPATION OF A FLOOD PLAN OR FLOODWAY, AS REQUIRED UNDER PA 451. EVIDENCE OF THIS PERMIT MAY BE REQUIRED PRIOR TO PLAN APPROVAL BY C.C.C.M.
- * F. NPDES STORM WATER DISCHARGE PERMIT: THE OWNER OF THE PROPERTY SHALL OBTAIN A NPDES STORM WATER DISCHARGE PERMIT FOR CONSTRUCTION ACTIVITIES FROM EGLE AS REQUIRED UNDER PUBLIC ACT 451. THE NOTICE OF COVERAGE FORM SHALL BE SUBMITTED THROUGH THE CITY OF ALBION WITH THE SOIL EROSION CONTROL PERMIT APPLICATION. ALL EGLE FEES SHALL ACCOMPANY THE NOTICE OF COVERAGE. EVIDENCE OF THIS PERMIT MAY BE REQUIRED PRIOR TO PLAN APPROVAL BY CITY OF ALBION. LESS THAN 5 ACRES WILL BE DISTURBED IN CONSTRUCTION OF THIS PROJECT, THEREFORE A NPDES STORM WATER DISCHARGE PERMIT WILL NOT BE REQUIRED.
- * G. CITY OF ALBION PERMIT TO CONSTRUCT A PUBLIC UTILITY: AFTER THE APPROVAL OF THIS PRELIMINARY PLAN OR SITE PLAN, THE DEVELOPER SHALL SUBMIT A DETAILED PLAN FOR CONSTRUCTION OF ALL PUBLIC SANITARY SEWER AND WATERMAIN. THE PLANS MUST HAVE CITY OF ALBION APPROVAL, A 5-PERMIT ISSUED, AND APPROVAL FROM THE EGLE PRIOR TO BEGINNING CONSTRUCTION.
- * H. CITY OF ALBION ROAD RIGHT-OF-WAY PERMIT: THE DEVELOPER SHALL OBTAIN A PERMIT FROM THE CITY OF ALBION PUBLIC SERVICES TO PERFORM WORK WITHIN THE CITY ROAD RIGHT-OF-WAYS. ALL FEES FOR THE PERMIT, BONDS AND INSURANCES ARE THE RESPONSIBILITY OF THE DEVELOPER AND/OR CONTRACTOR.
- * I. MUNICIPALITY SANITARY SEWER AND WATER PERMIT: PRIOR TO THE ISSUANCE OF A BUILDING PERMIT BY THE LOCAL MUNICIPALITY, THE DEVELOPER SHALL BE REQUIRED TO OBTAIN A SANITARY SEWER AND/OR WATER TAP-IN PERMIT FROM THE LOCAL MUNICIPALITY, IF AUTHORIZED, OR CITY OF ALBION.
- * J. STATE CONSTRUCTION PERMITS: THE SANITARY SEWER AND WATERMAIN CONSTRUCTION PERMITS FROM THE MICHIGAN DEPARTMENT OF ENERGY, GREAT LAKES AND ENVIRONMENT SHALL BE SUBMITTED TO THE EGLE AFTER APPROVAL OF THE CITY OF ALBION. CONSTRUCTION SHALL NOT BEGIN UNTIL THESE STATE PERMITS ARE ISSUED.
- * NOT APPLICABLE TO THIS PROJECT

SANITARY SEWER MITIGATION CALCULATIONS

THE SITE HAS AN EXPECTED MAXIMUM 6 EMPLOYEES ON SHIFT PER 12 HOUR DAY, ALONG WITH MAXIMUM 500 PLANTS PER GROWING CYCLE, REQUIRING APPROXIMATELY 1 GALLON OF WATER PER DAY EACH. THERE ARE SEPARATE SEWER LINES FOR THE DOMESTIC WASTE AND THE PRODUCTION WASTE.
THE DOMESTIC SANITARY SEWER FLOW MITIGATION IS CALCULATED USING 100 GPD/EMPLOYEE AND APPLYING THE RECOVERY FACTOR OF 1.1 AND PEAKING FACTOR OF 4. THE CALCULATIONS ARE AS FOLLOWS:
TOTAL EMPLOYEES PER DAY = 6 MAX EMPLOYEES AT 12 HOURS PER DAY AT 100 GPD/PERSON
6 x 100 = 600 GPD = 600 GPD TOTAL
TOTAL PEAK FLOW = 600 GPD x 1.1 x 4 = 2640 GPD
2640 GPD x 1 DAY/24 HR x 1 HR/60 MIN = 1.83 GPM
TOTAL DOMESTIC WASTE FLOW FROM SITE = 1.83 GPM
NOTE: NO GREASE TRAP/SEPARATOR IS PROPOSED. A SAMPLING SANITARY MANHOLE WILL BE INSTALLED FIVE (5) FEET OUTSIDE OF THE PROPOSED BUILDING.
THE PRODUCTION WASTE SANITARY SEWER WILL BE DIRECTED TO TWO (2) 1,000 GALLON CONCRETE TANKS LOCATED ON THE SOUTH EDGE OF THE PROPOSED PARKING LOT, TEMPORARILY STORED FOR APPROXIMATELY 60 DAYS BEFORE REQUIRING REMOVAL, TRIGGERING AN ALARM SYSTEM. THE OWNER WILL HAVE A SEPTIC/SLODGE REMOVAL COMPANY PUMP OUT THE TANK(S) ON A BI-MONTHLY BASIS.
500 MAX PLANTS PER GROWING CYCLE AT 1 GPD/EACH PLANT
500 PLANTS x 1 GALLON WATER PER DAY = 500 GPD TOTAL
THE PLANTS WILL ASSURE APPROXIMATELY 90% OF THE WATER, LEAVING 10% WASTE TO PRODUCTION WASTE LINE TO TANKS.
500 GPD x 10% = 50 GPD TO THE TWO (2) 1000 GALLON CONCRETE TANKS.
1000 GAL / 50 GPD = 20 DAYS
TOTAL PRODUCTION WASTE FLOW FROM SITE TO PUBLIC SEWER SYSTEM = 0.0 GPM

SHEET INDEX

SHEET TITLE	NO.
SITE PLAN & COVER SHEET	C-1
SURVEY OF EX CONDITIONS & REMOVAL PLAN	C-2
GRADING, DRAINAGE, PAVING & UTILITY PLAN	C-3
SOIL EROSION CONTROL PLAN	C-4
STANDARD CONSTRUCTION DETAILS	C-5
SITE LANDSCAPING PLAN & NOTES	C-6
SITE LIGHTING PLAN & NOTES	C-7
PROXIMITY/BUFFER ADJACENT PROPERTIES	PROX
PROPOSED BUILDING FLOOR PLAN	A2.0
PROPOSED BUILDING ELEVATIONS	A5.0

UTILITIES & PLAN DISTRIBUTION LIST

AGENCY	FACILITY	CONTACT PERSON
CONSUMER ENERGY	ECONOMIC DEVELOPMENT	COREY L. UTLEY (517) 331-6442
DIVISION OF GAS AND ELECTRIC	ENERGY EFFICIENCY	CORNER ROBERTSON (517) 862-1978
3965 OGDEN ROAD, SUITE A-1	INDOOR AGRICULTURAL	(517) 862-1978
OGDEN, MI 48864		
CITY OF ALBION	PLANNING, ZONING & UTILITIES	IAN ARNOLD (517) 629-7189
112 W CASK STREET		
ALBION, MI 49224		
CITY OF ALBION	CITY MANAGER	HALEY SNYDER (517) 629-2238
CITY MANAGER		
112 W CASK STREET		
ALBION, MI 49224		
CITY OF ALBION	STREETS, STORM SANITARY & WATERMAIN	PATRIK MILLER (517) 629-7200
DIVISION OF PUBLIC SERVICES		
6460 BECKER ROAD		
FLINT, MICHIGAN 48532		
CITY OF ALBION	ECONOMIC DEVELOPMENT SPECIALIST	CHRISTINE BOWMAN (517) 629-3926
1002 W EASTON ST, P.O. BOX 725		
ALBION, MI 49224		

UTILITY STATEMENT

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR AND/OR ENGINEER MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR AND/OR ENGINEER FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR AND/OR ENGINEER HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

THE CONTRACTOR MUST CONTACT PATRICK MILLER AT THE CITY OF ALBION PUBLIC SERVICES DEPARTMENT (517.629.7200) AND SECURE THE REQUIRED PERMITS AND BONDS PRIOR TO BEGINNING CONSTRUCTION. CONTRACTOR MUST FOLLOW ALL REQUIREMENTS IN THE PERMITS, INCLUDING THE PROPER CONSTRUCTION TRAFFIC SIGNAGE.



Know what's below. Call before you dig.



SCALE: 1"=30'
JOB NO. 091121

OWNER/DEVELOPER:
ANA DREAM, LLC
12345 HOWLAND PARK DRIVE
PLYMOUTH, MI 48179
CONTACT: HADI SAEED

PART OF WEST 1/2,
SECTION 34, T2N-R4W,
ALBION CITY, CALHOUN CO, MI

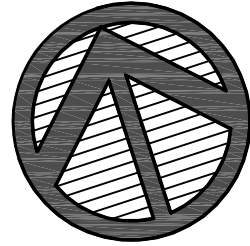


BM CONSTRUCTION CONSULTANTS
2240 LAUDERDALE STREET
FLINT, MICHIGAN 48532
PHONE: 810.423.5014
EMAIL: BMCONSTRUCTION@COMCAST.NET

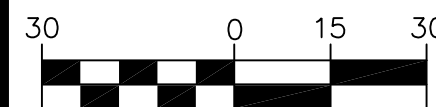
SITE PLAN LAYOUT & COVER SHEET FOR:
PROPOSED MARIJUANA GROW FACILITY
923 BURSTEIN DRIVE, ALBION, MI 49224

REVISIONS	DRN. BY:	J.R.B.	12.03.2021	SHEET NO:
01.15.2022	DSN BY:	J.R.B.	"	C-1
	CHK'D BY:	J.B.M.	"	
	APPR BY:	J.B.M.	"	

NORTH



GRAPHIC SCALE



(IN FEET)
1 inch = 30 ft.

LEGAL DESCRIPTION (AS PROVIDED):

PARCEL NO. 51-001-723-00
LOT 27, INDUSTRIAL PARK SUBDIVISION #2, AS RECORDED IN LIBER 23, PAGES 37-41, C.C.R. PART OF THE WEST HALF, SECTION 34, T2S-R4W, CITY OF ALBION, CALHOUN COUNTY, MICHIGAN

EXISTING ZONING INFORMATION:

ACCORDING TO THE CITY OF ALBION ZONING ORDINANCE THIS PROPERTY IS CURRENTLY ZONED M-2 (HEAVY INDUSTRIAL DISTRICT), AND IS SUBJECT TO THE FOLLOWING CONDITIONS:

- 1) MINIMUM LOT SIZE = NONE SPECIFIED
- 2) MINIMUM LOT WIDTH = NONE SPECIFIED
- 3) FRONT SETBACK = 10 FEET
- 4) SIDE SETBACK = 10 FEET, 20 FEET COMBINED
- 5) REAR SETBACK = 10 FEET
- 6) MAXIMUM LOT COVERAGE = NONE
- 7) MAXIMUM HEIGHT = 3 STORIES OR 36 FEET

TRAFFIC IMPACT:

A TRAFFIC STUDY WAS NOT CONDUCTED BY THIS FIRM FOR THIS PROJECT.

- FOR MEDICAL MARIJUANA ESTABLISHMENTS:
- 1) MINIMUM LOT AREA = NONE SPECIFIED
- 2) FRONT SETBACK = 50 FEET
- 3) SIDE SETBACK = 20 FEET
- 4) REAR SETBACK = 30 FEET
- 5) STRUCTURE HEIGHT = 3 STORIES OR 50 FEET (PER AIP STANDARDS)

FLOOD PLAIN NOTE:

THIS PROPERTY LIES IN ZONE "X" (AREAS OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) OF THE FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 26025020690 WHICH BEARS AN EFFECTIVE DATE OF APRIL 4, 2011 AND IS NOT IN A SPECIAL FLOOD HAZARD AREA.

WETLAND NOTE:

ACCORDING TO THE NATIONAL WETLAND INVENTORY MAPS OF MICHIGAN, THERE ARE WETLAND AREAS ON THIS PROPERTY.

SEWER & WATER NOTES:

THE SITE IS CURRENTLY SERVICED BY PUBLIC WATER AND PUBLIC SANITARY SEWER.

PROJECT NARRATIVE:

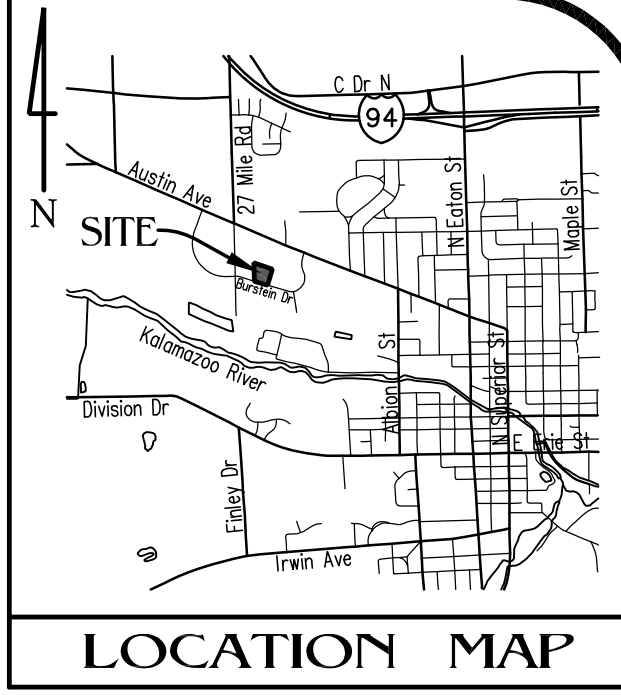
IT IS NOT ANTICIPATED THAT THERE WILL BE ANY SUBSTANTIAL INCREASE IN DUST, ODOR, SMOKE, FLAMES, NOISE, OR LIGHTS. THE CONTRACTOR WILL BE REQUIRED TO COMPLY WITH ANY APPLICABLE ZONING ORDINANCE REQUIREMENTS REGARDING THESE ITEMS. THE ON-SITE CONSTRUCTION ACTIVITIES WILL INCLUDE THE USE OF EQUIPMENT SUCH AS A BACK HOE, DOZERS, TRUCKS, CONCRETE MIXER, GENERATOR, COMPRESSORS, POWER SAWS, AND ELECTRIC DRILLS, ETC. THE AVERAGE SOUND LEVEL WILL BE LESS THAN THE OSHA (AT WORKERS EAR) LEVEL OF 90.

SURVEY OF EX CONDITIONS & REMOVAL PLAN

AREA OF DISTURBANCE = 2.0 ACRES

LEGEND

- EX ROAD SIGNS
- EX UTILITY AND/OR LIGHT POLE
- EX OVERHEAD POWERLINES
- EX STREET LIGHT POLE
- EX PEDESTAL
- EX BUILDING LINE
- EX STORM SEWER
- EX STORM MANHOLE
- EX STORM CATCHBASINS
- EX SANITARY SEWER
- EX SANITARY MANHOLE
- EX WATERMAIN
- EX FIRE HYDRANT
- EX WATER MANHOLE
- EX GATEVALVE
- EX GAS LINE
- EX WIRE HWY FENCE
- EX SURFACE ELEVATION
- EX CONTOUR ELEVATION
- EX WOODS AREA
- EX TREE
- FOUND MONUMENTATION
- BACK TO BACK
- EXISTING
- EX CONCRETE AREAS
- EX ASPHALT AREAS
- EX GRAVEL AREAS
- LIMITS OF DISTURBANCE
- PROP SILT FENCE (ALONG PERIMETER)



SURVEY NOTES:

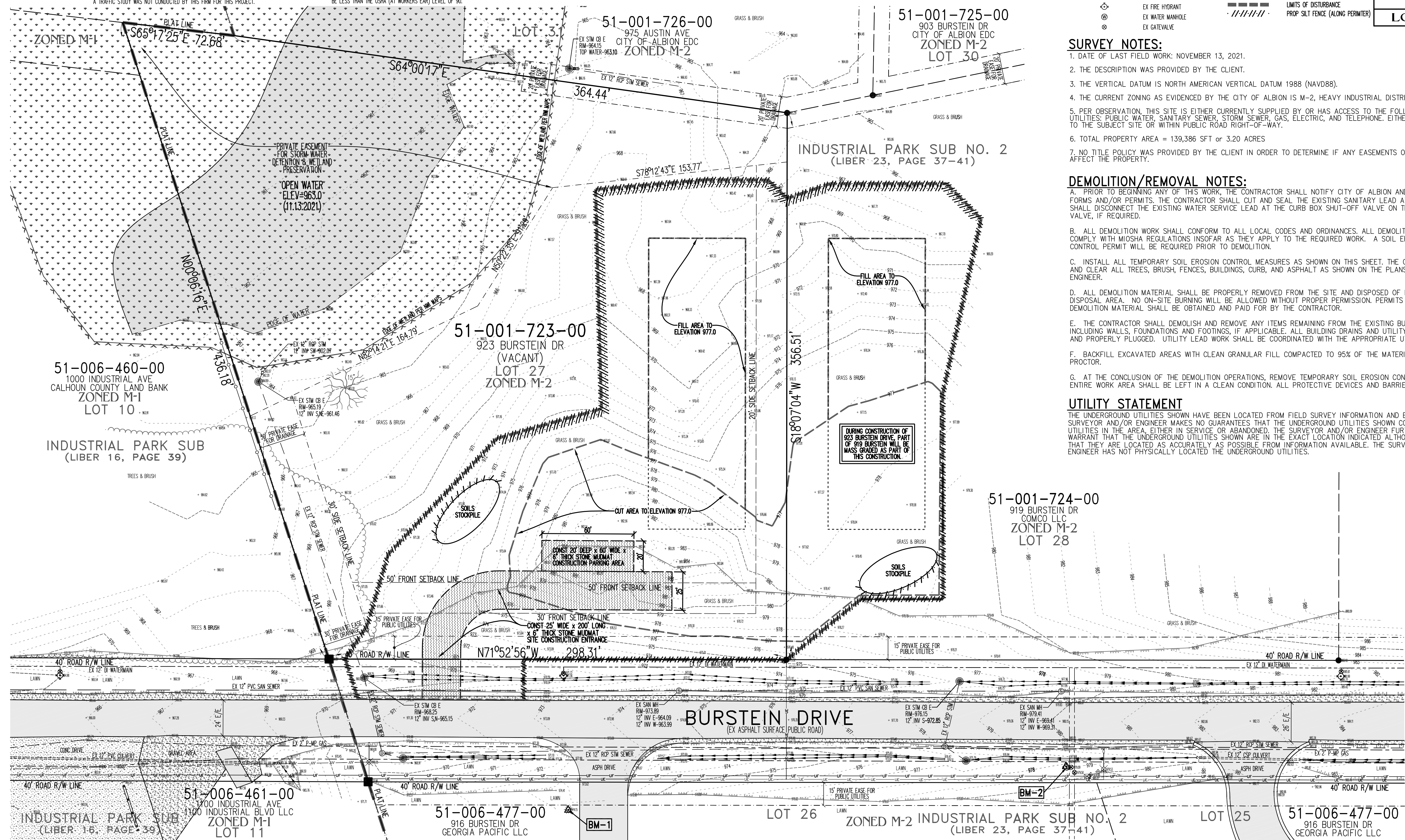
1. DATE OF LAST FIELD WORK: NOVEMBER 13, 2021.
2. THE DESCRIPTION WAS PROVIDED BY THE CLIENT.
3. THE VERTICAL DATUM IS NORTH AMERICAN VERTICAL DATUM 1988 (NAVD88).
4. THE CURRENT ZONING AS EVIDENCED BY THE CITY OF ALBION IS M-2, HEAVY INDUSTRIAL DISTRICT.
5. PER OBSERVATION, THIS SITE IS EITHER CURRENTLY SUPPLIED BY OR HAS ACCESS TO THE FOLLOWING PUBLIC UTILITIES: PUBLIC WATER, SANITARY SEWER, STORM SEWER, GAS, ELECTRIC, AND TELEPHONE. EITHER LOCATED ADJACENT TO THE SUBJECT SITE OR WITHIN PUBLIC ROAD RIGHT-OF-WAY.
6. TOTAL PROPERTY AREA = 139,386 SFT OR 3.20 ACRES
7. NO TITLE POLICY WAS PROVIDED BY THE CLIENT IN ORDER TO DETERMINE IF ANY EASEMENTS OR RESTRICTIONS AFFECT THE PROPERTY.

DEMOLITION/REMOVAL NOTES:

- A. PRIOR TO BEGINNING ANY OF THIS WORK, THE CONTRACTOR SHALL NOTIFY CITY OF ALBION AND FILL OUT THE NECESSARY FORMS AND/OR PERMITS. THE CONTRACTOR SHALL CUT AND SEAL THE EXISTING SANITARY LEAD AT THE PROPERTY LINE AND SHALL DISCONNECT THE EXISTING WATER SERVICE LEAD AT THE CURB BOX SHUT-OFF VALVE ON THE BUILDING SIDE OF THE VALVE, IF REQUIRED.
- B. ALL DEMOLITION WORK SHALL CONFORM TO ALL LOCAL CODES AND ORDINANCES. ALL DEMOLITION OPERATIONS SHALL COMPLY WITH MIOSHA REGULATIONS INSOFAR AS THEY APPLY TO THE REQUIRED WORK. A SOIL EROSION AND SEDIMENTATION CONTROL PERMIT WILL BE REQUIRED PRIOR TO DEMOLITION.
- C. INSTALL ALL TEMPORARY SOIL EROSION CONTROL MEASURES AS SHOWN ON THIS SHEET. THE CONTRACTOR SHALL REMOVE AND CLEAR ALL TREES, BRUSH, FENCES, BUILDINGS, CURB, AND ASPHALT AS SHOWN ON THE PLANS OR AS DIRECTED BY THE ENGINEER.
- D. ALL DEMOLITION MATERIAL SHALL BE PROPERLY REMOVED FROM THE SITE AND DISPOSED OF IN A LEGALLY DESIGNATED DISPOSAL AREA. NO ON-SITE BURNING WILL BE ALLOWED WITHOUT PROPER PERMISSION. PERMITS AND FEES FOR DISPOSAL OF DEMOLITION MATERIAL SHALL BE OBTAINED AND PAID FOR BY THE CONTRACTOR.
- E. THE CONTRACTOR SHALL DEMOLISH AND REMOVE ANY ITEMS REMAINING FROM THE EXISTING BUILDING, IN ITS ENTIRETY, INCLUDING WALLS, FOUNDATIONS AND FOOTINGS, IF APPLICABLE. ALL BUILDING DRAINS AND UTILITY LEADS SHALL BE LOCATED AND PROPERLY PLUGGED. UTILITY LEAD WORK SHALL BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANY.
- F. BACKFILL EXCAVATED AREAS WITH CLEAN GRANULAR FILL COMPACTED TO 95% OF THE MATERIAL UNIT WEIGHT BY MODIFIED PROCTOR.
- G. AT THE CONCLUSION OF THE DEMOLITION OPERATIONS, REMOVE TEMPORARY SOIL EROSION CONTROL DEVICES, AND THE ENTIRE WORK AREA SHALL BE LEFT IN A CLEAN CONDITION. ALL PROTECTIVE DEVICES AND BARRIERS SHALL BE REMOVED.

UTILITY STATEMENT

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS THE SURVEYOR AND/OR ENGINEER MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR AND/OR ENGINEER FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED, ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR AND/OR ENGINEER HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.



BENCHMARK NO. 1
NORTH EDGE OF A CONCRETE LIGHT POLE BASE, SOUTH SIDE OF BURSTEIN DRIVE, AS SHOWN ELEVATION=976.91 (NAVD88)

BENCHMARK NO. 2
ARROW ON EX FIRE HYDRANT, SOUTH SIDE OF BURSTEIN DRIVE, AS SHOWN ELEVATION=980.65 (NAVD88)



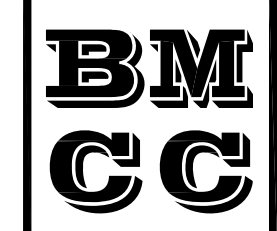
Know what's below. Call before you dig.

BMCC:005/091121/ANA/AMG/923 BURSTEIN - TOPO SURVEY EX CONDITIONS - C-2

SCALE: 1"=30'
JOB NO. 091121

OWNER/DEVELOPER:
ANA DREAM, LLC
12345 HOWLAND PARK DRIVE
PLYMOUTH, MI 48179
CONTACT: HADI SAEED

PART OF WEST 1/2,
SECTION 34, T2N-R4W,
ALBION CITY, CALHOUN CO, MI

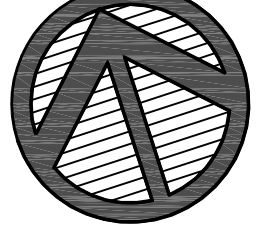


BM CONSTRUCTION CONSULTANTS
2240 LAUDERDALE STREET
FLINT, MICHIGAN 48532
PHONE: 810.423.5014
EMAIL: BMCONSTRUCTION@COMCAST.NET

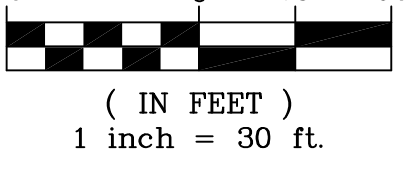
**SURVEY OF EX CONDITIONS & REMOVAL PLAN FOR:
PROPOSED MARIJUANA GROW FACILITY**
923 BURSTEIN DRIVE, ALBION, MI 49224

REVISIONS 01.15.2022	DRN. BY: DSN BY: CHK'D BY: APPR BY:	J.R.B. J.R.B. J.B.M. J.B.M.	12.03.2021 " " "	SHEET NO: C-2
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NORTH



GRAPHIC SCALE



LEGAL DESCRIPTION (AS PROVIDED):

PARCEL NO. 51-001-723-00
LOT 27, INDUSTRIAL PARK SUBDIVISION #2, AS RECORDED IN LIBER 23, PAGES 37-41, C.C.R. PART OF THE WEST HALF, SECTION 34, T2S-R4W, CITY OF ALBION, CALHOUN COUNTY, MICHIGAN

EXISTING ZONING INFORMATION:

ACCORDING TO THE CITY OF ALBION ZONING ORDINANCE THIS PROPERTY IS CURRENTLY ZONED M-2 (HEAVY INDUSTRIAL DISTRICT), AND IS SUBJECT TO THE FOLLOWING CONDITIONS:
1) MINIMUM LOT SIZE = NONE SPECIFIED
2) MINIMUM LOT WIDTH = NONE SPECIFIED
3) FRONT SETBACK = 10 FEET
4) SIDE SETBACK = 10 FEET, 20 FEET COMBINED
5) REAR SETBACK = 10 FEET
6) MAXIMUM LOT COVERAGE = NONE
7) MAXIMUM HEIGHT = 3 STOREYS OR 36 FEET (PER AP STANDARDS)

TRAFFIC IMPACT:

A TRAFFIC STUDY WAS NOT CONDUCTED BY THIS FIRM FOR THIS PROJECT.

FLOOD PLAIN NOTE:

THIS PROPERTY LIES IN ZONE "X" (AREAS OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) OF THE FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 2802502B90 WHICH BEARS AN EFFECTIVE DATE OF APRIL 4, 2011 AND IS NOT IN A SPECIAL FLOOD HAZARD AREA.

WETLAND NOTE:

ACCORDING TO THE NATIONAL WETLAND INVENTORY MAPS OF MICHIGAN, THERE ARE WETLAND AREAS ON THIS PROPERTY.

SEWER & WATER NOTES:

THE SITE IS CURRENTLY SERVICED BY PUBLIC WATER AND PUBLIC SANITARY SEWER.
PROJECT NARRATIVE:
IT IS NOT ANTICIPATED THAT THERE WILL BE ANY SUBSTANTIAL INCREASE IN DUST, ODOR, SMOKE, FUMES, NOISE, OR LIGHTS. THE CONTRACTOR WILL BE REQUIRED TO COMPLY WITH ANY APPLICABLE ZONING ORDINANCE REQUIREMENTS REGARDING THESE ITEMS. THE ON-SITE CONSTRUCTION ACTIVITIES WILL INCLUDE THE USE OF EQUIPMENT SUCH AS A BACK HOE, DOZER, TRUCKS, CONCRETE MIXER GENERATORS, COMPRESSORS, POWER SAWS, AND ELECTRIC DRILLS, ETC. THE AVERAGE SOUND LEVEL WILL BE LESS THAN THE OSHA (AT WORKERS EAR) LEVEL OF 90.

GRADING, DRAINAGE, PAVING & UTILITY PLAN

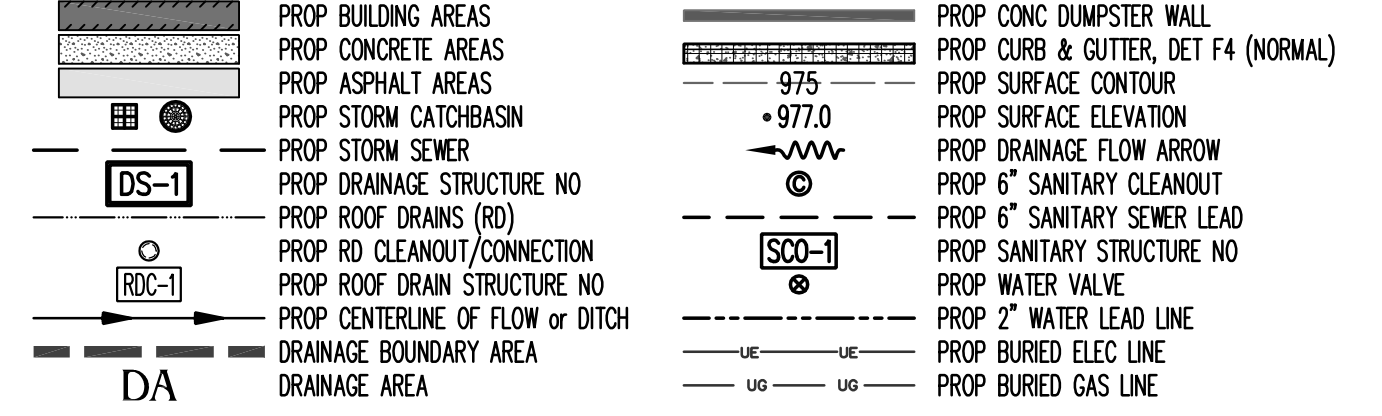
SANITARY SEWER STRUCTURE SCHEDULE

Table listing sanitary sewer structures including Sanitary Cleanout No. 1 (SCC-1), Sanitary Cleanout No. 2 (SCC-2), and various manholes (M-1, M-2, M-3, M-4, M-5, M-6, M-7, M-8, M-9, M-10, M-11, M-12).

ROOF DRAIN (RD) STRUCTURE SCHEDULE

Table listing roof drain structures including Roof Drain Cleanout No. 1 (RDC-1) through RDC-10.

LEGEND



CONSTRUCTION NOTES:

- 1. PROPOSED SPOT ELEVATIONS ARE TO TOP OF PAVEMENT UNLESS NOTED OTHERWISE. SEE SHEET C-5 FOR MISCELLANEOUS CONSTRUCTION DETAILS TO CALCULATE THE TOP OF WALK OR TOP OF CURB ELEVATIONS.
2. ALL PROPOSED STORM SEWER SHALL BE REINFORCED CONCRETE PIPE (RCP) ALL DRAINAGE STRUCTURES SHALL HAVE 40' OF 4" UNDERDRAIN OUT OF EACH STRUCTURE. SEE SHEET C-5. ALL ROOF DRAIN PIPE SHALL BE 6" OR 8" SCH-40 PVC PIPE, BENDS, AND WYES, OR APPROVED EQUAL. ALL FRAMES AND COVERS FOR THE ROOF DRAIN CLEANOUTS SHALL BE EAST JORDAN IRON WORKS FRAME NO. 363921, PRODUCT NO. 003639125, AND COVER TYPE 3639A1 (STORM), PRODUCT NO. 003639227, OR APPROVED EQUAL.
3. ALL PROPOSED UTILITIES UNDER PROPOSED PAVEMENT SHALL BE BACKFILLED WITH CLASS II SAND COMPACTED TO A MINIMUM 95% OF MAXIMUM UNIT WEIGHT BY MODIFIED PROCTOR FOR THE FULL DEPTH OF THE TRENCH.
4. ALL PROPOSED SANITARY SEWER AND WATER LEADS SHALL BE CONSTRUCTED PER THE CITY OF ALBION STANDARD DETAILS AND STANDARD CONSTRUCTION NOTES.
5. THE BARRIER FREE RAMPS MUST BE BUILT PER ADA STANDARDS AND SPECIFICATIONS, SEE DETAILS SHEET C-5.
6. STEEL END SECTIONS AND PLAIN STONE RIPRAP ARE TO BE PLACED AT THE ENDS OF THE DRIVEWAY CULVERT.

GENERAL NOTES:

- 1. FOR PROTECTION OF UNDERGROUND UTILITIES AND IN CONFORMANCE WITH PUBLIC ACT 53, 1974, THE CONTRACTOR SHALL DIAL 1-800-482-7171 A MINIMUM OF THREE FULL WORKING DAYS, EXCLUDING SATURDAYS, SUNDAYS, AND HOLIDAYS, PRIOR TO BEGINNING EACH EXCAVATION IN AREAS WHERE PUBLIC UTILITIES HAVE NOT PREVIOUSLY BEEN LOCATED. MEMBERS WILL BE ROUTINELY NOTIFIED. THIS DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF NOTIFYING UTILITY OWNERS WHO MAY NOT BE A PART OF THE "MISS DIG" ALERT SYSTEM.
2. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO BEGINNING CONSTRUCTION, AND WILL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES DURING CONSTRUCTION.
3. THE CONTRACTOR SHALL COMPLY WITH ALL STATE AND LOCAL REGULATIONS FOR WORK AT THE SITE. THIS SHALL INCLUDE ALL MICHIGAN REGULATIONS.
4. THE CONTRACTOR SHALL CONTROL NOISE, CARRY OUT A PROGRAM OF DUST CONTROL, AND SHALL ALLOW NO ON-SITE BURNING, WITHOUT APPROVAL FROM LOCAL FIRE DEPARTMENT(S).
5. ALL WORK NECESSARY TO COMPLETE THIS PROJECT SHALL CONFORM TO ALL RELATED CITY OF ALBION CODES AND ORDINANCES.
6. IF ANY UTILITY POLES ARE IMPACTED BY CONSTRUCTION THEY SHALL BE PROTECTED AND SUPPORTED BY THE CONTRACTOR AT THE CONTRACTORS EXPENSE.
7. THE CONTRACTOR SHALL BE REQUIRED TO MAINTAIN REASONABLE ACCESS TO AND FROM THE DRIVE LINES AND DRIVE OPERATIONS DURING CONSTRUCTION. ALL WORK SHALL BE INCLUDED IN THE PRICE OF THE CONTRACT WORK.
8. THE CONTRACTOR SHALL FURNISH, PLACE AND MAINTAIN PLASTIC DIRT BARRETTES AS REQUIRED TO PROTECT THE TRAVELING PUBLIC DURING CONSTRUCTION OPERATIONS ON THIS PROJECT.
9. ALL LAWN OR TURF AREAS DISTURBED DURING CONSTRUCTION SHALL BE RESTORED WITH 4" TOPSOIL, SURFACE SEED, FERTILIZER, MULCH, AND MULCH BLANKET IN ACCORDANCE WITH THE M.D.O.T. 2012 STANDARD SPECIFICATIONS FOR CONSTRUCTION.
10. PUBLIC UTILITIES WHERE SHOWN ARE BASED ON INFORMATION PROVIDED BY THE UTILITY OWNERS. NEITHER THE OWNER OR THE ENGINEER ARE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION. IT IS THE CONTRACTORS RESPONSIBILITY TO VERIFY THE EXACT LOCATION OF ALL UNDERGROUND UTILITIES, PRIOR TO CONSTRUCTION.
11. ALL PUBLIC UTILITIES WHICH ARE NOT TO BE MOVED SHALL BE PROTECTED AND SUPPORTED BY THE CONTRACTOR AT THEIR OWN EXPENSE.
12. ALL SAW CUTTING REQUIRED FOR THE REMOVAL OF PAVEMENT AREAS SHALL BE AS SHOWN ON THE PLANS, OR AS DIRECTED BY THE OWNER AND/OR ENGINEER.
13. THE CONTRACTOR MUST COORDINATE ALL PROJECT OPERATIONS WITH THE OWNER AND/OR ENGINEER PRIOR TO ANY REMOVALS. THE CONTRACTOR MUST OBTAIN APPROVAL FROM THE OWNER AND/OR ENGINEER PRIOR TO PROCEEDING WITH ANY PROJECT WORK.
14. AT THE COMPLETION OF CONSTRUCTION THE CONTRACTOR MUST CLEAN AND REMOVE ALL DIRT AND DEBRIS FROM ALL PAVEMENT AREAS AS REQUIRED BY THE OWNER AND/OR ENGINEER.

ALBION GROW - 923 BURSTEIN - 10 YEAR STORM SEWER SYSTEM DESIGN

Manning Equation: Q = (1.486/n) A (Rh)^2/3 S^1/2, Q = C I A, I = 175.00 / T + 25.00

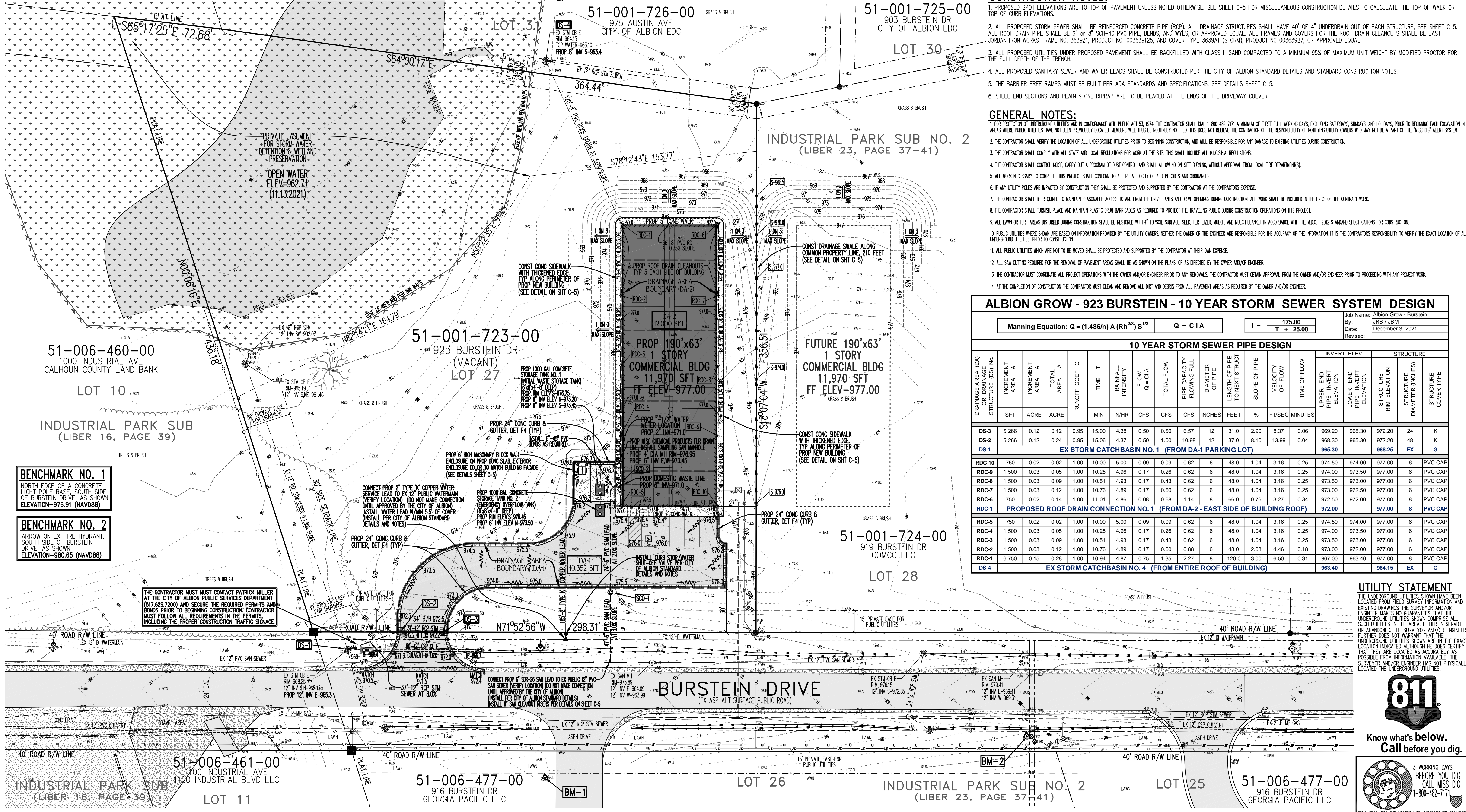
10 YEAR STORM SEWER PIPE DESIGN table with columns for Drainage Area (DA), Structure (DS), Increment Area (AI), Total Area (A), Runoff Coef (C), Time (T), Rainfall Intensity (I), Flow (Q), Pipe Capacity (CFS), Diameter of Pipe (INCHES), Slope of Pipe (%), Velocity of Flow (FT/SEC), Time of Flow (MINUTES), Invert Elev., Structure Elev., Structure Rim Elev., Structure Diameter (INCHES), and Structure Cover Type.

UTILITY STATEMENT

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR AND/OR ENGINEER MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR AND/OR ENGINEER FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR AND/OR ENGINEER HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.



3 WORKING DAYS BEFORE YOU DIG CALL MISS DIG 1-800-482-7171



BENCHMARK NO. 1 NORTH EDGE OF A CONCRETE LIGHT POLE BASE, SOUTH SIDE OF BURSTEIN DRIVE, AS SHOWN ELEVATION=976.91 (NAVD88)

THE CONTRACTOR MUST CONTACT PATRICK MILLER AT THE CITY OF ALBION PUBLIC SERVICES DEPARTMENT (517.629.7200) AND SECURE THE REQUIRED PERMITS AND BONDS PRIOR TO BEGINNING CONSTRUCTION. CONTRACTOR MUST FOLLOW ALL REQUIREMENTS IN THE PERMITS, INCLUDING THE PROPER CONSTRUCTION TRAFFIC SIGNAGE.

SCALE: 1"=30' JOB NO. 091121

OWNER/DEVELOPER: ANA DREAM, LLC 12345 HOWLAND PARK DRIVE PLYMOUTH, MI 48179 CONTACT: HADI SAEED

PART OF WEST 1/2, SECTION 34, T2N-R4W, ALBION CITY, CALHOUN CO, MI

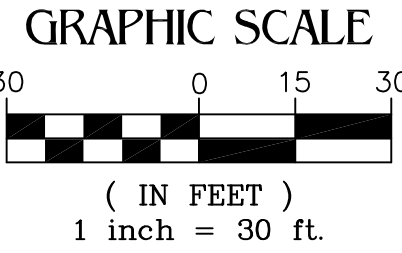
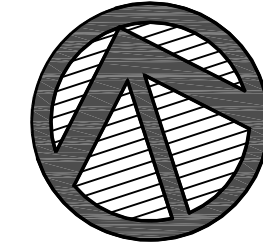


BM CONSTRUCTION CONSULTANTS 2240 LAUDERDALE STREET FLINT, MICHIGAN 48532 PHONE: 810.423.5014 EMAIL: BMCONSTRUCTION@COMCAST.NET

GRADING, DRAINAGE, PAVING & UTILITY PLAN FOR: PROPOSED MARIHUANA GROW FACILITY 923 BURSTEIN DRIVE, ALBION, MI 49224

REVISIONS table with columns for Date, Description, and Drawn/Checked/Approved by.

NORTH



LEGAL DESCRIPTION (AS PROVIDED):

PARCEL NO. 51-001-723-00
LOT 27, INDUSTRIAL PARK SUBDIVISION #2, AS RECORDED IN LIBER 23, PAGES 37-41, C.C.R. PART OF THE WEST HALF, SECTION 34, T2S-R4W, CITY OF ALBION, CALHOUN COUNTY, MICHIGAN

FLOOD PLAIN NOTE:

THIS PROPERTY LIES IN ZONE "X" (AREAS OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) OF THE FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 26030C02090 WHICH BEARS AN EFFECTIVE DATE OF APRIL 4, 2011 AND IS NOT IN A SPECIAL FLOOD HAZARD AREA.

WETLAND NOTE:

ACCORDING TO THE NATIONAL WETLAND INVENTORY MAPS OF MICHIGAN, THERE ARE WETLAND AREAS ON THIS PROPERTY.

DRAINAGE STRUCTURE SCHEDULE

NOTE: CONSTRUCT PER CITY OF ALBION STANDARD DRAINAGE STRUCTURE & STORM SEWER CONSTRUCTION DETAILS
EX DRAINAGE STRUCT NO 1 (DS-1) DRAINAGE STRUCT NO 2 (DS-2) DRAINAGE STRUCT NO 3 (DS-3)
EX 4" DIA MANHOLE CONST 4" DIA MANHOLE CONST 2" DIA MANHOLE
W/ADOT COVER E W/ADOT COVER K & FRAME W/ADOT COVER K & FRAME
EX RM-968.25 PROP RM-972.20 PROP RM-972.20 PROP RM-972.20
PROP 12" INV E-965.30 PROP 12" INV E-968.30 PROP 12" INV N-969.20
EX 12" INV N-965.15

ROOF DRAIN (RD) STRUCTURE SCHEDULE

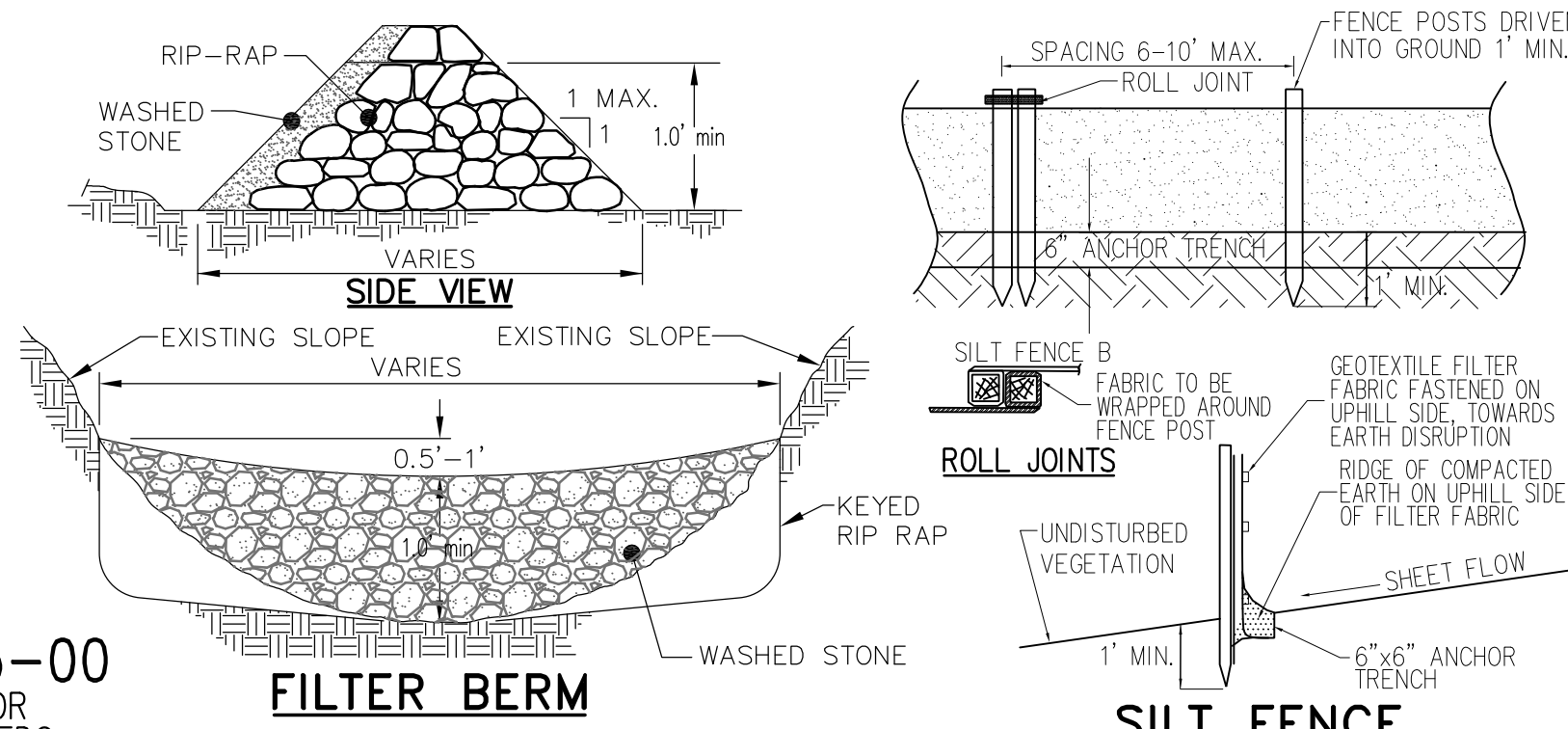
NOTE: CONSTRUCT CLEANOUT/CONNECTION PER STANDARD DETAIL SHOWN ON SHEET C-5 OF THESE PLANS
ROOF DRAIN CLEANOUT NO 1 (ROC-1) CONST 6" CLEANOUT/CONNECTION RISER (E-W 15'X2' FRAME & COVER) PROP RM-971.00 PROP 6" INV N-971.50
ROOF DRAIN CLEANOUT NO 2 (ROC-2) CONST 6" CLEANOUT/CONNECTION RISER (E-W 15'X2' FRAME & COVER) PROP RM-971.00 PROP 6" INV N-971.50
ROOF DRAIN CLEANOUT NO 3 (ROC-3) CONST 6" CLEANOUT/CONNECTION RISER (E-W 15'X2' FRAME & COVER) PROP RM-971.00 PROP 6" INV N-971.50
ROOF DRAIN CLEANOUT NO 4 (ROC-4) CONST 6" CLEANOUT/CONNECTION RISER (E-W 15'X2' FRAME & COVER) PROP RM-971.00 PROP 6" INV N-971.50
ROOF DRAIN CLEANOUT NO 5 (ROC-5) CONST 6" CLEANOUT/CONNECTION RISER (E-W 15'X2' FRAME & COVER) PROP RM-971.00 PROP 6" INV N-971.50
ROOF DRAIN CLEANOUT NO 6 (ROC-6) CONST 6" CLEANOUT/CONNECTION RISER (E-W 15'X2' FRAME & COVER) PROP RM-971.00 PROP 6" INV N-971.50
ROOF DRAIN CLEANOUT NO 7 (ROC-7) CONST 6" CLEANOUT/CONNECTION RISER (E-W 15'X2' FRAME & COVER) PROP RM-971.00 PROP 6" INV N-971.50
ROOF DRAIN CLEANOUT NO 8 (ROC-8) CONST 6" CLEANOUT/CONNECTION RISER (E-W 15'X2' FRAME & COVER) PROP RM-971.00 PROP 6" INV N-971.50
ROOF DRAIN CLEANOUT NO 9 (ROC-9) CONST 6" CLEANOUT/CONNECTION RISER (E-W 15'X2' FRAME & COVER) PROP RM-971.00 PROP 6" INV N-971.50
ROOF DRAIN CLEANOUT NO 10 (ROC-10) CONST 6" CLEANOUT/CONNECTION RISER (E-W 15'X2' FRAME & COVER) PROP RM-971.00 PROP 6" INV N-971.50

SOIL EROSION & SEDIMENTATION CONTROL PLAN

LEGEND

- PROP BUILDING AREAS
PROP CONCRETE AREAS
PROP ASPHALT CATCHBASIN
PROP STORM SEWER
PROP DRAINAGE STRUCTURE NO
PROP ROOF DRAIN (RD)
PROP RD CLEANOUT/CONNECTION
PROP ROOF DRAIN STRUCTURE NO
PROP CENTERLINE OF FLOW OR DITCH
PROP CONC DUMPSIDE WALL
975
977.0
DS-1
ROC-1
PROP CURB & GUTTER, DET F4 (NORMAL)
PROP SURFACE ELEVATION
PROP DRAINAGE FLOW ARROW
PROP 6" SANITARY CLEANOUT
PROP 6" SANITARY SEWER LEAD
PROP WATER VALVE
PROP 2" WATER LEAD LINE
SILT FENCE
LIMITS OF DISTURBANCE
SOIL EROSION KEY NO.

AREA OF DISTURBANCE = 2.0 ACRES



FILTER BERM

SILT FENCE

SOIL EROSION CONTROL KEYING SYSTEM

Table with 3 columns: KEY, DETAIL, CHARACTERISTICS. Lists items 1 through 54 with descriptions of erosion control measures.

ANTI-TRACKING PAD

NOTE: CONTRACTOR TO INSTALL & MAINTAIN ANTI-TRACKING PAD. WHEN AGGREGATE BECOMES SATURATED WITH FINES, CONTRACTOR TO SCARIFY & RELAY AGGREGATE.

ANTI-TRACKING PAD DOES NOT RELIEVE CONTRACTOR FROM SWEEPING & CLEANING ADJACENT AREAS.

THE MDOT 6A STONE OR BROKEN CONCRETE IS TO BE REMOVED AND LEGALLY DISPOSED OF OFF PROPERTY UPON PROJECT COMPLETION.

SOIL EROSION AND SEDIMENTATION CONTROL (SESC) NOTES:

- 1. SOIL EROSION: THE CONTRACTOR SHALL SUBMIT A DETAILED SOIL EROSION AND SEDIMENTATION CONTROL PLAN...
2. ALL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL CONFORM TO ALL APPLICABLE REQUIREMENTS...
3. SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE PLACED PRIOR TO OR AS THE FIRST STEP IN CONSTRUCTION...
4. CONTRACTOR SHALL PLACE AND MAINTAIN ALL TEMPORARY EROSION AND SEDIMENTATION CONTROL MEASURES...
5. EROSION AND ANY SEDIMENT CREATED FROM WORK ON THIS SITE SHALL BE CONTAINED ON THE SITE...
6. ALL MUD, DIRT, AND DEBRIS TRACKED ONTO EXISTING ROADS FROM THIS SITE SHALL BE PROMPTLY REMOVED...
7. CONTRACTOR MUST IMPLEMENT APPROPRIATE MEASURES AS REQUIRED TO CONTROL DUST AT ALL TIMES...
8. DAILY INSPECTIONS SHALL BE MADE BY THE CONTRACTOR TO DETERMINE EFFECTIVENESS OF EROSION AND SEDIMENT CONTROL MEASURES...
9. FAILURE TO COMPLY WITH ALL APPLICABLE SOIL EROSION AND SEDIMENTATION CONTROL REQUIREMENTS MAY RESULT IN WORK STOPPAGE...
10. CONTRACTOR MUST IMMEDIATELY HAIL AWAY ALL EXCAVATED OR APPROVED OFF SITE LOCATION, OR TEMPORARILY STORE THE MATERIAL ON THE SITE...
11. THE CONTRACTOR MUST PROVIDE A WRITTEN SCHEDULE INDICATING THE TIMING AND SEQUENCING OF ALL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES...
12. APPROXIMATELY 2.0 ACRES WILL BE DISTURBED IN CONSTRUCTION OF THIS PROJECT, THEREFORE A NPDES STORM WATER DISCHARGE PERMIT WILL NOT BE REQUIRED.

ADDITIONAL SOIL EROSION CONTROL NOTES:

THIS SITE IS IN THE DRAINAGE DISTRICT OF THE KALAMAZOO RIVER. THE KALAMAZOO RIVER (A COUNTY DRAIN) IS LOCATED APPROXIMATELY 1,800 FEET SOUTHERLY OF THE SITE, AND IS THE CLOSEST OPEN DRAIN OR WATER BODY TO THE SITE.

SESC CONSTRUCTION SEQUENCE:

- 1. PLACE ALL TEMPORARY SOIL EROSION CONTROL MEASURES AS PER THESE PLANS.
2. ROUGH GRADE SITE, INSTALL PROPOSED STORM SEWER, SANITARY SEWER LEAD, AND THE WATER LEAD. BEGIN BUILDING CONSTRUCTION.
3. FINAL GRADE ALL DISTURBED AREAS TO THE ELEVATIONS AND GRADES AS SHOWN ON THESE PLANS.
4. PLACE 4" TOPSOIL, FERTILIZER, SEED, AND MULCH TO RESTORE ALL DISTURBED TURF AREAS.
5. REMOVE ALL TEMPORARY SOIL EROSION CONTROL MEASURES AFTER ALL SITE CONSTRUCTION HAS BEEN COMPLETED, AND ALL NEW TURF AREAS HAVE BEEN FULLY ESTABLISHED.
6. CONTRACTOR SHALL KEEP STREET AND ALL OTHER PAVEMENT CLEAN AT ALL TIMES, AND PREVENT DUST POLLUTION.

SESC MAINTENANCE NOTES:

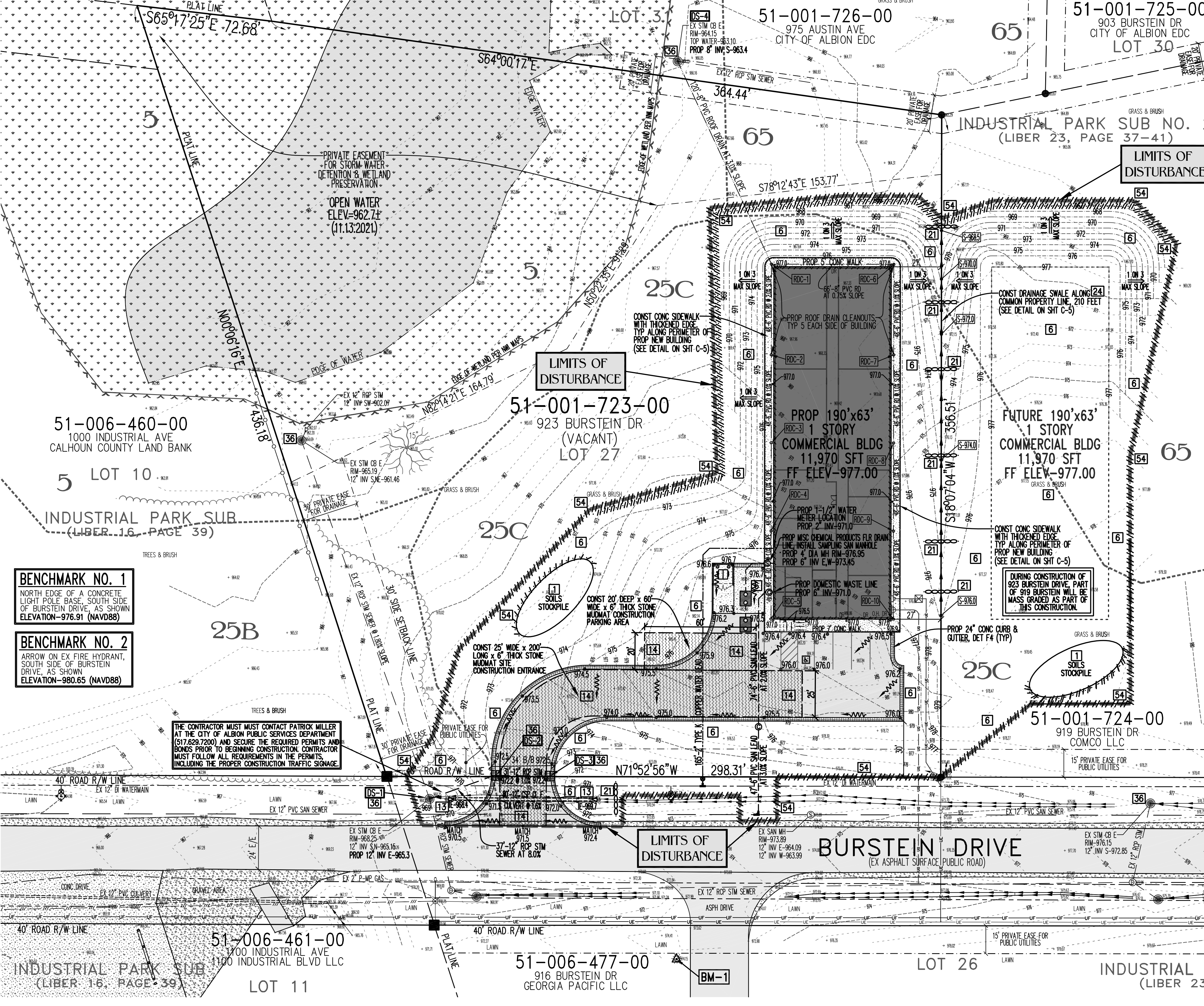
- 1. FILTER BARRIERS SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING ANY PROLONGED RAINFALL. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.
2. IF THE FABRIC DECOMPOSES OR BECOMES INEFFECTIVE PRIOR TO THE END OF THE EXPECTED USABLE LIFE, AND THE BARRIER IS STILL REQUIRED, THE FABRIC SHALL BE REPLACED PROMPTLY.
3. ALL TEMPORARY EROSION CONTROL MEASURES SHALL BE CLEANED AND MAINTAINED AS REQUIRED SUCH THAT THE MEASURES ARE EFFECTIVE AND IN PROPER WORKING ORDER AT ALL TIMES.
4. ALL MUD/DIRT TRACKED ONTO ROADS OR THE PARKING LOT FROM THE SITE DUE TO CONSTRUCTION SHALL BE PROMPTLY REMOVED BY THE CONTRACTOR.
5. ALL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES, BOTH PERMANENT AND TEMPORARY, SHALL BE THE RESPONSIBILITY OF THE OWNER AND/OR CONTRACTOR.

ON-SITE SOIL TYPES:

PER USDA SOILS MAPS, THE FOLLOWING SOILS ARE THE FOUND ON-SITE:
5 - Palms muck, 0 to 1 percent slopes
25B - Kalamazoo loam, 2 to 6 percent slopes
25C - Kalamazoo loam, 6 to 12 percent slopes
65 - Sebawa loam, 0 to 2 percent slopes

UTILITY STATEMENT

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR AND/OR ENGINEER MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR AND/OR ENGINEER FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR AND/OR ENGINEER HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.



BENCHMARK NO. 1
NORTH EDGE OF A CONCRETE LIGHT POLE BASE, SOUTH SIDE OF BURSTEIN DRIVE, AS SHOWN ELEVATION-976.91 (NAVD88)

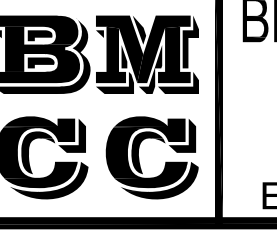
BENCHMARK NO. 2
ARROW ON EX FIRE HYDRANT, SOUTH SIDE OF BURSTEIN DRIVE, AS SHOWN ELEVATION-980.65 (NAVD88)

THE CONTRACTOR MUST CONTACT PATRICK MILLER AT THE CITY OF ALBION PUBLIC SERVICES DEPARTMENT (517.629.7200) AND SECURE THE REQUIRED PERMITS AND BONDS PRIOR TO BEGINNING CONSTRUCTION. CONTRACTOR MUST FOLLOW ALL REQUIREMENTS IN THE PERMITS, INCLUDING THE PROPER CONSTRUCTION TRAFFIC SIGNAGE.

SCALE: 1"=30'
JOB NO. 091121

OWNER/DEVELOPER:
ANA DREAM, LLC
12345 HOWLAND PARK DRIVE
PLYMOUTH, MI 48179
CONTACT: HADI SAEED

PART OF WEST 1/2,
SECTION 34, T2N-R4W,
ALBION CITY, CALHOUN CO, MI



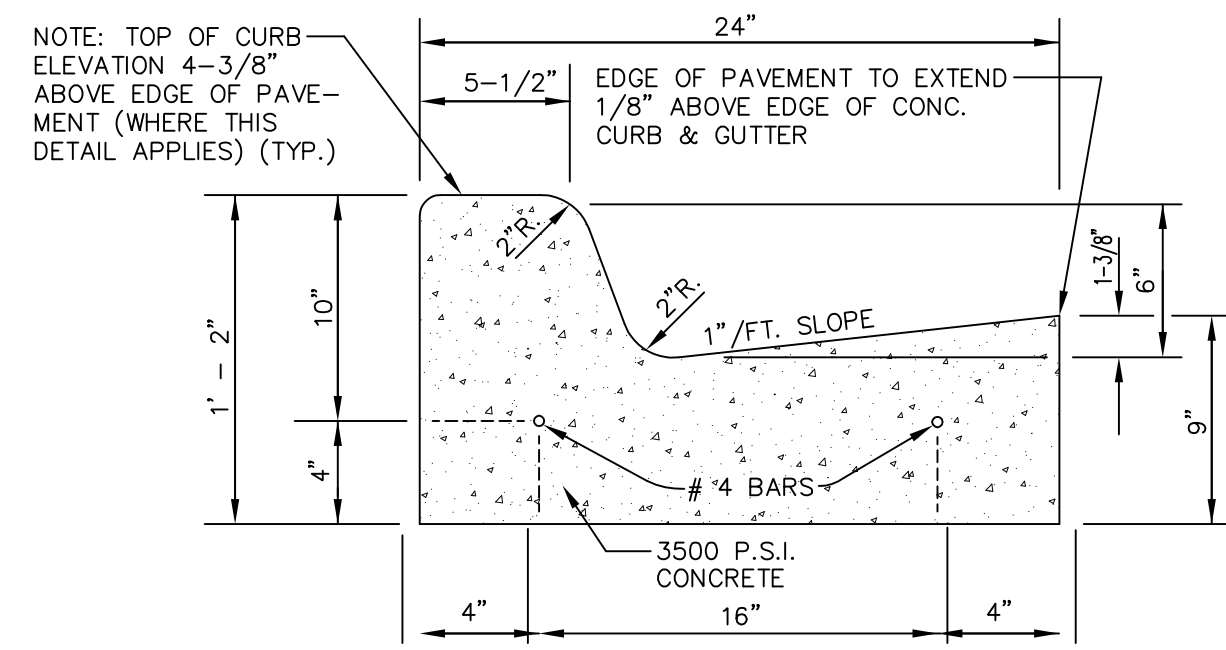
BM CONSTRUCTION CONSULTANTS
2240 LAUDERDALE STREET
FLINT, MICHIGAN 48852
PHONE: 810.423.5014
EMAIL: BMCONSTRUCTION@COMCAST.NET

SOIL EROSION & SEDIMENTATION CONTROL PLAN FOR:
PROPOSED MARIJUANA GROW FACILITY
923 BURSTEIN DRIVE, ALBION, MI 49224

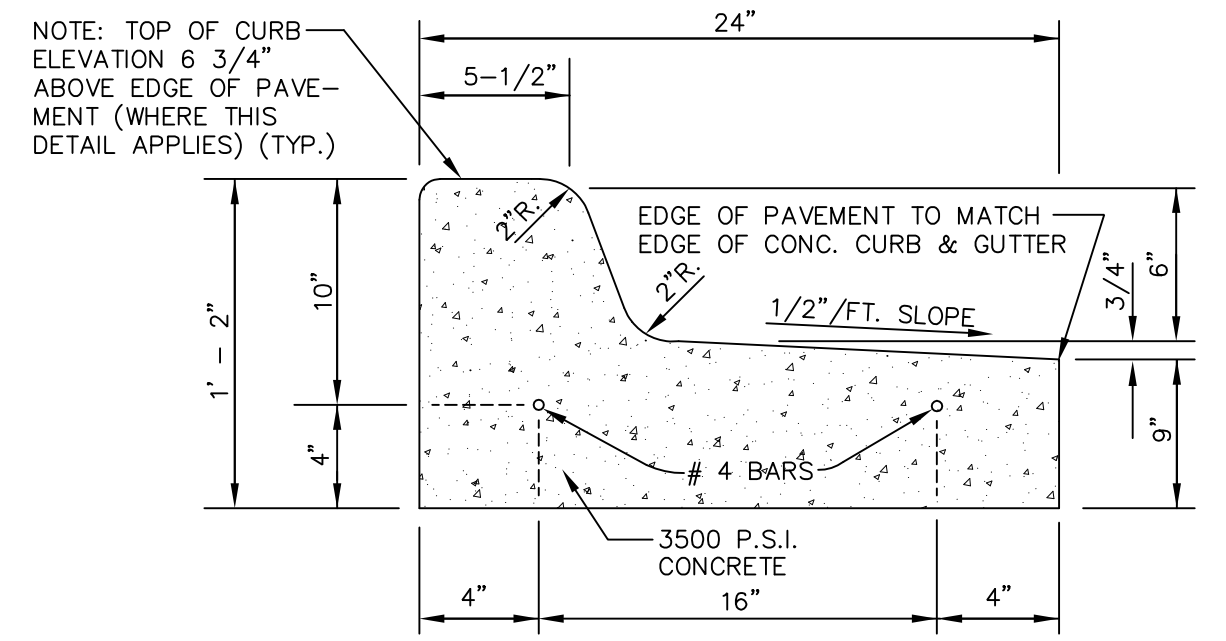
Table with columns: REVISIONS, DRN. BY, J.R.B., 12.03.2021, SHEET NO: C-4. Includes revision history and sheet information.

BMCC-0055/091121/ANADREAM/923 BURSTEIN - SESC PLAN(DWG) - C-4

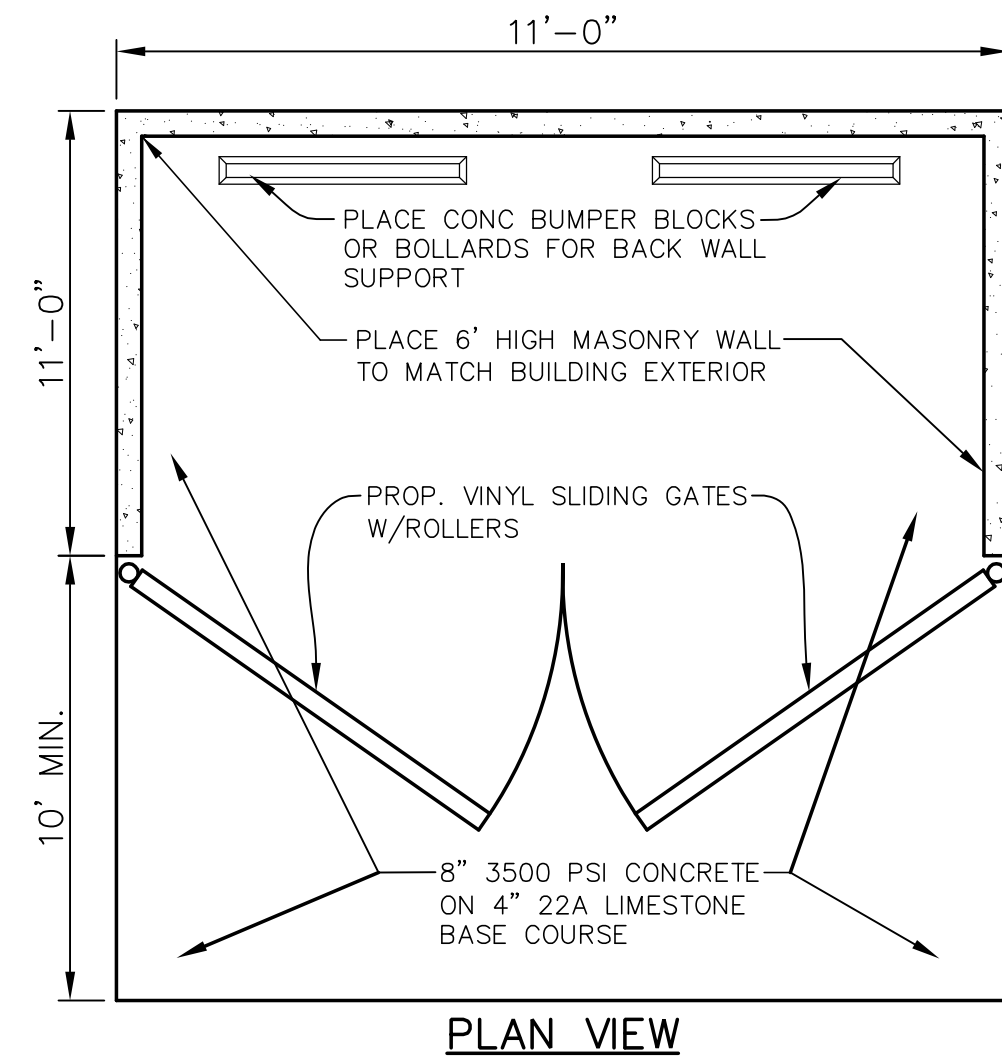
STANDARD CONSTRUCTION DETAILS & NOTES



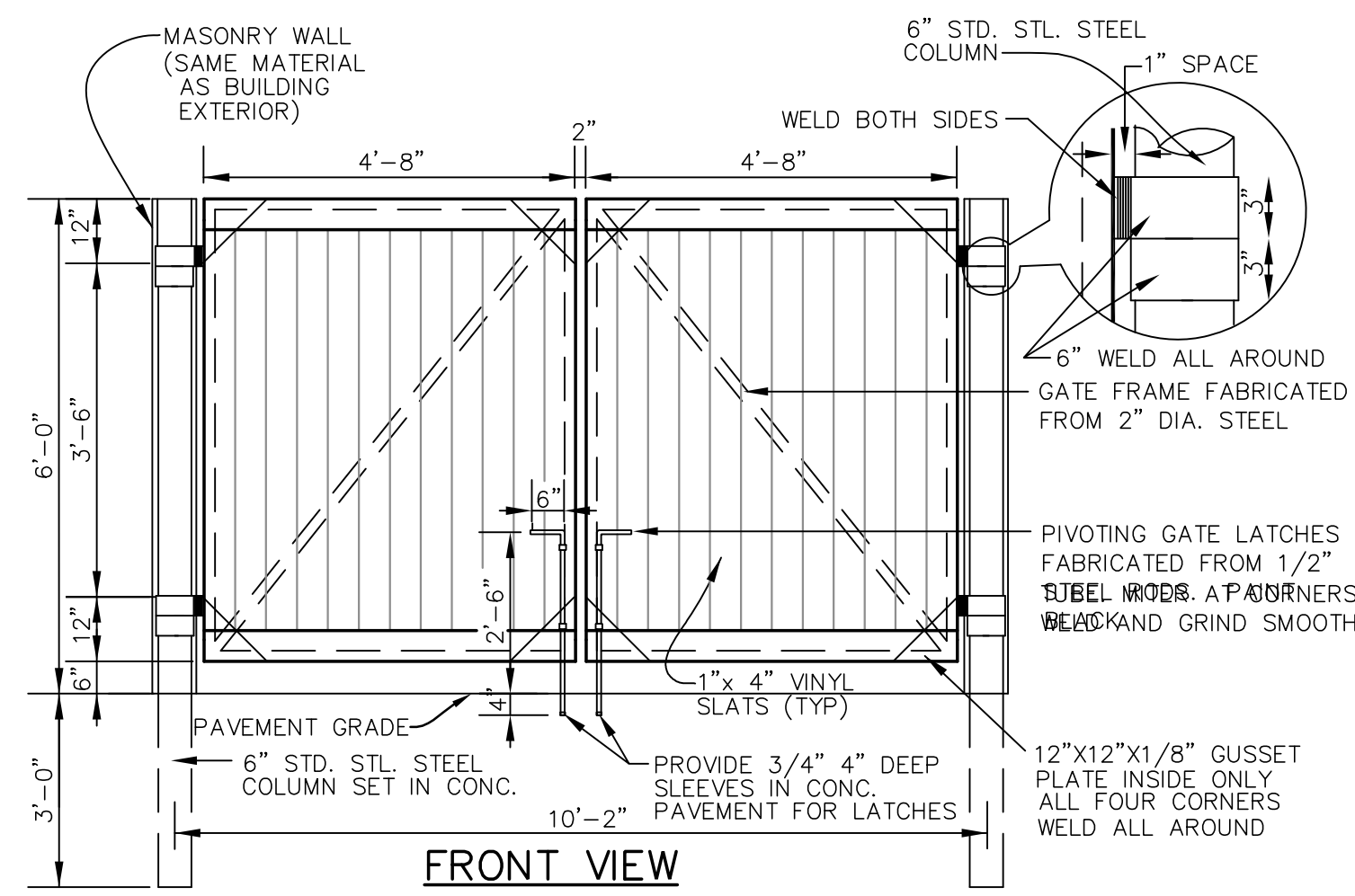
CONCRETE CURB & GUTTER DETAIL F4 (W/NORMAL GUTTER GRADE) APPLIES WHEN GRADE SLOPES TO



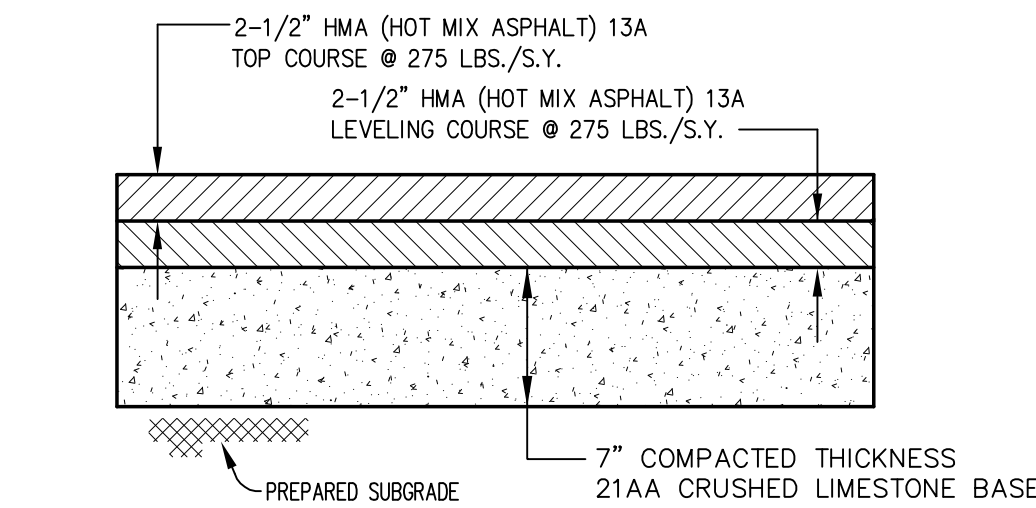
CONCRETE CURB & GUTTER DETAIL F4-MOD (W/REVERSE GUTTER GRADE) APPLIES WHEN GRADE SLOPES AWAY



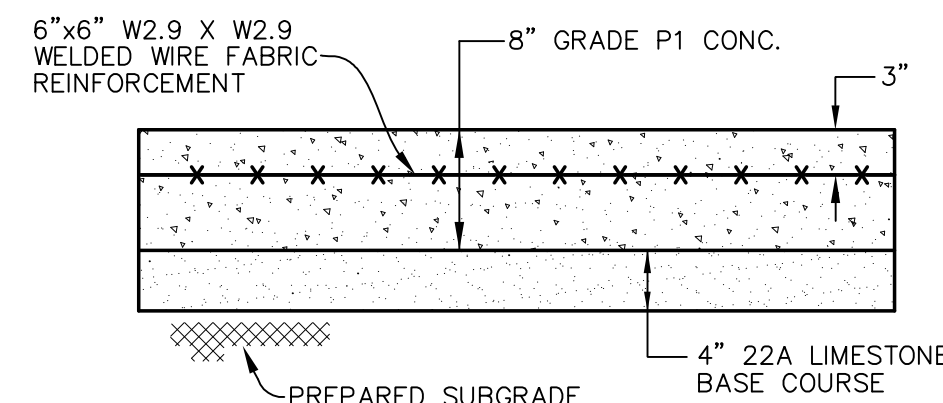
PLAN VIEW



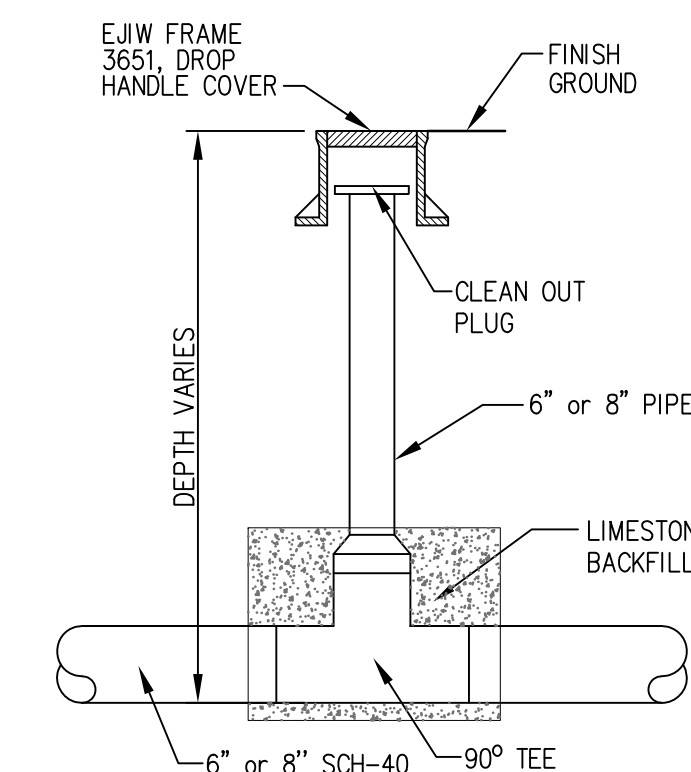
DUMPSTER ENCLOSURE DETAIL



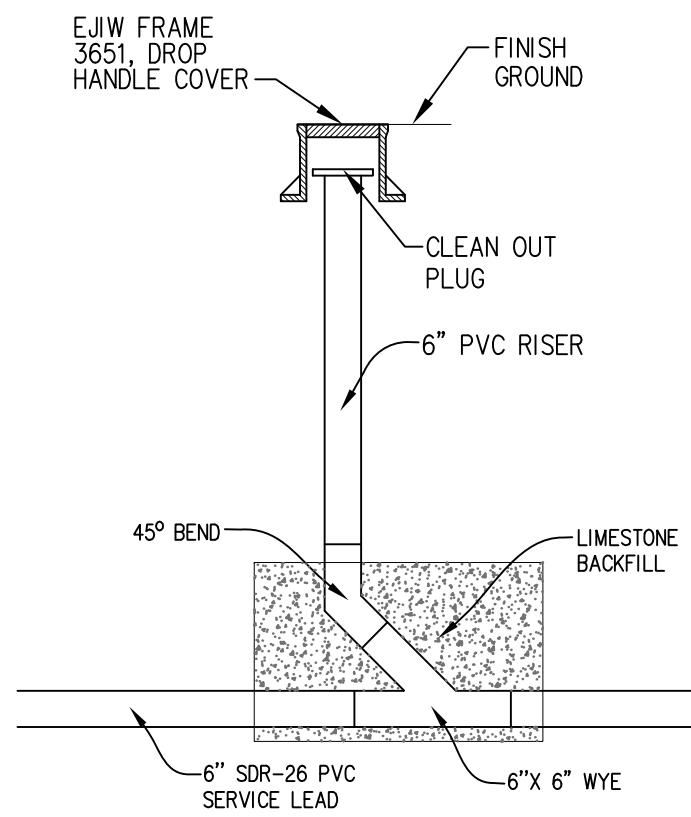
HEAVY DUTY APPROACH & PARKING LOT PAVEMENT X-SECTION



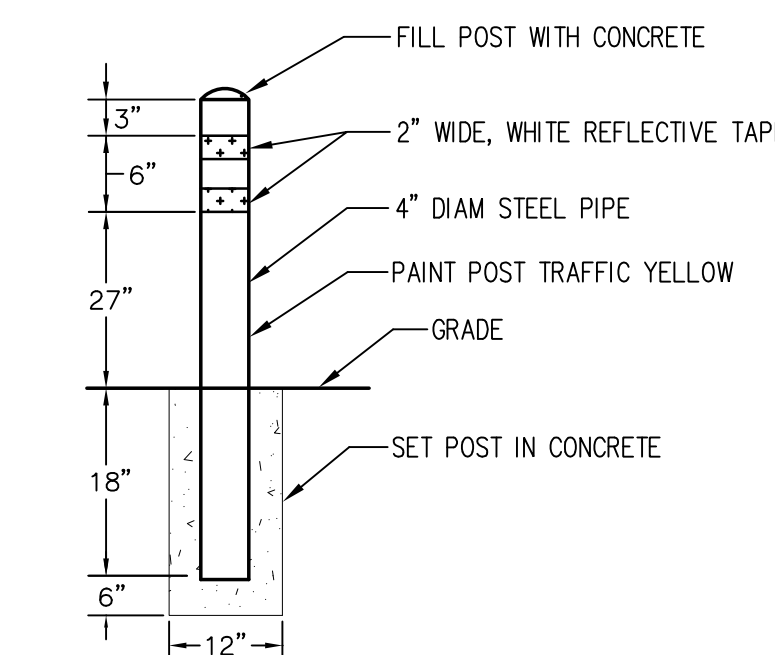
DUMPSTER ENCLOSURE CONCRETE PAVEMENT X-SECTION



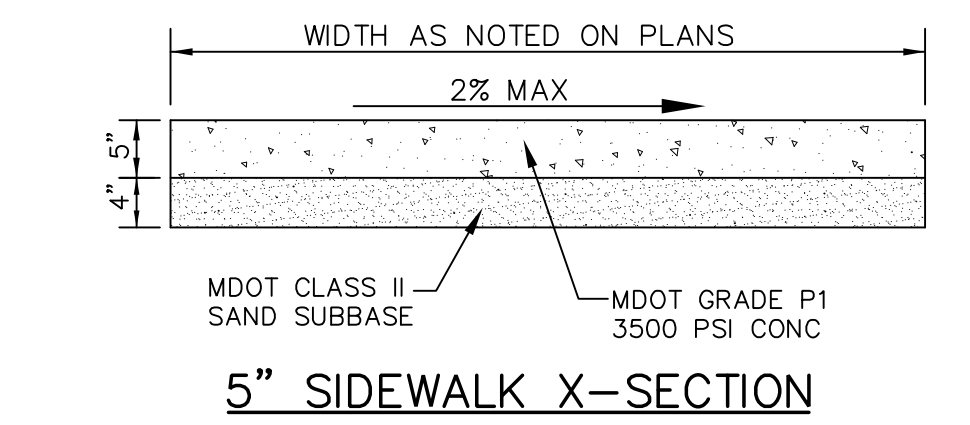
STORM CLEANOUT R.D. DETAIL



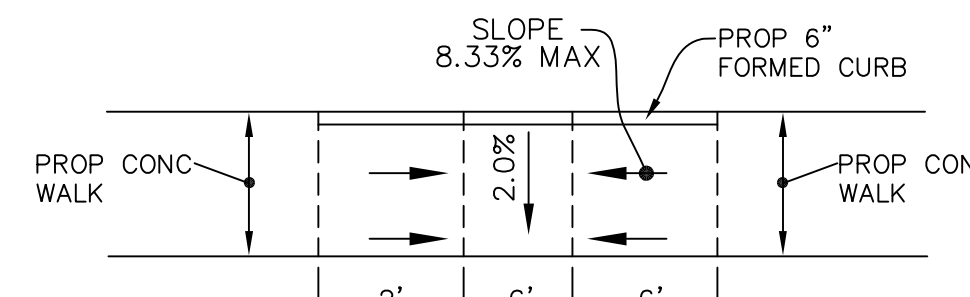
SANITARY CLEAN-OUT DETAIL



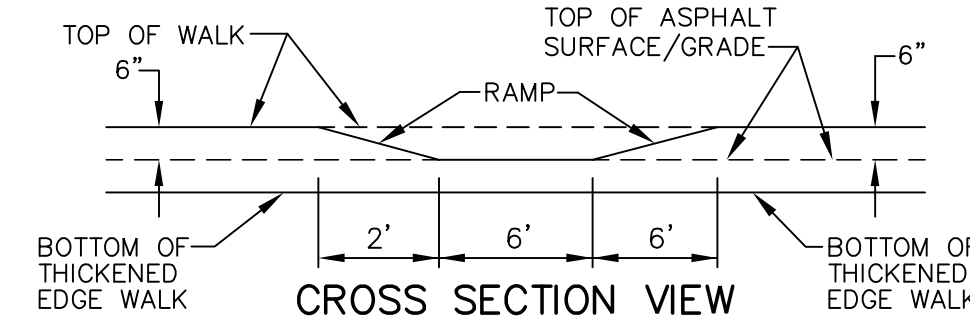
TYPICAL BOLLARD DETAIL



5" SIDEWALK X-SECTION



PLAN VIEW

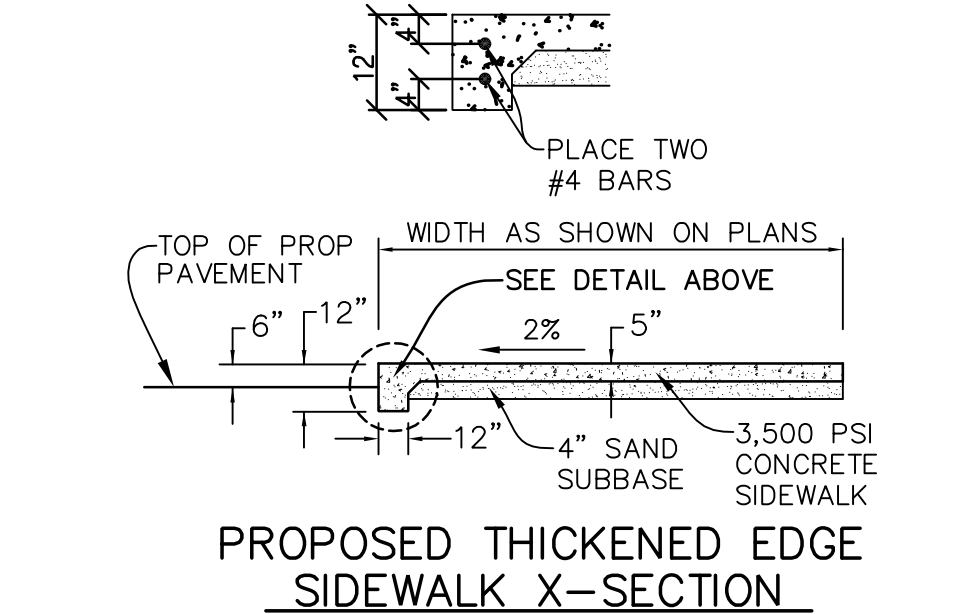


CROSS SECTION VIEW

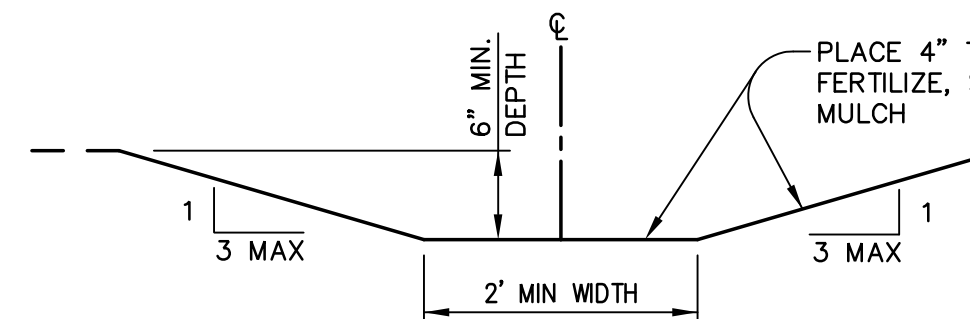
SIDEWALK BARRIER FREE RAMP DETAIL

ACCESS RAMP CONSTRUCTION NOTES

- RAMP SHALL HAVE A 12" WIDE BORDER WITH 1/4" X 1/4" GROOVES @ 3/4" O.C.
- THE SURFACE OF THE RAMP SHALL HAVE A TRANSVERSE BROOMED SLIP-RESISTANT SURFACE TEXTURE ROUGHER THAN THE SURROUNDING SIDEWALK.
- RAMP CONSTRUCTION SHALL COMPLY WITH ALL FEDERAL, STATE AND LOCAL CODES AND REGULATIONS.
- THE SIDEWALK RAMP CROSS SECTION SHALL BE A MINIMUM OF 5 INCHES OF 3500 PSI GRADE P1 CONCRETE ON A MINIMUM OF 4 INCHES OF CLASS II SAND SUBBASE.

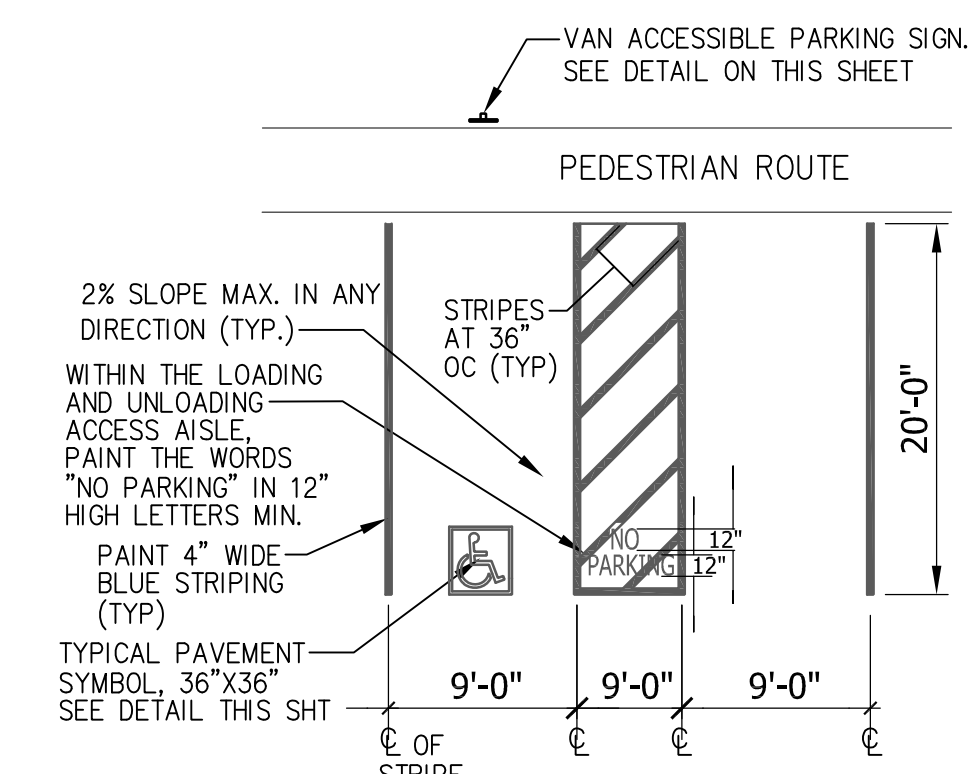


PROPOSED THICKENED EDGE SIDEWALK X-SECTION



DRAINAGE DITCH/SWALE X-SECTION

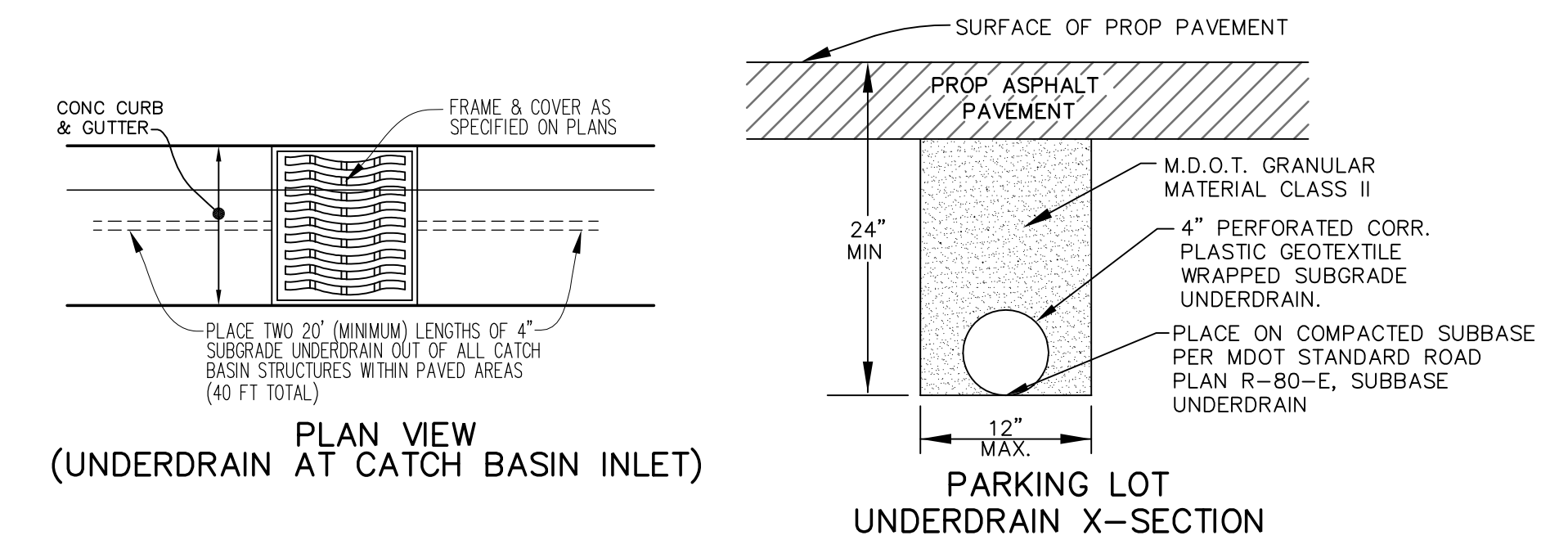
CONSTRUCT AT 0.50% MIN. SLOPE AT LOCATIONS SHOWN OR AS REQUIRED



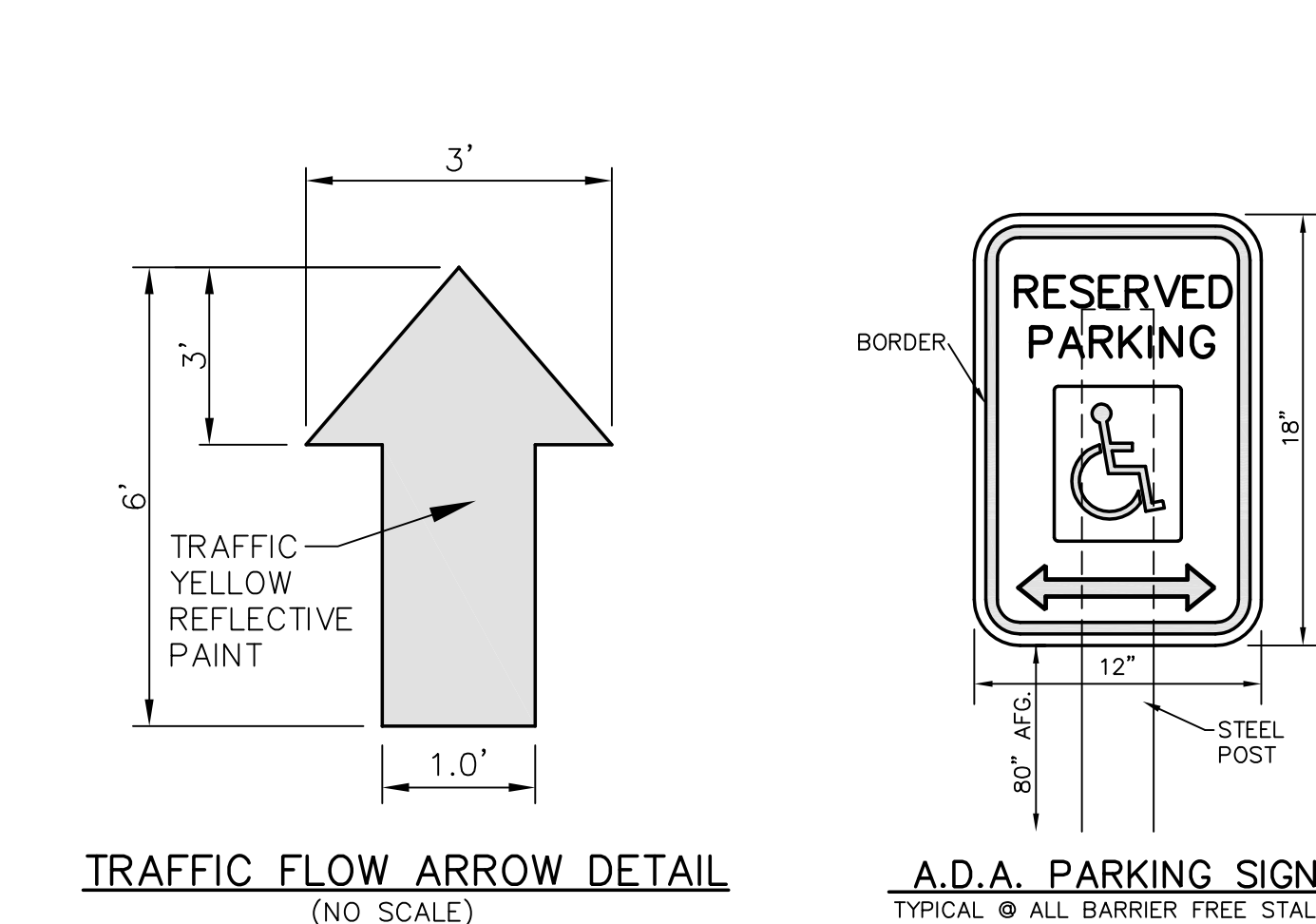
A.D.A. PARKING & REGULAR SPACE PAVEMENT MARKING LAYOUT DETAIL

GENERAL CONSTRUCTION NOTES:

- ALL SITE CONSTRUCTION WORK SHALL BE IN ACCORDANCE WITH ALL APPLICABLE REQUIREMENTS THE 2012 MICHIGAN DEPARTMENT OF TRANSPORTATION (MDOT) STANDARD SPECIFICATIONS FOR CONSTRUCTION, THE LATEST MDOT STANDARD ROAD PLANS, AND THE LATEST CITY OF ALBION ZONING ORDINANCE AND ENGINEERING DESIGN STANDARDS. COPIES OF ALL MDOT DOCUMENTS MAY BE OBTAINED FROM THEIR WEBSITE (WWW.MICHIGAN.GOV/MDOT)
- THE CONTRACTOR SHALL PERFORM ALL WORK NECESSARY TO GRADE THE SITE TO THE GRADES SHOWN ON THE PLANS OR SPECIFIED BY THE ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL EXCAVATION, EMBANKMENT, AND THE FURNISHING AND PLACING OF ALL BORROW MATERIAL REQUIRED TO OBTAIN THE SPECIFIED GRADES, AND REMOVAL OF EXCESS EARTH MATERIAL.
- SUBGRADE PREPARATION: REMOVE ALL ROCKS, DEBRIS, VEGETATION AND TOPSOIL FROM THE AREA TO BE PAVED. SHAPE THE SUBGRADE TO PROPER ELEVATIONS FOR PLACEMENT OF THE PAVEMENT. COMPACT SUBGRADE TO NOT LESS THAN 95% OF MAXIMUM UNIT WEIGHT IN 9 INCH LIFTS IN ACCORDANCE WITH THE MODIFIED PROCTOR T-180 METHOD. THE CONTRACTOR SHALL UNDERCUT ANY UNSUITABLE SUBGRADE MATERIAL AND REPLACE IT WITH SUITABLE MATERIAL COMPACTED TO MINIMUM 95% OF MAX UNIT WEIGHT.
- ALL WORK NECESSARY TO COMPLETE THIS PROJECT SHALL CONFORM TO ALL RELATED CITY OF ALBION AND CALHOUN COUNTY CODES AND ORDINANCES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, INSURANCE AND BONDS PRIOR TO CONSTRUCTION, INCLUDING THE PAYMENT OF ANY FEES, REQUIRED BY ANY FEDERAL, STATE, LOCAL, OR PRIVATE ORGANIZATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER DISPOSAL OF SURPLUS OR WASTE MATERIAL.
- SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE EMPLOYED IN ACCORDANCE WITH THE SOIL EROSION CONTROL PLAN, AND SHALL MEET THE APPROVAL OF THE CALHOUN COUNTY DRAIN COMMISSIONER (CCDC) AND/OR CITY OF ALBION, SOIL EROSION CONTROL DEPARTMENT. CONTRACTOR SHALL OBTAIN SOIL EROSION CONTROL PERMIT FROM THE CCDC-SEDC AND/OR CITY OF ALBION SOIL EROSION CONTROL DEPARTMENT (SEDC).
- ALL LAWN OR TURF AREAS SHALL BE ESTABLISHED WITH TOPSOIL AND APPLICATION OF FERTILIZER, SEED AND MULCH IN ACCORDANCE WITH THE FOLLOWING RATES:
TOPSOIL SURFACE = MINIMUM 4 INCHES
CHEMICAL FERTILIZER NUTRIENT = 240 LBS/ACRE
CLASS A SEEDING = 120 LBS/ACRE
MULCH = 2 TONS/ACRE
ALL LANDSCAPE BEDS SHALL HAVE 18" OF TOPSOIL.
ALL MATERIAL SHALL COMPLY WITH MDOT STANDARD SPECIFICATIONS.
- CONTRACTOR SHALL NOTIFY ALL APPROPRIATE UTILITY COMPANIES PRIOR TO PERFORMING WORK, AND SHALL OBTAIN ANY REQUIRED PERMITS OR APPROVALS PRIOR TO PERFORMING WORK.
- THREE (3) WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT MISS DIG UTILITY PROTECTION SERVICE (1-800-482-7171) TO VERIFY THE LOCATION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR THE PROTECTION OF ALL EXISTING UTILITIES DURING CONSTRUCTION. ALL UTILITIES DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED IN ACCORDANCE WITH THE UTILITY OWNERS REQUIREMENTS AT THE CONTRACTORS EXPENSE.
- PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL BE REQUIRED TO EXPOSE ALL EXISTING UTILITIES THAT CROSS THE PROPOSED CONSTRUCTION IN ORDER TO DETERMINE IF A VERTICAL CONFLICT EXISTS BETWEEN THE EXISTING UTILITY AND THE PROPOSED CONSTRUCTION. ALL LABOR REQUIRED TO UNCOVER THE EXISTING UTILITY SHALL BE CONSIDERED AS BEING INCLUDED IN THE COST OF CONSTRUCTION. THE CONTRACTOR SHALL VERIFY THE DEPTH AND HORIZONTAL LOCATIONS OF ALL UTILITIES IN SUFFICIENT TIME SUCH THAT ANY CONFLICTS CAN BE RESOLVED BEFORE WORK IS STARTED IN THAT PORTION OF THE PROJECT. THE CONTRACTOR SHALL ARRANGE FOR THE VARIOUS UTILITY OWNERS TO LOCATE, REMOVE AND REPLACE, OR RELOCATE THEIR FACILITIES. ALL COST FOR THIS WORK SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- PRIOR TO BIDDING THE CONTRACTOR AND SUBCONTRACTORS SHALL MAKE A PERSONAL INVESTIGATION OF THE SITE AND EXISTING SURFACE AND SUBSURFACE CONDITIONS. THE CONTRACTOR IS RESPONSIBLE TO ACQUAINT THEMSELVES WITH CONDITIONS OF THE WORK AREA. THE CONTRACTOR IS ADVISED TO DETERMINE THE SUBSURFACE SOIL AND GROUND WATER CONDITIONS. DEWATERING, IF DETERMINED NECESSARY BY THE CONTRACTOR, WILL BE INCIDENTAL TO THE COST OF CONSTRUCTION.
- ALL FILL ON THE PROPERTY SHALL BE ADEQUATELY COMPACTED BY ROLLING TO PRODUCE A SURFACE SATISFACTORY FOR THE PROPER INSTALLATION OF THE PROPOSED WORK. BEFORE COMMENCING PAVING WORK, THE PAVING CONTRACTOR MUST MAKE CERTAIN THAT THE SURFACES TO BE COVERED ARE IN PROPER CONDITION. SURFACES NOT ACCEPTABLE SHALL BE REPORTED TO THE OWNER IMMEDIATELY. THE APPLICATION OF PAVING MATERIALS SHALL BE HELD TO BE AN ACCEPTANCE OF THE SURFACES AND WORKING CONDITIONS BY THE PAVING CONTRACTOR WHO WILL BE HELD RESPONSIBLE FOR THE RESULTS. ANY UNSTABLE LIMESTONE BASE OR ASPHALT PAVEMENT MUST BE REMOVED AND REPLACED BY THE CONTRACTOR AT THEIR COST AS REQUIRED BY THE OWNER AND/OR ENGINEER.
- CONTRACTOR SHALL REMOVE ALL EXISTING STRUCTURES, TREES, BRUSH, FENCES, SLABS, DRIVEWAYS AND/OR SIDEWALKS THAT ARE AFFECTED BY THE PROPOSED WORK. VISIT SITE TO DETERMINE EXTENT OF REMOVAL WORK WHICH MAY OR MAY NOT BE SHOWN ON PLANS.
- THE CONTRACTOR MUST PROVIDE ALL MEASURES REQUIRED FOR TRAFFIC CONTROL DURING CONSTRUCTION AS REQUIRED BY CITY OF ALBION AND IN ACCORDANCE WITH ALL APPLICABLE REQUIREMENTS OF THE 2011 EDITION OF THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES AS AMENDED, AND SECTION 812 OF THE 2012 MDOT STANDARD SPECIFICATIONS FOR CONSTRUCTION. THE CONTRACTOR MUST PLACE PLASTIC DRUMS, TEMPORARY SIGNING, LIGHTED ARROWS, YELLOW CONSTRUCTION WARNING TAPE, AND ANY OTHER MEASURES REQUIRED TO PROTECT THE PUBLIC DURING CONSTRUCTION.
- ALL PARKING SPACE LINES, CROSSWALKS, STOP BARS, & PAINTED ISLANDS SHALL BE MARKED WITH 4" WHITE REFLECTIVE PAINT. ALL HANDICAP PARKING SPACE LINES SHALL BE MARKED WITH 4" BLUE REFLECTIVE PAINT. HANDICAP SYMBOLS SHALL BE BLUE REFLECTIVE PAINT. ALL MATERIALS SHALL COMPLY WITH SECTION 811 OF THE 2012 MDOT STANDARD SPECIFICATIONS FOR CONSTRUCTION.
- ALL TRAFFIC SIGNS SHALL CONFORM WITH THE REQUIREMENTS OF THE 2011 EDITION OF THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, AS AMENDED, AND SECTION 810 OF THE 2012 MDOT STANDARD SPECIFICATIONS FOR CONSTRUCTION.
- THE CONTRACTOR SHALL CONTROL NOISE, CARRY OUT A PROGRAM OF DUST CONTROL AND SHALL ALLOW NO ON-SITE BURNING, WITHOUT APPROVAL FROM LOCAL FIRE DEPARTMENT.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT ALL EXISTING UTILITIES AND PAVEMENT. THE CONTRACTOR MUST PROPERLY REPAIR ANY DAMAGE CAUSED BY THEIR OPERATIONS AT THEIR COST AS REQUIRED BY THE OWNER AND/OR ENGINEER.

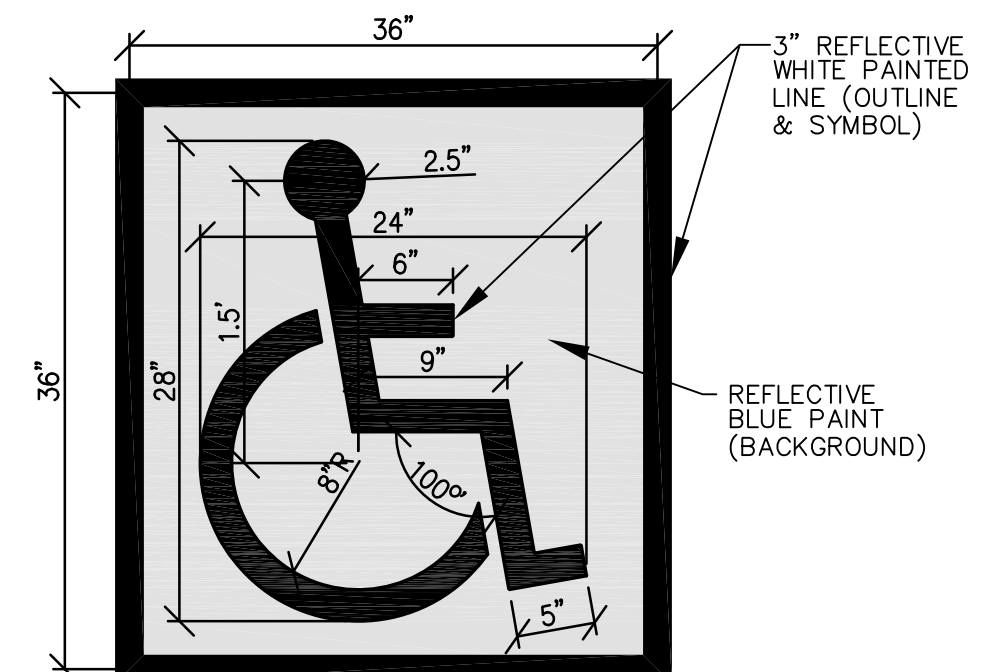


PARKING LOT UNDERDRAIN DETAILS SEE MDOT DETAIL R-80-E (SUBBASE UNDERDRAIN)



TRAFFIC FLOW ARROW DETAIL (NO SCALE)

A.D.A. PARKING SIGN TYPICAL @ ALL BARRIER FREE STALLS



A.D.A. PARKING SYMBOL TYPICAL @ ALL BARRIER FREE STALLS

BNC-091121/ANA/AMG/023 BURSTEIN - CONST DETL.DWG - C-5

SCALE: NONE
JOB NO. 091121

OWNER/DEVELOPER:
ANA DREAM, LLC
12345 HOWLAND PARK DRIVE
PLYMOUTH, MI 9 48179
CONTACT: HADI SAEED

PART OF WEST 1/2,
SECTION 34, T2N-R4W,
ALBION CITY, CALHOUN CO, MI

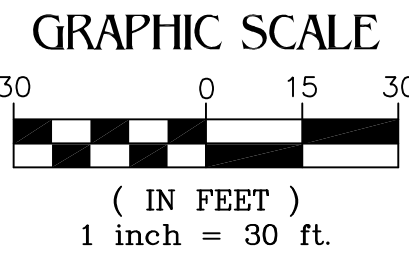
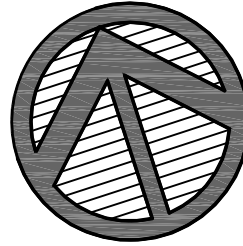


BM CONSTRUCTION CONSULTANTS
2240 LAUDERDALE STREET
FLINT, MICHIGAN 48532
PHONE: 810.423.5014
EMAIL: BMCONSTRUCTION@COMCAST.NET

STANDARD CONSTRUCTION DETAILS & NOTES FOR:
PROPOSED MARIHUANA GROW FACILITY
923 BURSTEIN DRIVE, ALBION, MI 49224

REVISIONS	DRN. BY:	J.R.B.	12.03.2021	SHEET NO:
	DSN BY:	J.R.B.	"	C-5
	CHK'D BY:	J.B.M.	"	
	APPR BY:	J.B.M.	"	

NORTH



LEGAL DESCRIPTION (AS PROVIDED):

PARCEL NO. 51-001-723-00
LOT 27, INDUSTRIAL PARK SUBDIVISION #2, AS RECORDED IN LIBER 23, PAGES 37-41, C.C.R. PART OF THE WEST HALF, SECTION 34, T2S-R4W, CITY OF ALBION, CALHOUN COUNTY, MICHIGAN

EXISTING ZONING INFORMATION:

- 1) MINIMUM LOT SIZE = NONE SPECIFIED
2) MINIMUM LOT WIDTH = NONE SPECIFIED
3) FRONT SETBACK = 10 FEET
4) SIDE SETBACK = 10 FEET, 20 FEET COMBINED
5) REAR SETBACK = 10 FEET
6) MAXIMUM LOT COVERAGE = NONE
7) MAXIMUM HEIGHT = 3 STORIES OR 36 FEET

TRAFFIC IMPACT:

A TRAFFIC STUDY WAS NOT CONDUCTED BY THIS FIRM FOR THIS PROJECT.

FLOOD PLAIN NOTE:

THIS PROPERTY LIES IN ZONE "X" (AREAS OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN OF THE FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 280250289C WHICH BEARS AN EFFECTIVE DATE OF APRIL 4, 2011 AND IS NOT IN A SPECIAL FLOOD HAZARD AREA.

WETLAND NOTE:

ACCORDING TO THE NATIONAL WETLAND INVENTORY MAPS OF MICHIGAN, THERE ARE WETLAND AREAS ON THIS PROPERTY.

SEWER & WATER NOTES:

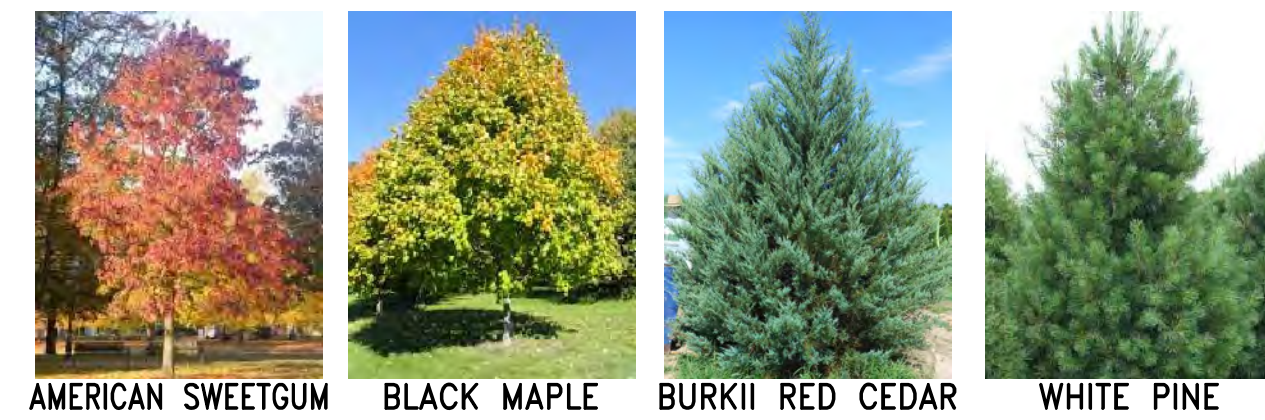
THE SITE IS CURRENTLY SERVED BY PUBLIC WATER AND PUBLIC SANITARY SEWER. PROJECT NARRATIVE: IT IS NOT ANTICIPATED THAT THERE WILL BE ANY SUBSTANTIAL INCREASE IN DUST, ODOUR, SMOKE, FLAMES, NOISE, OR LIGHTS. THE CONTRACTOR WILL BE REQUIRED TO COMPLY WITH ANY APPLICABLE ZONING ORDINANCE REQUIREMENTS REGARDING THESE ITEMS.

SITE LANDSCAPING PLAN

SHRUBS, BUSHES, & PERANNIALS

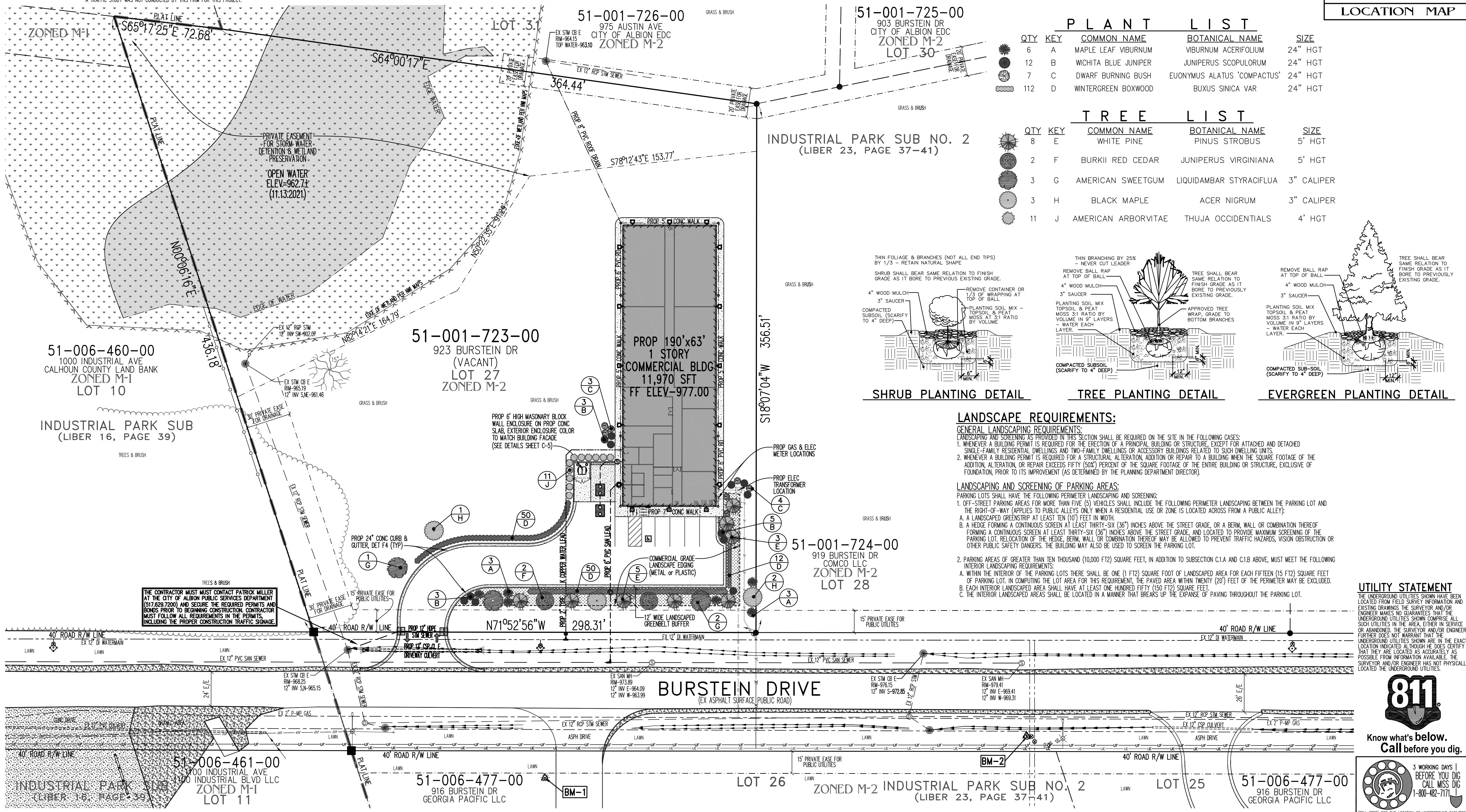
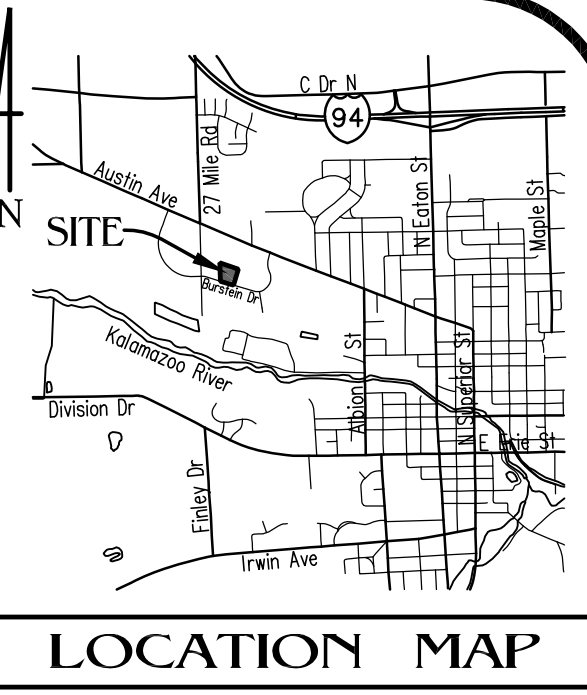


TREE TYPES



LEGEND

- PROP HEDGE ROW
PROP BUSHES OR SHRUBS
PROP LANDSCAPE EDGING
PROP LANDSCAPE BEDS (STONE OR MULCH BEDDING)
PROP CONIFEROUS TREES
PROP DECIDUOUS TREES
AMOUNT OF TREES/SHRUBS
TYPE OF TREE/SHRUB

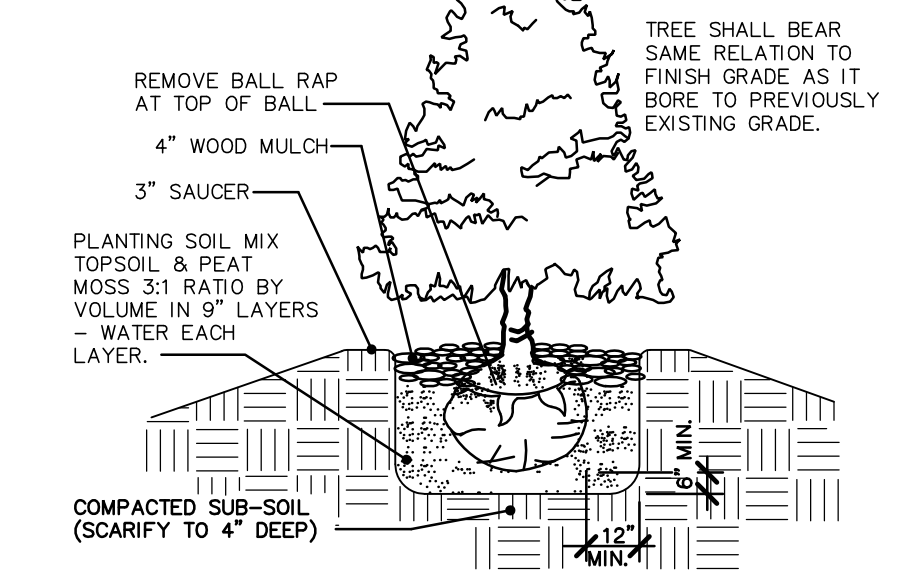
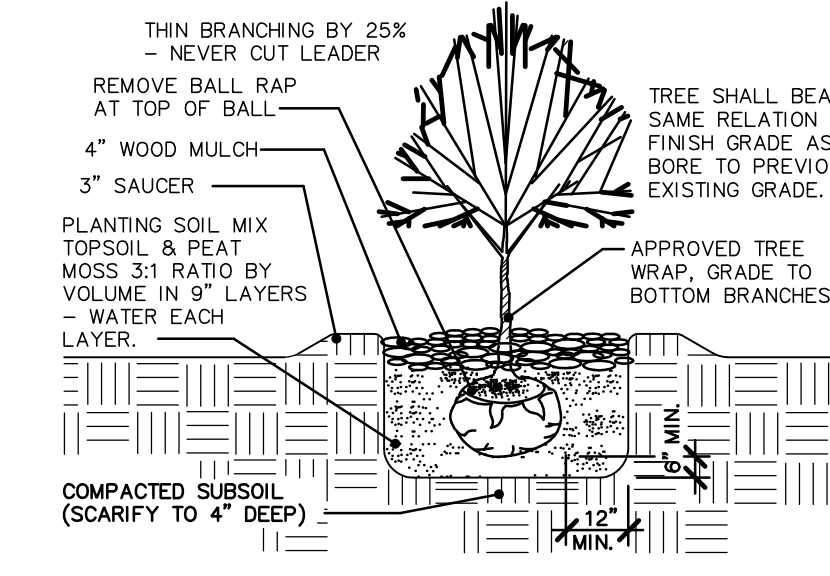
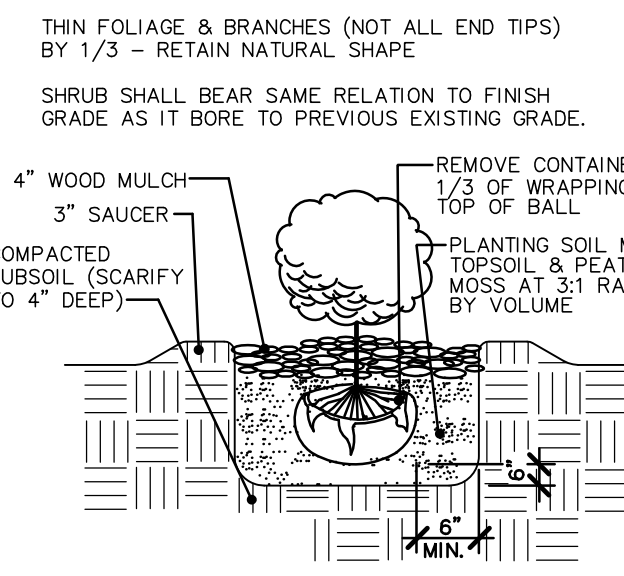


PLANT LIST

Table with columns: QTY, KEY, COMMON NAME, BOTANICAL NAME, SIZE. Lists plants like Maple Leaf Viburnum, Wichita Blue Juniper, Dwarf Burning Bush, Wintergreen Boxwood.

TREE LIST

Table with columns: QTY, KEY, COMMON NAME, BOTANICAL NAME, SIZE. Lists trees like White Pine, Burkii Red Cedar, American Sweetgum, Black Maple, American Arborvitae.



SHRUB PLANTING DETAIL

TREE PLANTING DETAIL

EVERGREEN PLANTING DETAIL

LANDSCAPE REQUIREMENTS:

- GENERAL LANDSCAPING REQUIREMENTS:
1. WHENEVER A BUILDING PERMIT IS REQUIRED FOR THE ERECTION OF A PRINCIPAL BUILDING OR STRUCTURE...
2. WHENEVER A BUILDING PERMIT IS REQUIRED FOR A STRUCTURAL ALTERATION, ADDITION OR REPAIR...
LANDSCAPING AND SCREENING OF PARKING AREAS:
1. OFF-STREET PARKING AREAS FOR MORE THAN FIVE (5) VEHICLES SHALL INCLUDE THE FOLLOWING PERIMETER LANDSCAPING AND SCREENING...

UTILITY STATEMENT

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS...



Know what's below. Call before you dig.



SCALE: 1"=30'
JOB NO. 091121

OWNER/DEVELOPER: ANA DREAM, LLC
12345 HOWLAND PARK DRIVE
PLYMOUTH, MI 48179
CONTACT: HADI SAEED

PART OF WEST 1/2, SECTION 34, T2N-R4W, ALBION CITY, CALHOUN CO, MI

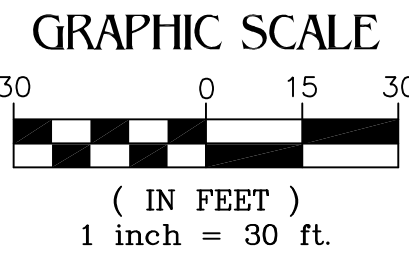
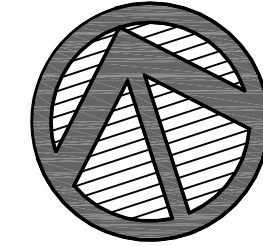
BM CONSTRUCTION CONSULTANTS
2240 LAUDERDALE STREET
FLINT, MICHIGAN 48532
PHONE: 810.423.5014
EMAIL: BMCONSTRUCTION@COMCAST.NET

SITE LANDSCAPING PLAN FOR: PROPOSED MARIHUANA GROW FACILITY
923 BURSTEIN DRIVE, ALBION, MI 49224

Table with columns: REVISIONS, DRN. BY, J.R.B., DATE, SHEET NO. C-6

BMCC-0055/091121/ANA DREAM/923 BURSTEIN - LANDSCAPE PLANNING - C-6

NORTH



LEGAL DESCRIPTION (AS PROVIDED):

PARCEL NO. 51-001-723-00
LOT 27, INDUSTRIAL PARK SUBDIVISION #2, AS RECORDED IN LIBER 23, PAGES 37-41, C.C.R. PART OF THE WEST HALF, SECTION 34, T2S-R4W, CITY OF ALBION, CALHOUN COUNTY, MICHIGAN

EXISTING ZONING INFORMATION:

ACCORDING TO THE CITY OF ALBION ZONING ORDINANCE THIS PROPERTY IS CURRENTLY ZONED M-2 (HEAVY INDUSTRIAL DISTRICT), AND IS SUBJECT TO THE FOLLOWING CONDITIONS:

- 1) MINIMUM LOT SIZE = NONE SPECIFIED
- 2) MINIMUM LOT WIDTH = NONE SPECIFIED
- 3) FRONT SETBACK = 10 FEET
- 4) SIDE SETBACK = 10 FEET, 20 FEET COMBINED
- 5) REAR SETBACK = 10 FEET
- 6) MAXIMUM LOT COVERAGE = NONE
- 7) MAXIMUM HEIGHT = 3 STORIES OR 36 FEET

TRAFFIC IMPACT:

A TRAFFIC STUDY WAS NOT CONDUCTED BY THIS FIRM FOR THIS PROJECT.

- FOR MEDICAL MARIJUANA ESTABLISHMENTS:
- 1) MINIMUM LOT AREA = NONE SPECIFIED
- 2) FRONT SETBACK = 50 FEET
- 3) SIDE SETBACK = 20 FEET
- 4) REAR SETBACK = 30 FEET
- 5) STRUCTURE HEIGHT = 3 STORIES OR 50 FEET
- 6) (PER AIP STANDARDS)

FLOOD PLAIN NOTE:

THIS PROPERTY LIES IN ZONE "X" (AREAS OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) OF THE FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 2602502089C WHICH BEARS AN EFFECTIVE DATE OF APRIL 4, 2011 AND IS NOT IN A SPECIAL FLOOD HAZARD AREA.

WETLAND NOTE:

ACCORDING TO THE NATIONAL WETLAND INVENTORY MAPS OF MICHIGAN, THERE ARE WETLAND AREAS ON THIS PROPERTY.

SEWER & WATER NOTES:

THE SITE IS CURRENTLY SERVICED BY PUBLIC WATER AND PUBLIC SANITARY SEWER. IT IS NOT ANTICIPATED THAT THERE WILL BE ANY SUBSTANTIAL INCREASE IN ODOUR, SMOKE, FUMES, NOISE, OR LIGHTS. THE CONTRACTOR WILL BE REQUIRED TO COMPLY WITH ANY APPLICABLE ZONING ORDINANCE REQUIREMENTS REGARDING THESE ITEMS. THE ON-SITE CONSTRUCTION ACTIVITIES WILL INCLUDE THE USE OF EQUIPMENT SUCH AS A BACK HOE, DOZER, TRUCKS, CONCRETE MIXER, GENERATORS, COMPRESSORS, POWER SAWS, AND ELECTRIC DRILLS, ETC. THE AVERAGE SOUND LEVEL WILL BE LESS THAN THE OSHA (AT WORKERS EAR) LEVEL OF 90.

SITE LIGHTING PLAN

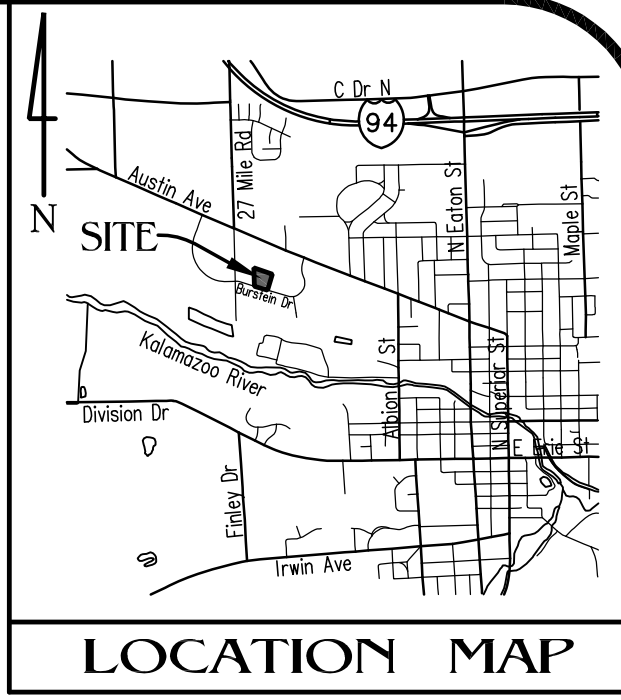
LIGHTING STATEMENTS:

BASED ON THE INFORMATION PROVIDED, ALL DIMENSIONS AND LUMINAIRE LOCATIONS SHOWN REPRESENT RECOMMENDED POSITIONS. THE ENGINEER AND/OR ARCHITECT MUST DETERMINE THE APPLICABILITY OF THE LAYOUT TO EXISTING OR FUTURE FIELD CONDITIONS.

THIS LIGHTING PLAN REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH THE ILLUMINATING ENGINEERING SOCIETY (IES) APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRES MAY VARY DUE TO CHANGES IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS/LED'S AND OTHER VARIABLE FIELD CONDITIONS. CALCULATIONS DO NOT INCLUDE OBSTRUCTIONS SUCH AS BUILDINGS, CURBS, LANDSCAPING, OR ANY OTHER ARCHITECTURAL ELEMENTS UNLESS NOTED.

LEGEND

EX ROAD SIGNS	B/B	BACK TO BACK
EX UTILITY & LIGHT POLE	EX	EXISTING
EX OVERHEAD POWERLINES	17	PROP PARKING SPACE NO.
EX STREET LIGHT POLE	18	PROP BARRIER FREE (ADA) PARKING
EX PEDESTAL	19	PROP PAINTED TRAFFIC FLOW ARROW
EX BUILDING LINE	20	PROP WALL PACK LIGHT
EX GAS LINE	21	PROP CONCRETE AREAS
EX GAS/ELEC METER	22	PROP BUILDING AREA
EX STORM SEWER	23	PROP ASPHALT PARKING PAVEMENT
EX STORM MANHOLE	24	PROP HEAVY DUTY PAVEMENT
EX STORM CATCHBASINS	25	PROP STORM CATCHBASIN
EX SANITARY SEWER	26	PROP STORM SEWER
EX SANITARY MANHOLE	27	PROP ROOF DRAINS
EX SANITARY CLEANOUT	28	PROP ROOF DRAIN CLEANOUT
EX WATERMAIN	29	PROP SANITARY CLEANOUT
EX FIRE HYDRANT	30	PROP SANITARY SEWER LEAD
EX WATER MANHOLE	31	PROP WATER SHUT-OFF VALVE
EX GATEVALVE	32	PROP WATER LEAD LINE
EX CHAIN LINK FENCE	33	PROP ELEC TRANSFORMER & BURIED LINE
EX WOOD FENCE	34	PROP GAS METER & BURIED LINE
EX TREE	35	



LEGEND

- PROP 10' HIGH WALL PACK LIGHT (TYPE A)
- PROP 10' HIGH WALL PACK LIGHT (TYPE B)
- PROP Fc (FOOTCANDLE) GRID POINT
- PROP LIGHT FIXTURE TYPE

Luminaire Schedule

Symbol	Qty	Label	Arrangement	Description	LLF	Arr Lum	Arr Lumens	Arr Watts
⬢	13	A	SINGLE	LXT-WM2-PLD-II-43 WATT LED - 10' A.F.G.	1.000	6,281	6,281	42.7
⬢	3	B	SINGLE	LXT-WM2-PLD-II-65 WATT LED - 10' A.F.G.	1.000	9,540	9,540	64.7

Calculation Summary

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
OVERALL SITE POINTS AT GRADE 6'x6'	ILLUMINANCE	Fc	0.29	17.3	0.0	N.A.	N.A.
ALONG PROPERTY LINE PERIMETER	ILLUMINANCE	Fc	0.09	1.6	0.0	N.A.	N.A.

SITE LIGHTING NOTES:

- ALL OUTDOOR LIGHTING IN ALL USE DISTRICTS OTHER THAN RESIDENTIAL DISTRICTS SHALL BE SHIELDED SO THE SOURCE OF THE LIGHT SHALL NOT BE VISIBLE FROM ALL ADJACENT RESIDENTIAL DISTRICTS, ADJACENT RESIDENCES AND PUBLIC RIGHTS-OF-WAY.
- LIGHT FIXTURES WERE DESIGNED AND SHIELDED SO THAT LIGHT IS DIRECTED ONTO THE PARKING AREA AND DIRECTED AWAY FROM ADJACENT PROPERTY AND TRAFFIC.
- THE DESIGN AND STYLE OF FIXTURES (COLOR, SHAPE, STYLE, AND MATERIALS) SHALL MATCH OR COMPLEMENT THE STYLE AND MATERIALS OF THE BUILDINGS SERVED.
- ALL LIGHTING EXCEPT SECURITY LIGHTING SHALL BE ON A TIME-CLOCK OR PHOTO-SENSOR SYSTEM, AS APPROVED BY CITY OF ALBION.
- PARKING LOTS SHALL BE ILLUMINATED WITH A LIGHT-EMITTING DIODE (LED) OR OTHER CITY APPROVED LIGHTING SYSTEM. THE LIGHTING SYSTEM SHALL PROVIDE NOT LESS THAN ONE FOOTCANDLE OVERALL AVERAGE ILLUMINATION WITH A MINIMUM OF 0.5 FOOTCANDLES ON THE PARKING SURFACE.
- LIGHTING STANDARDS IN PARKING LOTS IN AND ADJACENT TO RESIDENTIAL ZONES SHALL NOT EXCEED SIXTEEN FEET (15') IN HEIGHT AS MEASURED FROM THE ADJACENT GRADE TO THE TOP OF THE LIGHT FIXTURE. THE TOTAL LIGHT CUTOFF ANGLE MAY BE NO GREATER THAN 85 DEGREES. ILLUMINATION SHALL NOT BE OF A FLASHING, MOVING OR INTERMITTENT TYPE. ALL ILLUMINATION SHALL BE CONSTANT IN INTENSITY AND COLOR AT ALL TIMES WHEN IN USE.
- PARKING LOT LIGHTS MUST BE FULL CUT OFF TYPE FIXTURES AND LAMPS MUST BE SHIELDED TO PREVENT LIGHT TRESPASS OR GLARE. A WHITE LIGHT SOURCE SHOULD BE USED FOR THE WALL MOUNTED LIGHTS, SUCH AS INCANDESCENT, METAL HALIDE, OR OTHER LAMPS WITH A COLOR RENDERING INDEX OF AT LEAST 70. MAXIMUM LIGHT LEVELS MUST BE LESS THAN OR EQUAL TO 2.0 FOOTCANDLE BEYOND A PROPERTY LINE, ADJACENT TO COMMERCIAL OR INDUSTRIAL.
- SEE THIS SHEET FOR LIGHT FIXTURE DETAILS. THE BUILDING WALLPACK LIGHTS SHALL BE INSTALLED AT 10 FEET ABOVE GRADE, AS NOTED. THE CONTRACTOR SHALL CONTACT MISS DIG 72 HOURS PRIOR TO CONSTRUCTION TO VERIFY IF ANY UNDER GROUND UTILITIES WILL BE IN DIRECT CONFLICT.



LXT-WM2-PLD-II-43 WATT LED LIGHT FIXTURE ON BUILDING TYPE A - 10' FROM FINISH GRADE

LXT-WM2-PLD-II-65 WATT LED LIGHT FIXTURE ON BUILDING TYPE B - 10' FROM FINISH GRADE

UTILITY STATEMENT

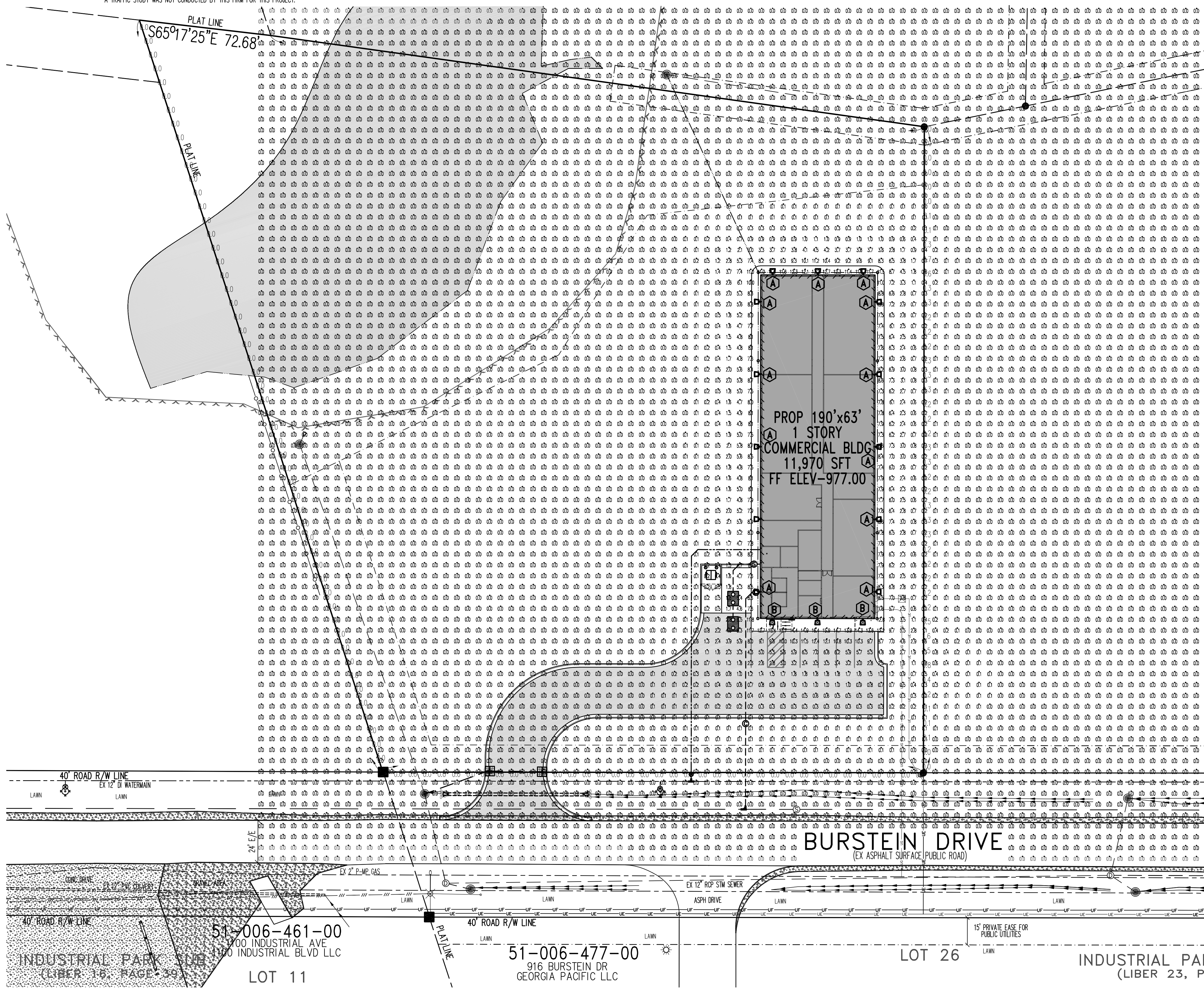
THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS THE SURVEYOR AND/OR ENGINEER MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR AND/OR ENGINEER FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR AND/OR ENGINEER HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.



Know what's below. Call before you dig.

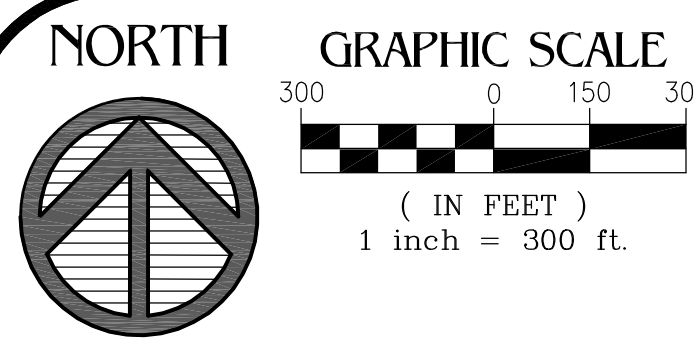
3 WORKING DAYS BEFORE YOU DIG
CALL MISS DIG
1-800-482-7171

(TOLL FREE) FOR THE LOCATION OF UNDERGROUND FACILITIES



SCALE: 1"=30'	OWNER/DEVELOPER: ANA DREAM, LLC 12345 HOWLAND PARK DRIVE PLYMOUTH, MI 48179 CONTACT: HADI SAEED	PART OF WEST 1/2, SECTION 34, T2N-R4W, ALBION CITY, CALHOUN CO, MI	BM CC BM CONSTRUCTION CONSULTANTS 2240 LAUDERDALE STREET FLINT, MICHIGAN 48532 PHONE: 810.423.5014 EMAIL: BMCONSTRUCTION@COMCAST.NET	SITE LIGHTING PLAN FOR: PROPOSED MARIJUANA GROW FACILITY 923 BURSTEIN DRIVE, ALBION, MI 49224	REVISIONS 01.15.2022	DRN. BY: J.R.B. DSN BY: J.R.B. CHK'D BY: J.B.M. APPR BY: J.B.M.	J.R.B. J.R.B. J.B.M. J.B.M.	12.03.2021 " " "	SHEET NO: C-7
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BMC-005/091121/ANA/AMG/023 BURSTEIN - LIGHTING PLANING - C-7



LEGAL DESCRIPTION (AS PROVIDED):
PARCEL NO. 51-001-723-00
 LOT 27, INDUSTRIAL PARK SUBDIVISION #2, AS RECORDED IN LIBER 23, PAGES 37-41, C.C.R. PART OF THE WEST HALF, SECTION 34, T2S-R4W, CITY OF ALBION, CALHOUN COUNTY, MICHIGAN

**PROXIMITY MAP OF ADJACENT PROPERTY ZONING FOR:
 PROPOSED MARIHUANA GROW FACILITY
 923 BURSTEIN DRIVE, ALBION, MI 49224**

PURPOSE OF THIS PLAN:
 THE PURPOSE OF THIS DRAWING IS TO SHOW THE DISTANCE/LOCATION (WITHIN 500 FEET) TO THE NEAREST PUBLIC OR PRIVATE ELEMENTARY, LICENSED CHILD CARE FACILITY, VOCATIONAL OR SECONDARY SCHOOL, (WITHIN 250 TO 500 FEET) FROM A PUBLICLY OWNED PARK OR PLAYGROUND, A CHURCH OR PLACE OF WORSHIP, AND/OR RESIDENTIAL ZONING DISTRICT. THE DISTANCE SHALL BE MEASURED AS THE DISTANCE ALONG A STRAIGHT LINE BEGINNING AT THE NEAREST POINT TO THE BUFFERED USE, ON THE PARCEL LINE OF THE PARCEL UPON WHICH A MARIHUANA GROW CENTER IS PROPOSED, TO THE NEAREST POINT ON THE PARCEL LINE OF THE PARCEL UPON WHICH THE BUFFERED USE IS LOCATED.

SEC. 22-207. - MINIMUM OPERATIONAL STANDARDS OF GROWER FACILITY.

- The following minimum standards for a grower facility shall apply:
- (a) The grower facility shall comply at all times and in all circumstances with the Michigan Medical Marijuana Act, the Medical Marijuana Facilities Licensing Act, and the general rules of the department of licensing and regulatory affairs, as they may be amended from time to time.
 - (b) The premises shall be open for inspection upon probable cause that a violation of this chapter has occurred during the stated hours of operation and at such other times as anyone is present on the premises.
 - (c) Any grower facility shall maintain a log book and/or database indicating the number of marijuana plants. Each marijuana plant will be tagged as required by the MMA and Medical Marijuana Facilities Licensing Act.
 - (d) All marijuana shall be contained within an enclosed locked facility. All operations shall be conducted within the facility so as not to be exposed to the public and all operations are expressed prohibited from being conducted outside the facility or outdoors.
 - (e) All necessary building, electrical, plumbing and mechanical permits shall be obtained for any portion of the structure in which electrical wiring, lighting and/or watering devices that support the grower, growing or harvesting of marijuana are located.
 - (f) That portion of the structure where the storage of any chemicals such as herbicides, pesticides, and fertilizers shall be subject to inspection and approval by the Albion Department of Public Safety to ensure compliance with the Michigan Fire Protection Code.
 - (g) The dispensing of marijuana at the grower facility shall be prohibited.
 - (h) All persons working in direct contact with marijuana shall conform to hygienic practices while on duty, including but not limited to: 1. Maintaining adequate personal cleanliness; 2. Washing hands thoroughly in adequate hand washing areas before starting work and at any other time when the hands may have become soiled or contaminated; 3. Refraining from having direct contact with marijuana if the person has or may have an illness, open lesion, including boils, sores or infected wounds, or any other abnormal source of microbial contamination, until the condition is corrected.
 - (i) Litter and waste shall be properly removed and the operating systems for waste disposal are maintained in an adequate manner so that they do not constitute a source of contamination in areas where marijuana is exposed.
 - (j) Floors, walls and ceilings shall be constructed in such a manner that they may be adequately cleaned and kept clean and in good repair.
 - (k) There shall be adequate screening or other protection against the entry of pests. Rubbish shall be disposed of so as to minimize the development of odor and minimize the potential for the waste development of odor and minimize the potential for waste becoming an attractant, harborage or breeding places for pests.
 - (l) Any buildings, fixtures and other facilities shall be maintained in a sanitary condition.
 - (m) Each grower facility shall provide its occupants with adequate and readily accessible toilet facilities that are maintained in a sanitary condition and good repair.
 - (n) Marijuana that can support the rapid growth of undesirable microorganisms shall be held in a manner that prevents the growth of these microorganisms.
 - (o) The grower facility shall be free from infestation by insects, rodents, birds, or vermin of any kind.
 - (p) Exterior signage or advertising identifying the facility as a grower facility shall be prohibited.
 - (q) Odor control - No person, tenant, occupant, or property owner shall permit the emission of marijuana odor from any source to result in detectable odors that leave the premises upon which they originated and interfere with the reasonable and comfortable use and enjoyment of another's property. Whether or not a marijuana odor emission interferes with the reasonable and comfortable use and enjoyment of a property shall be measured against the objective standards of a reasonable person of normal sensitivity. A grower or processor shall install and maintain in operable condition a system which precludes the emission of marijuana odor from the premises.
 - (1) A plan for ventilation of the medical marijuana facility that describes the ventilation systems that will be used to prevent any odor of medical marijuana off the premises of the business. For medical marijuana facilities that grow medical marijuana plants, such plan shall also include all ventilation systems used to control the environment for the plants and describe how such systems operate with the systems preventing any odor leaving the premises. For medical marijuana infused products, such plan shall also include all ventilation systems used to mitigate noxious gases or other fumes used or created as part of the production process.
 - (2) Cultivated, produced, or distributed by a medical marijuana business. A medical marijuana business shall be ventilated so that the odor of marijuana cannot be detected by a person with a normal sense of smell at the exterior of the medical marijuana business or at any adjoining use or property.
 - (3) Sufficient measures and means of preventing smoke, odor, debris, dust, fluids and other substances from exiting a marijuana commercial entity must be provided at all times. In the event that any odors, debris, dust, fluids or other substances exit a marijuana commercial entity, the owner of the subject premises and the licensee shall be jointly and severally liable for such conditions and shall be responsible for immediate, full clean-up and correction of such condition. The licensee shall properly dispose of all such materials, items and other substances in a safe, sanitary and secure manner and in accordance with all applicable federal, state and local laws and regulations.

SEC. 22-211. - LOCATION OF GROWER FACILITY, SAFETY COMPLIANCE FACILITY, PROCESSOR FACILITY, PROVISIONING CENTER, AND SECURE TRANSPORTER.

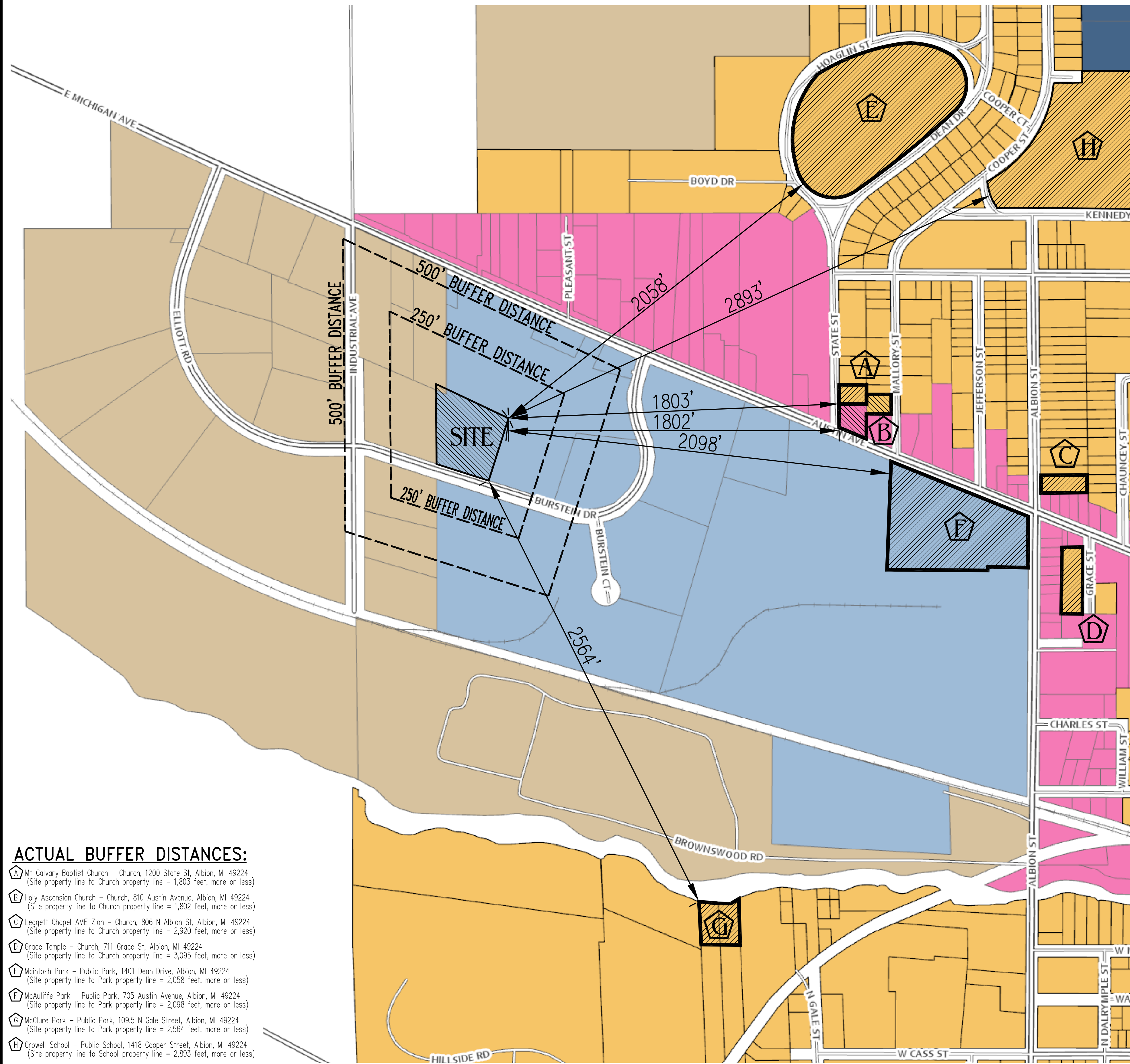
- (a) No grower facility, safety compliance facility, processor facility, provisioning center or secure transporter shall be located within 500 feet of real property comprising a public or private elementary, licensed child care facility, vocational or secondary school.
 - (b) No grower facility, safety compliance facility, processor facility, provisioning center, or secure transporter shall be located within 250 feet of real property comprising a public park. Any grower facility, safety compliance facility, processor facility or secure transporter located more than 250 feet but less than 500 feet of real property comprising a public park shall be surrounded by a fence as required by city ordinance. The fence requirement contained herein may be waived if the city deems a fence to be impractical with the location of the facility and if the facility has other adequate security measures to ensure the security of the premises and safety of the public.
 - (c) No grower facility, safety compliance facility, processor facility, provisioning center, or secure transporter shall be located within 250 feet of real property comprising a place of religious worship. Any grower facility, safety compliance facility, processor facility or secure transporter located more than 250 feet but less than 500 feet of real property comprising a place of religious worship shall be surrounded by a fence as required by ordinance. The fence requirement contained herein may be waived if the city deems a fence to be impractical with the location of the facility and if the facility has other adequate security measures to ensure the security of the premises and safety of the public.
 - (d) No provisioning center shall be located within 250 feet of any residential zoning district of the city. Any provisioning center located more than 250 feet but less than 500 feet of any residential zoning district shall be surrounded by a fence as required by ordinance. The fence requirement contained herein may be waived if the city deems a fence to be impractical with the location of the facility and if the facility has other adequate security measures to ensure the security of the premises and safety of the public.
- All grower facilities shall be limited to the M-1-P, M-2, and M-2-P zoning districts. Safety compliance facilities shall be limited to the B-3, M-1-P, M-2, and M-2-P zoning districts. Secure transporters shall be limited to the B-3, M-1-P, M-2, and M-2-P zoning districts. Processor facilities and provisioning centers shall be limited to B-3, M-1-P, M-2, and M-2-P zoning districts.

ADDITIONAL NOTES AND SITE DATA:

- THERE ARE NO EXISTING PUBLIC SCHOOL PROPERTIES OR LICENSED DAY CARE FACILITIES WITHIN 500 FEET OF THE BOUNDARIES OF THE PROPOSED REGULATED USE SITE.
- THERE ARE NO EXISTING PUBLIC PARKS OR PUBLIC PLAYGROUNDS WITHIN 500 FEET OF THE BOUNDARIES OF THE PROPOSED REGULATED USE SITE.
- THERE ARE NO PLACES OF WORSHIP WITHIN 500 FEET OF THE BOUNDARIES OF THE PROPOSED REGULATED USE SITE.
- THERE ARE NO RESIDENTIALLY ZONED PROPERTIES WITHIN 500 FEET OF THE BOUNDARIES OF THE PROPOSED REGULATED USE SITE.

ZONING

- R-1
- R-2
- MU
- CBD
- C
- CDD
- M-1
- M-2



ACTUAL BUFFER DISTANCES:

- A Mt. Calvary Baptist Church - Church, 1200 State St, Albion, MI 49224 (Site property line to Church property line = 1,803 feet, more or less)
- B Holy Ascension Church - Church, 810 Austin Avenue, Albion, MI 49224 (Site property line to Church property line = 1,802 feet, more or less)
- C Leggett Chapel AME Zion - Church, 806 N Albion St, Albion, MI 49224 (Site property line to Church property line = 2,920 feet, more or less)
- D Grace Temple - Church, 711 Grace St, Albion, MI 49224 (Site property line to Church property line = 3,095 feet, more or less)
- E Meintosh Park - Public Park, 1401 Dean Drive, Albion, MI 49224 (Site property line to Park property line = 2,058 feet, more or less)
- F McAuliffe Park - Public Park, 705 Austin Avenue, Albion, MI 49224 (Site property line to Park property line = 2,098 feet, more or less)
- G McClure Park - Public Park, 109.5 N Gale Street, Albion, MI 49224 (Site property line to Park property line = 2,564 feet, more or less)
- H Crowell School - Public School, 1418 Cooper Street, Albion, MI 49224 (Site property line to School property line = 2,893 feet, more or less)

BMCC - JOBS/091121/ANA/MWG/923 BURSTEIN - PROXIMITY MAP PLANDWG - PROX

SCALE: 1"=300'
 JOB NO. 091121

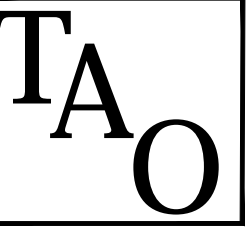
OWNER/DEVELOPER:
ANA DREAM, LLC
 12345 HOWLAND PARK DRIVE
 PLYMOUTH, MI 9 48179
 CONTACT: HADI SAEED

PART OF WEST 1/2,
 SECTION 34, T2N-R4W,
 ALBION CITY, CALHOUN CO, MI

BM
CC
BM CONSTRUCTION CONSULTANTS
 2240 LAUDERDALE STREET
 FLINT, MICHIGAN 48532
 PHONE: 810.423.5014
 EMAIL: BMCONSTRUCTION@COMCAST.NET

**PROXIMITY MAP OF ADJACENT PROPERTIES FOR:
 PROPOSED MARIHUANA GROW FACILITY
 923 BURSTEIN DRIVE, ALBION, MI 49224**

REVISIONS	DRN. BY:	J.R.B.	01.15.2022	SHEET NO:
	DSN BY:	J.R.B.	"	PROX
	CHK'D BY:	J.B.M.	"	
	APPR BY:	J.B.M.	"	

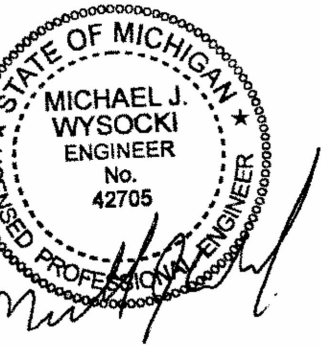


T.A.O.
Design Services, LLC
Architecture Design | Engineering | Interior Design
5494 McNAMARA LANE
FLINT, MICHIGAN 48506
(PH) 810-820-1436
TAODESIGN@YAHOO.COM

PROPOSED BUILDING FOR:

ANA DREAM LLC
923 BURSTEIN DRIVE
ALBION, MICHIGAN 4

MJW
CONSULTING, LLC
840 Brookville Plz SE
Grand Rapids, MI

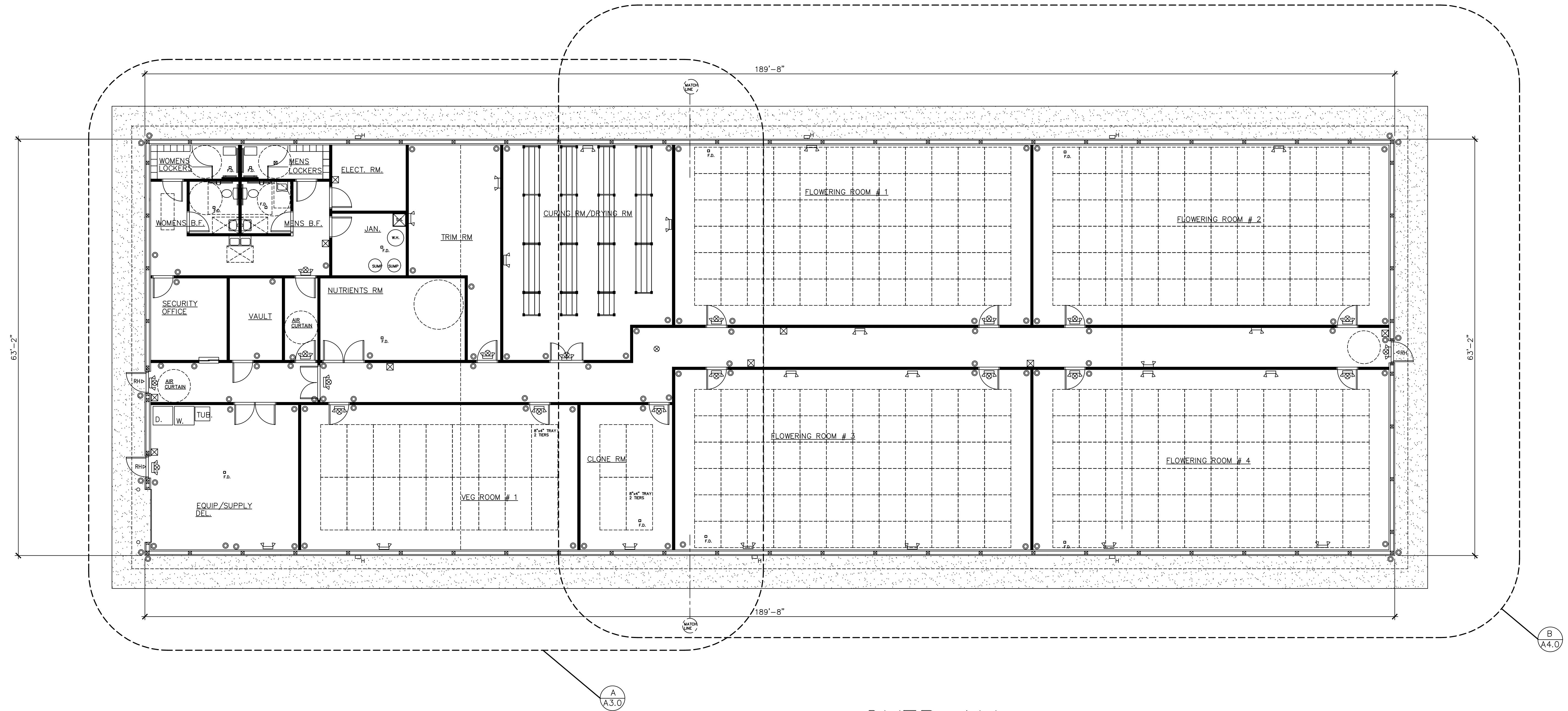


THE STATE OF MICHIGAN
MICHAEL WYSOCKI
ENGINEER
No. 42705
DESIGN PROFESSIONAL SEAL
[Signature]

©2018 COPYRIGHT T.A.O. DESIGN SERVICES LLC
ALL RIGHTS RESERVED

ISSUED FOR	DATE
CITY REVIEW	12.06.21
DATE :	11.25.21
DRAWN BY :	TAO
CHECKED :	TAO
SCALE :	NOTED
JOB NO :	21-000 ANA DREAM

SHEET TITLE :
OVERALL
FLOOR PLAN.
SHEET
A2.0
Page 11 of 51



OVER ALL FLOOR PLAN

SCALE: 1/8" = 1'-0"

NOTE:
USE AND OCCUPANCY CLASSIFICATION:

USE GROUP: " F-1 "

CONSTRUCTION TYPE: 2B

ZONED M-2

NON-SPRINKLED

TOTAL SQUARE FT. 11,986 S.F.GROSS

OCCUPANT LOAD: 11,986 SQ. FT. / 300 (TABLE 1004.1.2 = 39.95 = 40 PERSONS)

TOTAL NUMBER OF EMPLOYEES (6)

OWNER TO PROVIDE WRITTEN AND SIGNED AFFIDAVIT FOR 15 OR LESS EMPLOYEES



CAMERA LOCATION

FIRE EXTINGUISHER ABC DRY CHEMICAL 10#
SODIUM SULFATE AMERICAN UI 300
HMIS INDUSTRIAL CLASS 4AB0 BC

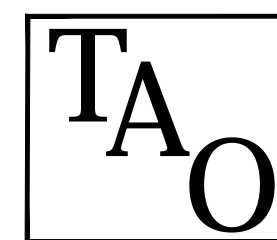
LED WALL PACK SEE ELECTRICAL DRAWINGS
FOR LOCATIONS PRIOR TO CONSTRUCTION

REMOTE HEAD SEE ELECTRICAL DRAWINGS
FOR LOCATIONS PRIOR TO CONSTRUCTION

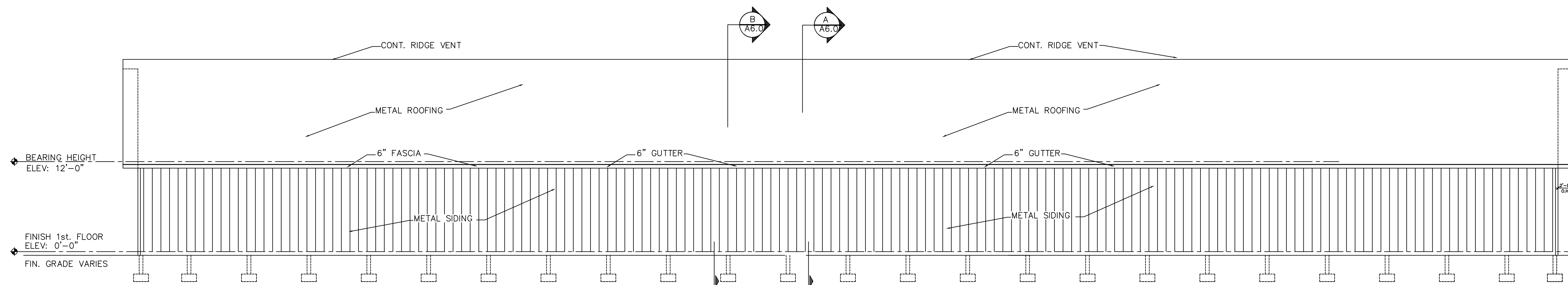
GENERAL NOTES:

- GENERAL CONTRACTOR TO COMPLY WITH CODES CURRENTLY IN EFFECT IN VASSAR TOWNSHIP MICHIGAN: MICHIGAN BUILDING CODE 2015, MICHIGAN PLUMBING CODE 2015, MICHIGAN ELECTRICAL CODE 2015 AND MICHIGAN MECHANICAL CODE 2015.
- ASSUMED SOIL BEARING CAPACITY OF 1500 P.S.F., CONTRACTOR TO VERIFY IN FIELD AND NOTIFY ARCHITECT IF THIS CANNOT BE ACHIEVED FOR POSSIBLE RE-DESIGN.
- MECHANICAL AND ELECTRICAL BY OTHERS
- CONTRACTOR AND / OR OWNER TO PROVIDE MTD. BUILDING ADDRESS NUMBERS PER. MBC 2015 (MIN. 4" IN HEIGHT)
- BUILDING IS A DESIGN BUILD PROJECT BY OWNER

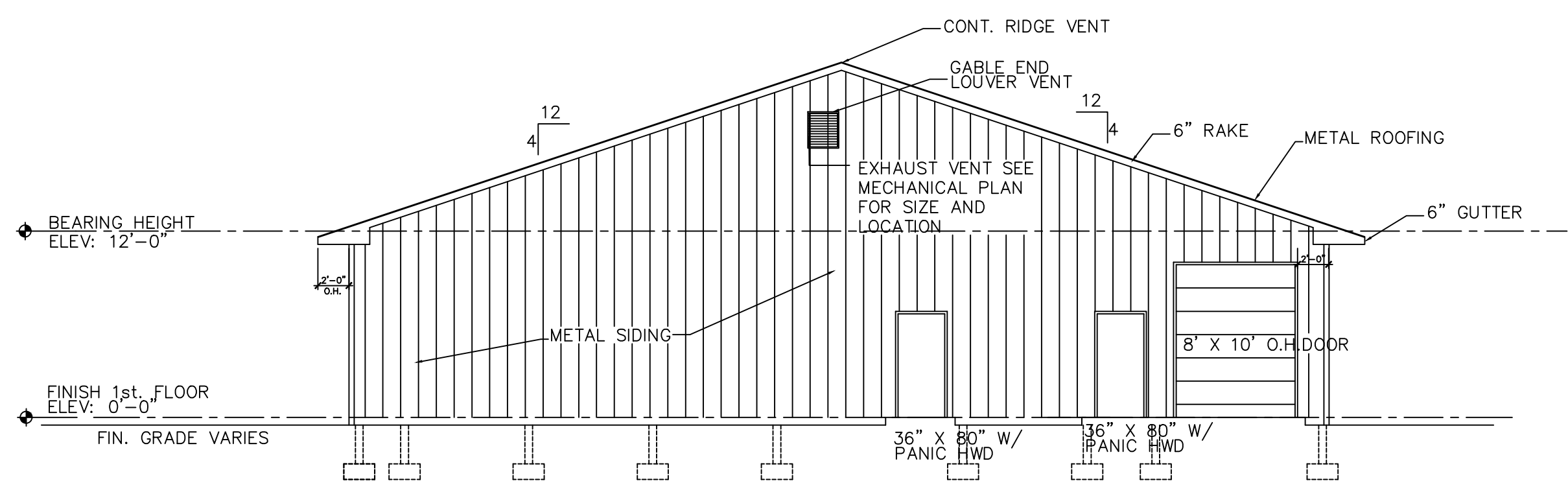
NOTE:
1. SUB CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD PRIOR TO THE PREPARATION OF ALL SHOP DRAWINGS, CONSTRUCTION AND TO NOTIFY TAO DESIGN SERVICES AND MJW OF ALL DISCREPANCY.
2. CONTRACTOR TO ENCAPSULATE ALL EXPOSED SPRAY INSUL.
NO EXPOSED SPRAY INSUL. SHALL BE ALLOWED PER MICHIGAN 2015 BUILDING CODE.



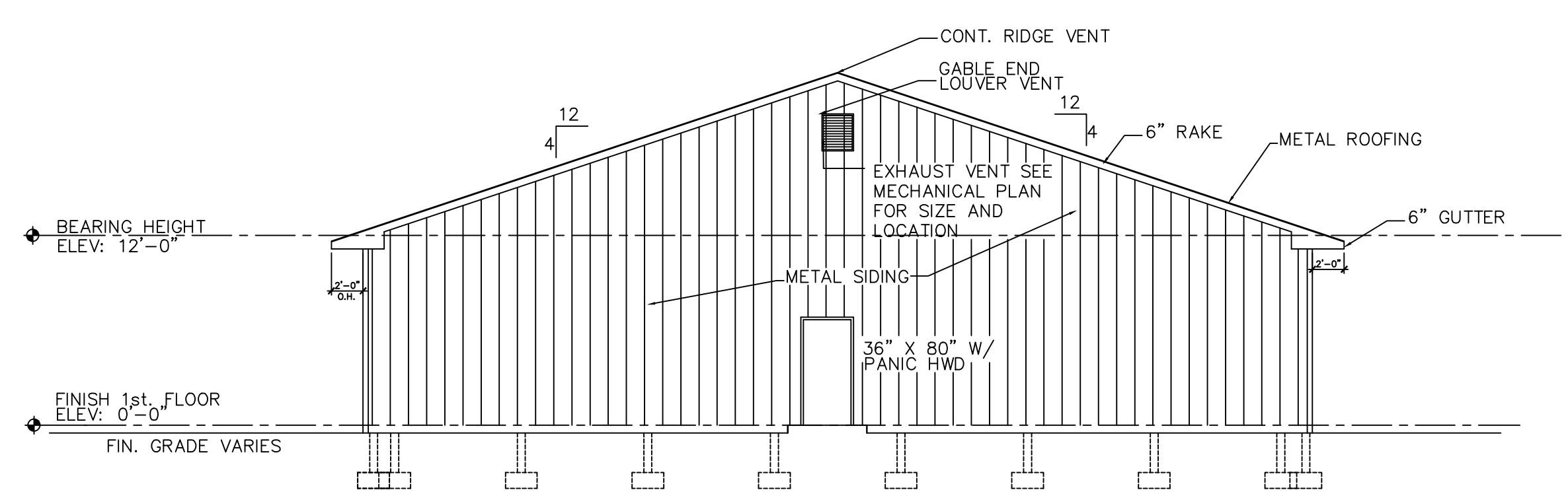
T.A.O.
Design Services, LLC
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5494 McNAMARA LANE
FLINT, MICHIGAN 48506
(PH) 810-820-1436
TAODESIGN@YAHOO.COM



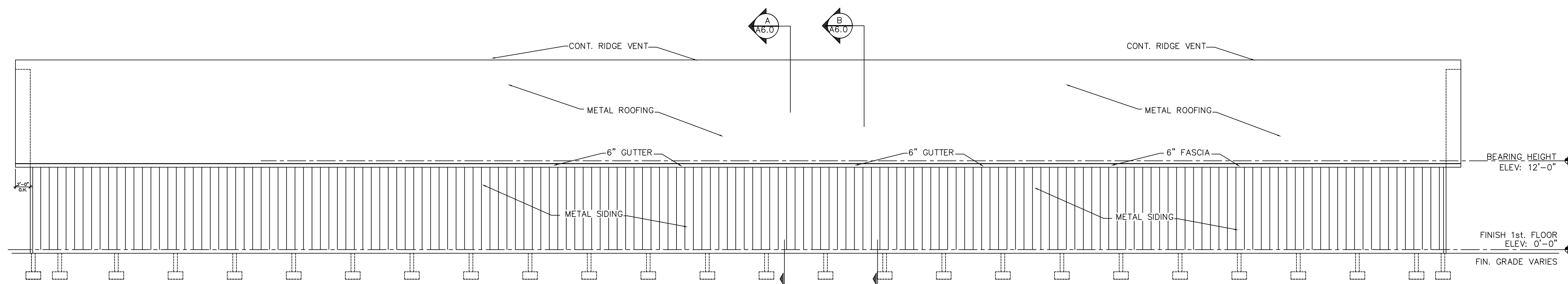
EAST ELEVATION
SCALE: 1/8"=1'-0"



SOUTH ELEVATION
SCALE: 1/8"=1'-0"



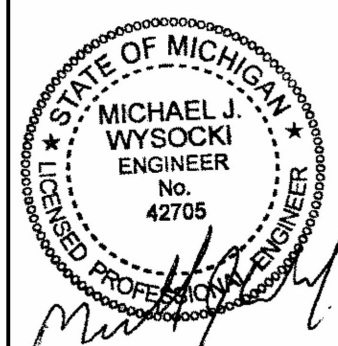
NORTH ELEVATION
SCALE: 1/8"=1'-0"



WEST ELEVATION
SCALE: 1/8"=1'-0"

PROPOSED BUILDING FOR:
ANA DREAM LLC
923 BURSTEIN DRIVE
ALBION, MICHIGAN 4

MJW
CONSULTING, LLC
840 Brookville Plz SE
Grand Rapids, MI



THE DESIGNER AND/OR ENGINEER SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION AND DATA PROVIDED TO THEM BY OTHER PROFESSIONALS AND FOR THE ACCURACY OF THE INFORMATION AND DATA PROVIDED TO THEM BY THE CLIENT. THE DESIGNER AND/OR ENGINEER SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION AND DATA PROVIDED TO THEM BY OTHER PROFESSIONALS AND FOR THE ACCURACY OF THE INFORMATION AND DATA PROVIDED TO THEM BY THE CLIENT.

ISSUED FOR	DATE
CITY REVIEW	12.06.21
DATE :	11.25.21
DRAWN BY :	TAO
CHECKED :	TAO
SCALE :	NOTED
JOB NO :	21-000 ANA DREAM
SHEET TITLE :	ELEVATIONS

NOTE:
1. SUB CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD PRIOR TO THE PREPARATION OF ALL SHOP DRAWINGS, CONSTRUCTION AND TO NOTIFY TAO DESIGN SERVICES AND MJW OF ALL DISCREPANCY.
2. CONTRACTOR TO ENCAPSULATE ALL EXPOSED SPRAY INSUL.
NO EXPOSED SPRAY INSUL. SHALL BE ALLOWED PER MICHIGAN 2015 BUILDING CODE.

ELEVATIONS
A5.0

memo

**Albion Economic Development Corporation**

To: City of Albion Planning Commission
From: Christine Bowman , Economic Development Specialist
CC:
Date: March 2, 2021
Re: Site Plan Approval – 923 Burstein – Lot 27 Albion Industrial Park

Please accept this memo from the Albion EDC as indication of our support for approval of the Site Plan for 923 Burstein Drive, as presented by Ana Dream, LLC.

The Albion EDC worked closely with the City Planning and Building Department and Ana Dream, LLC on the development of their Site Plan to ensure it met all City requirements and the Albion Industrial Park Building and Use Restrictions and Development Standards.

The Albion EDC Board approved the site plan as it is being presented at their February 24, 2022 meeting, contingent on final approval of the Planning Commission, so long as that approval is made without any changes that would make the site non-compliant with the Albion Industrial Park Building and Use Restrictions and Development Standards.

We appreciate the work of the Planning Commission that supports the efforts of the Albion EDC to attract investment and jobs to the Albion community.

Sincerely,

A handwritten signature in blue ink that reads "Christine Bowman".

Christine Bowman
Economic Development Specialist

CC: Ian Arnold, City of Albion, Director of Planning and Building



CITY OF ALBION—APPLICATION FOR SITE PLAN REVIEW

City of Albion Planning Department (517) 629-7189
 Cornerstone Inspection Services (269) 729-9244

Application Instructions: Complete all sections of this form. Type or use black ink. No application will be considered submitted or processed by the Planning Department until a complete application and all required documents are received.

Required Documents: *(Major Projects)*

- Twelve sets of plans, drawn to scale in black line or blueprint.

Base Fee: \$250 *HA* **Plus:** Consultant Charges *if applicable* (actual cost).

Additional Instructions: The applicant, or a representative with a letter of authority or power of attorney for the applicant, must be present at a meeting of the Albion Planning Commission concerning this application.

Remember to contact **Cornerstone Inspection Services** office at **(269) 729-9244** to see what Permits may be necessary for your project.

FOR OFFICE USE ONLY

Permit #: **2022-04**

Stamp here for "Date Received":
12/17/21

Received by: *JA*

Deposit to Account: #101-400-483.00

Stamp here for "Paid":
12/17/21

Amount: *\$275*

Stamp here for "Approved/Deny":

Date:

1. Property Information:

Property Zoned: *M-1*

Street Address: <i>Use Complete Street Address, e.g. 101 North Main Street</i> 1007 Industrial park Albion Michigan		Parcel Number <i>51-006-459-01</i>
Present Zoning District Industrial	Present Use of Site: <input type="checkbox"/> Residential <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Industrial <input type="checkbox"/> Other (describe)	
Requested Zoning District Industrial	Proposed Use of Site: <input type="checkbox"/> Residential <input type="checkbox"/> Commercial <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Other (describe)	

Marijuana Grow

2. Owner Information:

Name: <i>Include Contact Person If Applicable</i> Dr Haitham Masri		Phone 248 320 7374
Street Address: <i>Use Complete Street Address, e.g. 101 North Main Street</i> 13530 Michigan avenue Suite 400	City, State Zip Code: Dearborn Michigan 48126	

3. Applicant Information:

Name: <i>Include Contact Person If Applicable</i> Tarek Mazloum		Phone 734 664 1147
Street Address: <i>Use Complete Street Address, e.g. 101 North Main Street</i> 3815 Herbey St	City, State Zip Code: Canton MI 48188	

4. Engineer or Architect Information:

Name: <i>Include Contact Person If Applicable</i> Foresta Architects Brian Foresta		Phone 734 748 4616
Street Address: <i>Use Complete Street Address, e.g. 101 North Main Street</i> 33532 Five Mile Rd	City, State Zip Code: Livonia MI 48154	

5. Developer Information:

Name: <i>Include Contact Person If Applicable</i> Mo Khalaf		Phone 313 354 5444
Street Address: <i>Use Complete Street Address, e.g. 101 North Main Street</i> 23225 Beech st	City, State Zip Code: Dearborn MI 48124	

6. Project Description:

Provide a narrative description of the project including gross and net acreage of all parcels in the project, the total number of proposed structures, square feet, total and usable floor space, parking spaces, garages, open space, and other related information pertinent to this application.

7. Site Plan Specifications:

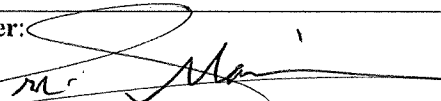
The site plan shall consist of an accurate, reproducible drawing at a scale of 1"= 100' or less, showing the site and all land within 150 feet of the site. If multiple sheets are used, each shall be labeled and the preparer identified. Each site plan shall depict the following:

- North arrow, scale and date of original submittal and last revision.
- Location of proposed and/or existing property lines, dimensions, legal descriptions and setback lines.
- Location of existing public roads, rights-of-way and private easements of record and abutting streets.
- Project description, including the total number of structures, square feet, total and usable floor area, parking spaces, garages, open space and related information as pertinent or otherwise required by the ordinance.
- Existing topographic elevations at two foot intervals, proposed grades and direction of drainage flows.
- Location and type of significant existing vegetation.
- Location and elevations of existing watercourses and water bodies, including county drains and man-made surface drainage ways, floodplains, and wetlands.
- Locations of existing and proposed building and intended uses thereof, as well as the length, width, and height of each building.
- Proposed location of accessory structures, buildings and uses, including but not limited to flagpoles, lightpoles, docks, storage sheds, transformers, air conditioners and the method of screening where applicable.

- Location and dimensions of existing and/or proposed curbing, carports, barrier free access, parking areas (including indication of all spaces and method of surfacing), fire lanes and all lighting thereof.
- Location, size and characteristics of all loading and unloading areas.
- Locations and design of all sidewalks, walkways, bicycle paths and areas for public use.
- Location of all other utilities on the site including, but not limited, to natural gas, electric, cable TV, telephone and steam.
- Location and specifications for all fences, walls, and other screening features.
- Location for all proposed perimeter and internal landscaping.
- Location and size for screening of all trash receptacles and other solid waste disposal facilities.
- Location and specifications for any existing or proposed above or below ground storage facilities for any chemicals, salt, flammable materials, or hazardous materials as well as any containment structures or clear zones required by government authorities.
- Identification of any significant site amenities.

8. Certification

*I hereby certify that I am the **owner** of record of the named property and that I have authorized the proposed work. I further agree to conform to all applicable laws of this jurisdiction. If a permit for work described in this application is issued, I certify that the code official or the code official's authorized representative shall have the authority to enter areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit.*

Signature of Owner : 	Phone 248-320-7374	Date 12-11-2021
Street Address: 13530 Michigan Ave	City, State, Zip Code Dearborn, MI 48126	

I hereby certify that I have been authorized by the owner to make this application as his/her authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the code official or the code official's authorized representative shall have the authority to enter areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit.

Signature of Applicant : Tarek Mazloun	Phone 7346641147	Date 12/11/2021
Street Address: 3815 Herbey st	City, State, Zip Code Canton MI 48188	

For Planning Department Use Only

9. Evaluation and Determination

CORNERSTONE INSPECTION SERVICES

Mechanical Permit	<input type="checkbox"/> YES	<input type="checkbox"/> NO
Plumbing Permit	<input type="checkbox"/> YES	<input type="checkbox"/> NO
Electrical Permit	<input type="checkbox"/> YES	<input type="checkbox"/> NO
Residential Building Permit	<input type="checkbox"/> YES	<input type="checkbox"/> NO
Commercial Building Permit	<input type="checkbox"/> YES	<input type="checkbox"/> NO
Plans Examination	<input type="checkbox"/> YES	<input type="checkbox"/> NO

PUBLIC SERVICES

Right of Way	<input type="checkbox"/> YES	<input type="checkbox"/> NO
Curb Cut	<input type="checkbox"/> YES	<input type="checkbox"/> NO
Soil Erosion	<input type="checkbox"/> YES	<input type="checkbox"/> NO
Sewer Connection	<input type="checkbox"/> YES	<input type="checkbox"/> NO

ZONING PERMIT

Site Plan	<input type="checkbox"/> YES	<input type="checkbox"/> NO
Non-conformity	<input type="checkbox"/> YES	<input type="checkbox"/> NO
Special Use	<input type="checkbox"/> YES	<input type="checkbox"/> NO
Variance	<input type="checkbox"/> YES	<input type="checkbox"/> NO

REVIEWER

<i>Staff whom Reviewed the Application</i>	<i>Staff Hours</i>	<i>Approved/Deny</i>	<i>Date Applicant Notified</i>
--	--------------------	----------------------	--------------------------------

Commission Action Required? YES NO

PUBLIC NOTICE

<i>Public Notice in Newspaper</i>	<i>Letter to Nearby Properties</i>	<i>Public Hearing Date</i>
-----------------------------------	------------------------------------	----------------------------

PLANNING COMMISSION

<i>Planning Commission Action (Approved/Deny)</i>	CHECK HERE FOR CONDITIONAL APPROVAL _____	<i>Vote</i> <i>Approval</i> _____ <i>Deny</i> _____
---	--	--

PLANNING DEPARTMENT APPROVAL/DENY

<i>Signature</i>	<i>Date</i>
<i>Notes</i>	<i>Stamp</i>

Revised 01-30-14

CITY OF ALBION—ZONING SERVICE INVOICE

For Office Use Only: _____

2019 - _____

Property Address: 1007 Industrial Property Owner: BRT Capital
 Parcel Number: _____ Applicant: Tarek Moustoum

Zoning Permits **Fee** **Due** **Fee** **Due**

Single Family Residential Uses:

New Home	\$45	_____
Addition/Alteration	\$15	_____
Accessory Structure	\$45	_____
Change in Use	\$45	_____
Signs/Billboards	\$45	_____
Fences/Screening	\$45	_____
Home Occupation	\$45	_____
Other	\$45	_____

Multiple Family Uses:

New Construction	\$45	_____
Addition/Alteration	\$45	_____
Accessory Structure	\$45	_____
Repair/Replace	\$45	_____
Change in Use	\$45	_____
Signs/Billboards	\$45	_____
Fences/Screening	\$45	_____
Home Occupation	\$45	_____
Other	\$45	_____

Commercial and Industrial Uses:

New Construction	\$45	_____
Addition/Alteration	\$45	_____
Accessory Structure	\$45	_____
Repair/Replace	\$45	_____
Change in Use	\$45	_____
Signs/Billboards	\$45	_____
Fences/Screening	\$45	_____
Home Occupation	\$45	_____
Other	\$45	_____

Special Use Permits:

Single Family	\$250	_____
Other Uses	\$250	_____
Plus Consultant Charges		_____

Rezoning Applications:

Rezoning Application	\$375	_____
Text Amendment	\$275	_____

Site Plan Review:

Subdivision/Site Condo/PUD Review		
Base Fee	\$350	_____
Plus Consultant Charges		_____
Other Uses		
Base Fee	\$275	<u>X</u> _____
Plus Consultant Charges		_____

**Zoning Board of Appeals/Sign Appeals Board:
 Variance Application (Including Zoning Permit Fee):**

Single Family Uses	\$250	_____
Other Uses	\$250	_____

Building Board of Appeals:

Outdoor or Sidewalk Café Appeal		
Residential	\$100	_____
Commercial	\$100	_____

Land Division/Combination

Per Lot	\$55	_____
Meet & Bounds Description	\$90	_____
Lot Line Adjustment	\$55	_____

Other Fees

Special Fee	\$45	_____
Re-Inspection Fee	\$45	_____

Publications, Maps, Copies:

Zoning Ordinance (Map Included)	\$50	_____
Zoning District Maps		
11 1/2" x 17"	\$25	_____
30" x 42"	\$50	_____
Other Blueprints (per page)	\$50	_____
Other GIS Maps (per page)	\$50	_____
Data Copies/Zoning Reports (\$3/1 st .25 e. add. pg.)	\$3.+	_____

Grand Total

~~\$275~~ \$320

Fee Total Approved By: [Signature]

Date: 12/13/21
12/17/21

CITY OF ALBION
Date 12/17/2021 3:06:21 PM
Ref ZONING PERMITS
Receipt 40172495
Amount \$320.00

whose address is 5720 Pontiac Trail, Orchard Lake, MI 48324
Quit Claim to HMF M Holdings, LLC Page 124 of 151
whose address is 5720 Pontiac Trail, Orchard Lake, MI 48324
the following described premises situated in the city of Albion County of Calhoun
and State of Michigan, to-wit:

see exhibit A
also known as property address: 1007
Industrial Ave, Albion, MI 49224
Parcel ID NO: 51-006-459-01

together with all and singular the tenements, hereditaments and appurtenances thereunto belonging or
in anywise appertaining, for the sum of

Dated this 8th day of December 19 2021
Signed in the presence of: Signed by:

[Signature]
Haitwan Macci
member of
HMF M Holdings, LLC,
[Signature]

LINDA T PRISTER
Notary Public - State of Michigan
County of Wayne
My Commission Expires Sep 10, 2025
Acting in the County of Wayne

STATE OF MICHIGAN
COUNTY OF

The foregoing instrument was acknowledged before me this 8th day of February
2022 by Linda Prister
[Signature]
Notary Public,
County, Michigan

My Commission expires September 10, 2025

When Recorded Return To:	Send Subsequent Tax Bills To:	Drafted by:
		Business Address

Tax Parcel # _____ Recording Fee _____ Revenue Stamps _____

AFFIDAVIT
TITLE

LIBER 4576

PAGE 0756

Page 125 of 151

13-21771090-CAN

3 **WARRANTY DEED**

KNOW ALL PERSONS BY THESE PRESENTS: That: Hydra Real Estate Development, LLC, a Michigan limited liability company, ("Grantor")

the address of which is: 2207 Orchard Lake Road, Sylvan Lake, MI 48320

convey(s) and warrant(s) to: Irsam Holdings LLC, a Michigan limited liability company, ("Grantee")

the address of which is: 5720 Pontiac Trail, Orchard Lake, MI 48323

the following described premises situated in the City of Albion, County of Calhoun, State of Michigan, to wit:

SEE EXHIBIT A

also known as Property Address: 1007 Industrial Avenue, Albion, MI 49224
Parcel ID No.: 51-006-459-01

together with all and singular the tenements, hereditaments and appurtenances thereunto belonging or in anywise appertaining,
REAL ESTATE TRANSFER VALUATION AFFIDAVIT FILED.

Subject to zoning ordinances, building and use restrictions, if any, and easements of record.

When Recorded return to:
Irsam Holdings LLC
5720 Pontiac Trail
Orchard Lake, MI 48323

5-(3)30

Send Subsequent Tax Bills To:
Grantee

Drafted By:
Hydra Real Estate Development
Jeffrey Yatooma
2207 Orchard Lake Road
Sylvan Lake, MI 48320
Assisted by: ATA National Title Group,
LLC



STATE OF MICHIGAN - CALHOUN COUNTY
FILED
09/01/2021 08:43:24 AM
KIMBERLY A. HINKLEY, CLERK/REGISTER OF DEEDS

10/75
5/76

Dear Ian,
Attached are the responses to all the questions you had , along with the full pdf file
Including site planned survey
Thanks

Owner : HMFLLC
5720 orchard lake road
Orchard lake Mi 48323
Contact : Dr fatina Masri: 2483901208
Or Tarek Mazloun 7346641147

1- For ownership papers, Please review attached deed

As for :

3- Vegetation. Location and type of significant existing vegetation.
: LABLED AS LAWN in survey paper

13. Water. Location and elevations of existing water courses and water bodies, including county drains and man-made surface drainage ways, flood plains and wetlands.
:SURFACE DRAINAGE SHOWN

15. Other Structures. Proposed location of accessory structures, buildings and uses, including but not limited to flagpoles, light poles, docks, storage sheds, transformers, air conditioners and the method of screening where applicable.
:SHOWED PROPOSED BLDG. NO OTHER IFNO

17. Parking. Location of and dimensions of existing and/or proposed curbing, carports, barrier free access, parking areas (including indication of all spaces and method of surfacing), fire lanes and all lighting thereof.
:PROVIDED PROPOSED PARKING

22. Trash. Location, and size for screening of all trash receptacles and other solid waste disposal facilities. : On architect site plan

24. Natural Features. Identification of any significant site amenities or unique natural features.
SEE TOPOGRAPHIC SURVEY

Groundwater Protection. Provide information and address standards found in 3.15 Groundwater Protection. Flood maps are available at the City Planning Department.
How do we cover this topic ?
: FLOOD ZONE & MAP REFERENCE NOTED ON SURVEY.

GENERAL NOTES

- PROJECT DESIGN COMPLIANCE:** THE GENERAL CONTRACTOR AND EACH SUBCONTRACTOR SHALL BE FULLY RESPONSIBLE FOR FIELD CHECKING ALL EXISTING CONDITIONS AND FOR FITTING THEIR WORK TO EXISTING AND NEW WORK. NOTICE MUST BE IMMEDIATELY GIVEN TO THE DESIGN CONSULTANT WHERE THERE ARE INCONSISTENT OR CONFLICTING DIMENSIONS ON THE DRAWINGS AND FOR WHERE THERE IS CONFLICT IN THE WORK OF THE INDIVIDUAL TRADES AND/OR WHERE THERE IS CONFLICT BETWEEN THE WORK SHOWN ON THE DRAWINGS AND THE CONDITIONS FOUND IN THE FIELD. EACH CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR HIS WORK WHERE HE FAILS TO CHECK SUCH CONDITIONS AND/OR GIVE NOTICE TO THE DESIGN CONSULTANT OF DISCREPANCIES THEREIN.
- PROJECT DESIGN COMPLIANCE:** THE OWNER, GENERAL CONTRACTOR, EACH INDIVIDUAL SUBCONTRACTOR AND MATERIAL MEN AGREE TO SAVE THE ARCHITECT HARMLESS AS A RESULT OF ANY INJURY OR DAMAGE THAT MAY OCCUR TO ANY INDIVIDUAL OR PROPERTY DURING CONSTRUCTION AS A RESULT OF ACTS OF OMISSIONS BY THE SAID OWNER, CONTRACTORS AND/OR MATERIAL MEN IN THE PERFORMANCE OF THEIR WORK. ALL ERECTION AND CONSTRUCTION PROCEDURES SHALL BE EXECUTED IN SUCH MANNER AS TO FULLY PROTECT THE STRUCTURE, ALL OTHER TRADES WORKING ON THE PROJECT AND THE SURROUNDING AREAS FROM HAZARDOUS CONDITIONS. ALL WORK WILL PROCEED FOLLOWING ALL LOCAL, STATE, AND FEDERAL SAFETY CODES, STATUTES AND RECOGNIZED STANDARDS. ALL PROCEDURES OF CONSTRUCTION AND ERECTION WHICH ARE UNDERTAKEN WITHOUT THE EXPRESS WRITTEN APPROVAL OF THE ARCHITECT ARE THE SOLE RESPONSIBILITY OF THE OWNER, CONTRACTOR, SUBCONTRACTOR AND/OR MATERIAL MEN EXECUTING SAME AND ARE TO BE ACKNOWLEDGED AS BEING UNDERTAKEN WITHOUT THE ARCHITECT'S KNOWLEDGE OR CONSENT. LASTLY, IT SHALL BE THE RESPONSIBILITY OF EACH CONTRACTOR TO PROVIDE CERTIFICATES OF WORKMAN'S COMPENSATION AND PUBLIC LIABILITY INSURANCE NAMING BOTH THE OWNER AND THE ARCHITECT AS BENEFICIARIES UNDER SAID CERTIFICATES AND THAT FILING OF SAID CERTIFICATES SHALL BE A CONDITION PRECISANT TO ACCEPTANCE OF ANY WORK PERFORMED ON THE PROJECT.
- PROJECT DESIGN COMPLIANCE:** ANY REQUEST FOR A CHANGE TO THIS DRAWING MUST BE APPROVED BY THE FRANCHISE CONSTRUCTION DEPARTMENT PRIOR TO ANY WORK BEING COMPLETED. CHANGES WITHOUT PRIOR APPROVAL WILL BE DEEMED AS DEFAULT & WILL BE CORRECTED AT THE EXPENSE OF THE FRANCHISEE AND CAN DELAY THE STORE OPENING.
- ALL WORK SHALL BE COMPLETED OR COORDINATED BY THE G.C. UNLESS OTHERWISE NOTED.
- THE G.C. SHALL PERFORM ALL WORK TASKS AND SUPPLY ALL MATERIALS AND EQUIPMENT IN FULL ACCORDANCE WITH ALL APPLICABLE CODES, ORDINANCES, AND LAWS OF THE CITY AND STATE. THE GENERAL CONTRACTOR SHALL ALSO COMPLY WITH ALL RULES AND REGULATIONS OF THE LANDLORD.
- GENERAL CONTRACTOR(G.C.) IS RESPONSIBLE FOR ALL PERMITS AND FEES. THE G.C. SHALL FILE FOR, AND SECURE ALL APPROVALS, PERMITS, TESTS, INSPECTIONS, AND CERTIFICATES OF COMPLIANCE AS REQUIRED.
- THE G.C. SHALL PROVIDE TEMPORARY LIGHT, TELEPHONE, CLEAN UP SERVICE, AND REMOVE ALL TEMPORARY WORK UPON COMPLETION OF JOB. G.C. SHALL PROVIDE TEMPORARY BARRICADES/BARRIERS AS PER LANDLORD STANDARD OR LOCAL CODE REQ'MTS.
- THE G.C. IS RESPONSIBLE FOR HAVING THE SUBCONTRACTORS COORDINATE THEIR WORK WITH THE WORK OF THE OTHER TRADES INCLUDING WORK NOT IN THE CONTRACT.
- THE G.C. SHALL COORDINATE HIS ACTIVITIES DURING CONSTRUCTION WITH THE LANDLORDS PROJECT MANAGER.
- THE G.C. SHALL KEEP A FULL SET OF UP-TO-DATE PLANS AVAILABLE AT THE JOB SITE AT ALL TIMES.
- THE G.C. IS RESPONSIBLE FOR INITIATING, MAINTAINING, AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS NECESSARY FOR COMPLETION OF WORK.
- THE OWNER, ARCHITECT, OR ENGINEERS WILL NOT BE RESPONSIBLE FOR VERBAL INSTRUCTIONS.
- ALL SCRAP FROM LUMBER, CRATING, PAPER, AND SIMILAR TYPES OF TRASH ARE TO BE REMOVED FROM THE SITE ON A DAILY BASIS. TRASH IS NOT TO BE ALLOWED TO ACCUMULATE.
- ALL MATERIALS AND LABOR TO BE GUARANTEED FOR ONE YEAR FROM THE DATE OF FINAL PAYMENT. CONTRACTOR TO PROVIDE (SUPPLY AND INSTALL) ALL EQUIPMENT, LABOR SERVICES, AND MATERIALS REQUIRED FOR THE COMPLETE APPROVED INSTALLATION OF THE SYSTEMS AS CALLED FOR.
- ALL MATERIALS, CONSTRUCTION, AND FINISHES TO BE FIRE RATED, FIREPROOFED, AND FIRE RETARDANT TO MEET LOCAL, STATE, AND APPLICABLE NATIONAL FIRE CODES. ALL MATERIALS TO BE NEW AND OF THE BEST QUALITY AVAILABLE AND SHALL BE UL/FM RATED AS REQUIRED. NO COMBUSTIBLE MATERIALS ARE TO BE INSTALLED UNLESS PERMITTED BY CODE.
- G.C. SHALL VERIFY WITH THE OWNER/TENANT ALL FIXTURES BY OTHERS.
- THE G.C. SHALL KEEP ALL HANDBOOKS, PAPERWORK, AND KEY IN A MARKED ENVELOPE. ALL KEYS TO BE TAGGED WITH PROPER LOCATIONS. THIS ENVELOPE SHOULD BE TURNED OVER TO THE STORE OPERATIONS MANAGER WITH CERTIFICATE OF OCCUPANCY.
- IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO MAKE A CAREFUL INSPECTION OVER THE CONSTRUCTION AS A WHOLE, ASSURING HIMSELF THAT THE WORK ON THAT PART OF THE PROJECT IS READY FOR FINAL ACCEPTANCE BEFORE CALLING UPON THE ARCHITECT AND OWNER TO MAKE A FINAL INSPECTION.
- THE TENANT, HIS ARCHITECT, GENERAL CONTRACTOR, SUBCONTRACTORS, AND OTHER REPRESENTATIVES SHALL BE FAMILIAR WITH ALL PORTIONS OF THE LEASE AGREEMENT WHICH GOVERN THE DESIGN OF THE LEASED PREMISES. THE CONTRACTOR SHALL OBTAIN AND REVIEW A SET OF ALL LANDLORD RULES AND REGULATIONS PRIOR TO SUBMITTING A BID.
- G.C. SHALL INSTALL GROMMETS AS NEEDED AT ALL BUILT IN COUNTERS AT LOCATIONS OF ELECTRICAL OUTLET, TYPICAL THROUGHOUT.
- G.C. SHALL PREPARE A RECORD SET OF AS-BUILT DRAWINGS WHICH

ABBREVIATIONS

AF	ABOVE FINISHED	MA	MAXIMU
CK	CIRCUIT	MI	MINIMU
CLN	CEILIN	M	MIRRO
CON	CONCRE	MT	MET
CON	COUNTERT	N	NATURAL
D	DIAMET	N.I.	NOT IN
DI	DIAMET	N.	NUMBR
DWG	DRAWING	O.	ON
EAC	ELEVATI	O.	OUTSIDE
EL	EXISTIN	O	OVERHEON
EXIS	EXTERI	OPN	OPENIN
EX	EXTERI	OPN	OPENIN
FIN	FINISH	RA	RADIU
GA	GAUG	RE	REFEREN
GYP.B	GYPSUM	REQ'	REQUIR
G.	GENERAL	S.	SOLID
GL	GLASRAC	ST	STEE
HG	HOLLOW	TY	TYPIC
H.	HOLLOW	U.N.	UNLESS NOTED
R.	ROLLOW	V.C.	VINYL COMPOSITION
MT	MATERIAL	W	WIT
	OR	W	WOOD
		@	A
			T

VICINITY MAP



LOCATION MAP



OCCUPANCY BY ROOM FUNCTION

NAME	AREA	FUNCTION	FACTOR	OCC. LOAD	REQ'D EXIT WIDTH
BREAK ROOM	240 SF	AGRI	300 SF	1	0"
CORRIDOR	557 SF	N/A	0 SF		
CORRIDOR	366 SF	N/A	0 SF		
CORRIDOR	755 SF	N/A	0 SF		
CURE ROOM	364 SF	AGRI	300 SF	1	0"
ELECTRICAL ROOM	128 SF	MECH	300 SF	0	0"
FERTIGATION	288 SF	MECH	300 SF	1	0"
FLOWER ROOM	499 SF	AGRI	300 SF	2	0"
FLOWER ROOM	570 SF	AGRI	300 SF	2	0"
FLOWER ROOM	464 SF	AGRI	300 SF	2	0"
FLOWER ROOM	881 SF	AGRI	300 SF	3	1"
FLOWER ROOM	824 SF	AGRI	300 SF	3	1"
FLOWER ROOM #1	859 SF	AGRI	300 SF	3	1"
FLOWER ROOM #2	1105 SF	AGRI	300 SF	4	1"
FLOWER ROOM #3	823 SF	AGRI	300 SF	3	1"
MENS LOCKER ROOM	160 SF	N/A	0 SF		
MNS RR	54 SF	N/A	0 SF		
MOTHER & PROPAGATION ROOM	549 SF	AGRI	300 SF	2	0"
OFFICE	130 SF	BUSINESS	100 SF	1	0"
PROCESSING ROOM	354 SF	AGRI	300 SF	1	0"
SHIPPING/RECEIVING	513 SF	WAREHOUSE	500 SF	1	0"
UNISEX VAULT	76 SF	N/A	0 SF		
VAULT	111 SF	STORAGE	300 SF	0	0"
VEG ROOM	588 SF	AGRI	300 SF	2	0"
VESTIBULE	139 SF	N/A	0 SF		
WMS RR	54 SF	N/A	0 SF		
WOMENS LOCKER ROOM	104 SF	N/A	0 SF		
	11940 SF			32	6"

SHEET INDEX

SHEET	NAME	DATE
T1	COVER SHEET	11/08/2021
T2	NOTES AND SPECIFICATIONS	11/08/2021
T3	NOTES AND SPECIFICATIONS	11/08/2021
T4	ADA DETAILS	11/08/2021
A1	FLOOR AND DEMO PLAN	11/08/2021
A2	ELEVATIONS	11/08/2021
A3	SECTIONS	11/08/2021
E1	ELECTRICAL SITE PLAN	11/08/2021
E2	ELECTRICAL POWER PLAN	11/08/2021
E3	ELECTRICAL LIGHTING PLAN	11/08/2021
E4	ELECTRICAL EGRESS LIGHTING PLAN	11/08/2021
E5	ELECTRICAL GROW LIGHTING PLAN	11/08/2021
E6	MECHANICAL EQUIPMENT POWER PLAN	11/08/2021
E7	ONE LINE	11/08/2021
E8	ELECTRICAL PANEL SCHEDULES	11/08/2021
E9	ELECTRICAL SPECIFICATIONS	11/08/2021
M1	HVAC PLAN	11/08/2021
P1	WATER AND GAS PLAN	11/08/2021

PROJECT INFORMATION

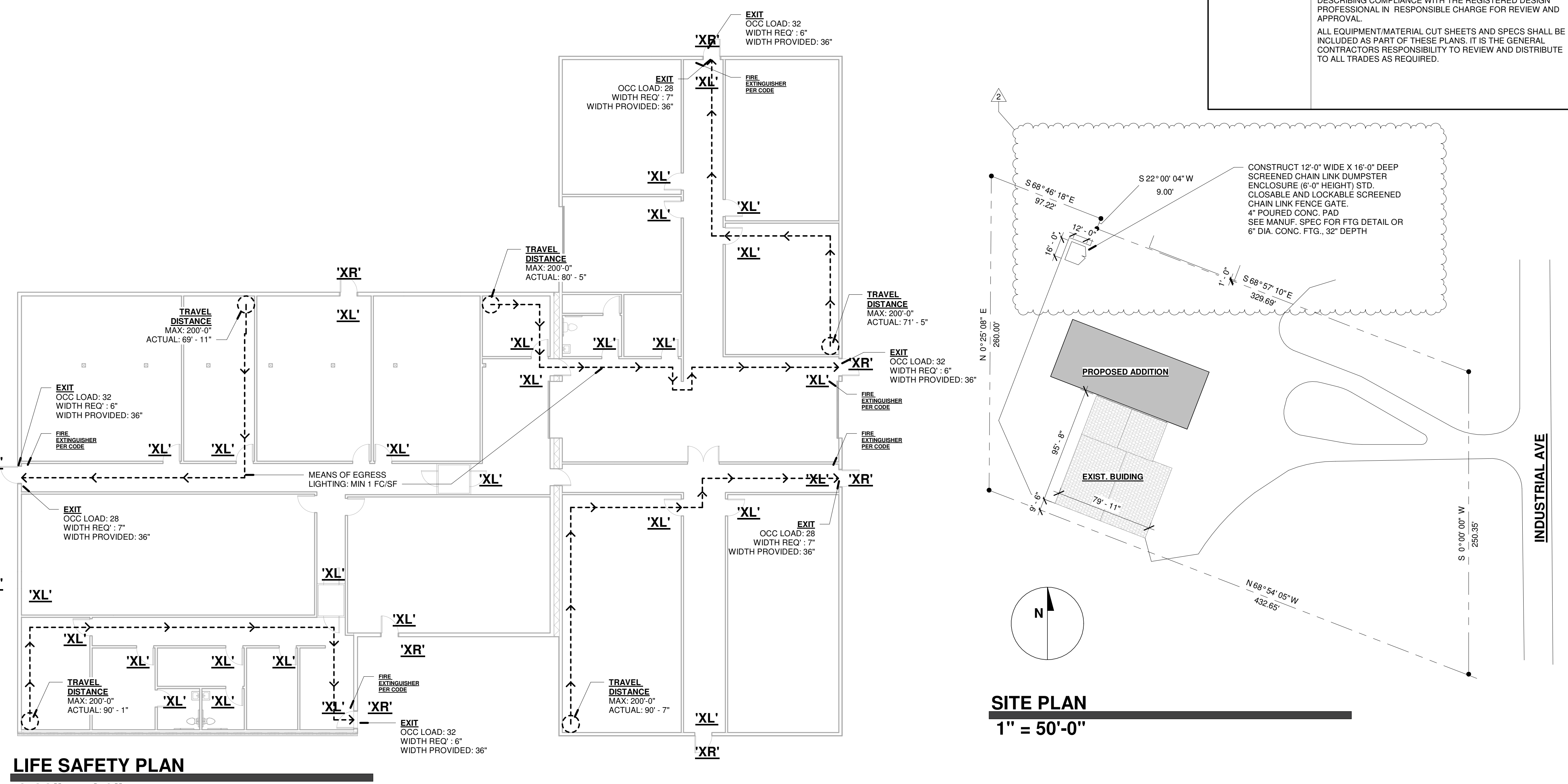
CLIENT INFORMATION	ALBION PROPERTY MANAGEMENT ABDUL CHUDHRY C. 734.502.4293 E.	
CODE	2015 MICHIGAN BUILDING CODE 2015 MICHIGAN PLUMBING CODE 2015 MICHIGAN MECHANICAL CODE 2017 NATIONAL ELECTRICAL CODE ICC/A117.1-2009 IFC 2015, NFPA	
AREA (TENANT)	SPACE	AREA FLOOR AT GRADE 11,940 USABLE SF
PLUMBING CALC.	FIXTURE REQ'MENTS:	PROVIDED:
	W/C: 1 PER 100 M/F	16/100-0, 1 REQ'D 3 PROVIDED
	LAV: 1 PER 100	32/100-1, 1 REQ'D 3 PROVIDED
	DRINKING FOUNTAIN 1 PER 400	PROVIDED BY OTHER MEANS: WATER COOLER IN BREAK RM.
USE GROUP	F-1 (INDUSTRIAL MODERATE-HAZARD OCCUPANCY)	
CONSTRUCTION TYPE	V-B	
FIRE SUPPRESSION	NO. NONE REQ'D FOR F-1 W/ FIRE AREAS NOT EXCEEDING 12,000 SF LARGEST FIRE AREA: 6,566 SF 3 HR FIRE RATED WALL BTWN	
DEFERRED SUBMITTALS	SPECS OF INTERIOR FINISHES COMPLYING W/ ASTM E84 FERTIGATION SHOP DRAWINGS SECURITY SYSTEM SHOP DRAWINGS	
NOTES	THESE CONSTRUCTION DOCUMENTS WERE PREPARED WITH THE CONSTRUCTION CODES IN EFFECT AT THE TIME OF PERMIT SUBMITTAL. ALL ENGINEERS, CONTRACTORS, AND SUPPLIERS INVOLVED WITH THIS PROJECT SHALL COMPLETE WITH THE SAME CODES ISSUED AND APPROVED CODE MODIFICATIONS AND/OR LOCAL CONSTRUCTION BOARDS OF APPEALS RULINGS AND WHEREVER REQUIRED, SHALL PROVIDE SHOP DRAWINGS AND SUBMITTALS CLEARLY DESCRIBING COMPLIANCE WITH THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE FOR REVIEW AND APPROVAL. ALL EQUIPMENT/MATERIAL CUT SHEETS AND SPECS SHALL BE INCLUDED AS PART OF THESE PLANS. IT IS THE GENERAL CONTRACTORS RESPONSIBILITY TO REVIEW AND DISTRIBUTE TO ALL TRADES AS REQUIRED.	



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33532 FIVE MILE RD.
LIVONIA, MI 48154
P. 248.471.2900

NOTES

- CO-ORDINATE ALL PLANS WITH "CONSTRUCTION MANUAL."
- ALL TRADES SHALL REVIEW AND HAVE ACCESS TO ENTIRE SET OF PLANS AND SPECS PRIOR TO BIDDING AND DURING CONSTRUCTION.
- G.C. IS RESPONSIBLE FOR OBTAINING, REVIEWING, AND DISTRIBUTING ALL DRAWINGS, DETAILS, AND EQUIPMENT AND MATERIAL SPECS.
- G.C. SHALL PROVIDE CONSTRUCTION SCHEDULES, WEEKLY UPDATES, AND PHOTOS OF THE PROJECT THROUGHOUT THE DURATION OF CONSTRUCTION.
- G.C. SHALL FIELD VERIFY ALL EXISTING CONDITIONS & IMMEDIATELY NOTIFY ARCHITECT OF ANY INCONSISTENCIES.
- G.C. SHALL PROVIDE ON-SITE STORAGE FOR ALL EQUIPMENT AND MATERIAL DELIVERIES DURING CONSTRUCTION.
- ALL REQUEST FOR INFORMATION MUST BE SUBMITTED ELECTRONICALLY.
- WORK SHALL NOT COMMENCE PRIOR TO RECEIPT OF ALL APPROVED PERMIT(S).
- DO NOT SCALE DRAWINGS.
- COPYRIGHT 2019 FORESTA ARCHITECTS, LLC.



PROJECT

21140B

GROW FACILITY
1007 INDUSTRIAL
BLVD. ALBION, MI
49224

SEAL



DATE

11/08/2021		
NO.	DESCRIPTION	DATE
1	REV 1	11/18/2021
2	REV 2	02/04/2022

SUBMITTAL

PERMIT

SHEET NAME

COVER SHEET

SHEET #

T1

S2.101 GENERAL REQUIREMENTS

- IF ANY GENERAL NOTE CONFLICTS WITH ANY DETAIL OR NOTE ON THE PLANS OR IN THE SPECIFICATIONS, THE STRICTEST PROVISION SHALL GOVERN.
- THE STRUCTURAL DRAWINGS ARE FOR THE PLACEMENT AND SIZE OF STRUCTURAL COMPONENTS ONLY. O.S.H.A., D.N.R. AND SAFETY CODE REQUIREMENTS ARE DETERMINED AND PROVIDED BY THE CONTRACTOR.
- THE STRUCTURE IS DESIGNED TO BE SELF-SUPPORTING AND STABLE AFTER IT IS FULLY COMPLETED. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE ERECTION PROCEDURE AND SEQUENCE, AND TO ENSURE THE SAFETY OF THE STRUCTURE AND ITS COMPONENTS PARTS DURING ERECTION. THIS INCLUDES PROVIDING TEMPORARY BRACING, SHORING, GUY'S OR TIE-DOWNS. THESE TEMPORARY SUPPORTS WILL REMAIN IN PLACE UNTIL ALL STRUCTURAL COMPONENTS ARE IN PLACE AND COMPLETED.
- USE OF ENGINEERING DRAWINGS AS ERECTION DRAWINGS BY THE CONTRACTOR IS STRICTLY PROHIBITED. DIMENSION SHOWN ON THE STRUCTURAL DRAWINGS ARE FOR REFERENCE ONLY AND SHOULD NOT BE USED FOR BUILDING LAYOUT AND LOCATION. SEE ARCHITECTURAL DRAWINGS AND SITE PLAN FOR THESE PURPOSES.
- THE LATEST EDITIONS OF THE A.I.A. GENERAL CONDITIONS (DOCUMENT A-201) ARE HEREBY MADE A PART OF THIS SPECIFICATION AND CONTRACT DOCUMENTS. A COPY OF THESE DOCUMENTS ARE AVAILABLE AT THE ARCHITECT OFFICE FOR REVIEW AND INSPECTION.
- EACH CONTRACTOR SHALL INCLUDE ALL FEES FOR PERMITS, TAPS, INSPECTIONS, ETC., INVOLVED IN THE WORK IN HIS PROPOSAL AND SHALL PAY SAME.
- CONTRACTOR SHALL INCLUDE ALL TAXES INVOLVED IN THE WORK IN HIS PROPOSAL AND PAY FOR SAME. CONTRACTOR SHALL PROVIDE FOR A (1) YEAR WRITTEN GUARANTEE FOR ALL EQUIPMENT, MATERIALS AND WORKMANSHIP, UNLESS OTHERWISE SPECIFIED OR INDICATED TO BE FOR A LONGER PERIOD, TO START FROM DATE OF CERTIFICATE OF OCCUPANCY.
- CONTRACTOR SHALL PROVIDE AND INSTALL ANY WEATHER PROTECTIVE DEVICES REQUIRED FOR ALL MATERIALS STORED ON THE SITE OR INSTALLED IN THE PROJECT. ALL STORAGE AND DEVICES SHALL BE IN THE BEST ACCEPTABLE METHOD FOR THE STANDARDS OF THE TRADE INVOLVED.
- CONTRACTOR SHALL REPLACE, REPAIR AND MATCH EXISTING MATERIALS OF THE CITY OR COUNTY STREETS, ETC., THAT MAY BECOME INVOLVED IN ANY DAMAGE DURING THE CONSTRUCTION OF THIS PROJECT. IN ACCORDANCE WITH THE CITY, COUNTY OR STATE HIGHWAY DEPT., STANDARDS, CODES OF REGULATIONS. HE SHALL MAINTAIN STREETS CLEAR OF DEBRIS AND MUD ON A DAILY BASIS. CONTRACTOR SHALL PROVIDE AND INSTALL ALL EQUIPMENT OR WORK SHOWN ON THE DRAWINGS, SPECIFIED HEREIN, OR NOTED, UNLESS NOTED OR SHOWN AS N.I.C. (NOT IN CONTRACT).
- CONTRACTOR SHALL PROVIDE AND INSTALL ALL ITEMS OF EQUIPMENT, MATERIAL OR LABOR AS SHOWN ON THE DRAWINGS OR REQUIRED OR SPECIFIED HEREIN, TO COMPLETE THE WORK OF THE PROJECT. ALL EQUIPMENT AND MATERIALS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE LATEST RECOMMENDATIONS AND SPECIFICATIONS OF THE MANUFACTURER OR TRADE INVOLVED.
- IT WILL BE THE RESPONSIBILITY OF ALL SUB-CONTRACTORS AND MATERIAL SUPPLIERS TO EXAMINE CAREFULLY ALL PAGES OF THE DRAWINGS AND SPECIFICATIONS, INCLUDING ALL NOTES ON DRAWINGS PERTAINING TO THE WORK OF THAT TRADE, ALL DETAILS, ROOM FINISH SCHEDULE, DOOR SCHEDULE, MECHANICAL AND ELECTRICAL DRAWINGS AND SPECIFICATIONS, TO DETERMINE THE EXTENT OF THE WORK OF THAT TRADE.
- CONTRACTOR SHALL REVIEW, APPROVE AND SUBMIT, WITH REASONABLE PROMPTNESS AND IN SUCH SEQUENCE AS TO CAUSE NO DELAY IN THE WORK, ALL SHOP DRAWINGS, PRODUCT DATA, AND SAMPLES.
- IT IS ASSUMED THAT ALL BIDS SUBMITTED WILL BE TOTAL, INCLUDING ALL MATERIALS AND LABOR NECESSARY OR REQUIRED TO COMPLETE THE WORK AND THE PROJECT IN ACCORDANCE WITH THE DRAWINGS AND SPECIFICATIONS AND IN CONFORMANCE WITH ALL APPLICABLE CODES, ORDINANCES, OR REGULATIONS THAT MAY APPLY.
- ALL SUB-CONTRACTORS AND MATERIAL SUPPLIERS SHALL BE RESPONSIBLE FOR PROTECTING FLOORS, WALLS, WOODWORK, PAINT, ETC., AND ALL OTHER ITEMS FROM MARKS, STAINS, SCRATCHES, AND OTHER DAMAGE RESULTING FROM THE PERFORMANCE OF THEIR WORK ON THE PROJECT. ANY DAMAGES REPLACED BY ANY SUB-CONTRACTOR OR SUPPLIER TO THE WORK OF THEIRS, SHALL BE REPAIRED OR REPLACED BY THAT TRADE OR BY THE GENERAL CONTRACTOR AND THE COST OF SAME DEDUCTED FROM THE TRADE INVOLVED AT NO COST TO THE OWNER.
- EACH SUB-CONTRACTOR SHALL DISPOSE OF ALL EXCESS MATERIALS AND DEBRIS FROM THE SITE, AS DIRECTED BY THE GENERAL CONTRACTOR, WHO SHALL BE RESPONSIBLE FOR THE OVERALL CLEANLINESS OF THE PROJECT. IF SUCH CLEAN UP IS NOT DONE BY THE SUB-CONTRACTOR OR SUPPLIER THEN THE WORK WILL BE DONE BY THE GENERAL CONTRACTOR AND DEDUCTED FROM THE TRADE INVOLVED OR BACK CHARGED TO SAME.
- ALL SUB-CONTRACTORS AND SUPPLIERS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY OR REQUIRED PERMITS, FEES, ETC., IN ORDER TO PROCEED WITH THE WORK AND SHALL PAY FOR SAME.
- NO CHARGE, IN ADDITION TO THE ORIGINAL BID, QUOTE OR PROPOSAL MADE BY ANY SUB-CONTRACTOR OR MATERIAL SUPPLIER WILL BE PAID UNLESS SAID EXTRA CHARGES HAVE BEEN AUTHORIZED BY WRITTEN ORDER SIGNED BY THE OWNER AND ARCHITECT. ALL REQUESTS FOR ADDITIONAL MONIES SHALL BE DIRECTED THROUGH THE GENERAL CONTRACTOR TO THE OWNER.
- SHOULD A BIDDER FIND ANY DISCREPANCY IN THE DRAWINGS OR SPECIFICATIONS, OR SHOULD HE BE IN DOUBT AS TO THEIR MEANING, HE SHALL NOTIFY THE ARCHITECT AT ONCE, WHO WILL ISSUE A WRITTEN ADDENDUM TO ALL PRIME CONTRACT BIDDERS INVOLVED.
- THE OWNER RESERVES THE RIGHT TO REFUSE ANY OR ALL BIDS, TO WAIVE ANY INFORMALITIES THEREIN, AND TO AWARD THE CONTRACT TO OTHER THAN THE LOW BIDDER IF SUCH IS DEEMED TO BE IN THE BEST INTEREST OF THE OWNER.
- EACH BIDDER SHALL AGREE TO START WORK IMMEDIATELY UPON AWARD OF THE CONTRACT AND SHALL STATE IN HIS PROPOSAL THE MINIMUM CALENDAR DAYS WHICH WILL BE REQUIRED TO CONSTRUCT AND COMPLETE THE PROJECT.
- CONTRACTOR SHALL PROVIDE AND MAINTAIN ALL TEMPORARY UTILITIES SUCH AS WATER, LIGHT, POWER, ETC., REQUIRED DURING CONSTRUCTION AND SHALL PAY FOR SAME. THIS CONTRACTOR SHALL ALSO FURNISH ALL TEMPORARY TOILETS, BARRICADES, RAMPS, WALKS, FENCES OR ANY OTHER DEVICE NEEDED TO COMPLETE THE PROJECT AND TO PROVIDE SAFETY TO THE PUBLIC AND THE WORKERS.
- THIS CONTRACTOR SHALL PROVIDE AND MAINTAIN WEATHER PROTECTIVE DEVICES AND HEATING AS MAY BE REQUIRED TO PROTECT ALL PARTS OF THE WORK, BUILDING, AND STORED MATERIALS, AGAINST DAMAGE FROM DAMPNESS OR COLD, TO DRY OUT THE WORK, AND TO MAINTAIN A MINIMUM TEMPERATURE OF NOT LESS THAN FIFTY DEGREES F., DURING CONSTRUCTION, PRIOR TO THE INSTALLATION OF THE PERMANENT HEATING SYSTEM. HEAT SHALL BE MAINTAINED AROUND THE CLOCK, 24 HOURS A DAY, FOR SEVEN DAYS A WEEK, AND SHALL BE PAID FOR BY THIS CONTRACTOR. WHEN PERMANENT SYSTEM IS INSTALLED, IT MAY BE USED TO FURNISH HEAT, BUT THE COST OF OPERATION AND MAINTENANCE WILL BE PAID FOR BY THIS CONTRACTOR. ROOF TOP UNITS ONLY MAY BE USED IF CONTRACTOR EXTENDS ALL UNIT WARRANTIES AT HIS COST, FOR FULL PERIOD OF TIME SPECIFIED, COMMENCING AT POINT OF OCCUPANCY BY OWNER.
- ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH THE LATEST SPECIFICATIONS AND IN ACCORD WITH THE BEST ACCEPTED PRACTICE FOR THE TRADES INVOLVED FOR ALL PHASES OF THE WORK AND FOR THE PROTECTION OF ALL MATERIALS. WHERE PRODUCT NAMES ARE NOTED, THE MANUFACTURERS PRINTED RECOMMENDATIONS FOR PRODUCT STORAGE AND APPLICATION SHALL GOVERN.
- INSURANCE: BUILDING RISK FIRE INSURANCE FOR ANY PORTION OF THE BUILDING COMPLETED SHALL BE FURNISHED BY THE OWNER. GENERAL CONTRACTOR SHALL FURNISH THE FOLLOWING MINIMUM INSURANCE LIMITS (SEE AIA DOC. A-201)

	EACH PERSON	EACH OCCURRENCE	AGGREGATE FOR PERIOD EFFECTIVE
COMP. BODILY INJURY	\$500,000.00	\$1,000,000.00	\$250,000.00
COMP. PROPERTY DAMAGE		\$250,000.00	
AUTO BODILY INJURY	\$500,000.00	\$1,000,000.00	
AUTO PROPERTY DAMAGE		\$250,000.00	
WORKMAN'S COMP. & EMPLOY. LIABILITY		STATUTORY	

S2.102 SITework

- CLEARING**
- STRIP ALL TOPSOIL AND VEGETATION FROM ALL AREAS TO BE OCCUPIED BY THE BUILDING OR PAVED AREAS. TOPSOIL SHALL BE CONSIDERED TO BE ALL MATERIAL CONTAINING ORGANIC CONTENT. REMOVE ALL TREES SHOWN TO BE REMOVED OR REQUIRED TO BE REMOVED, AND PULL OUT ALL STUMPS, AND ROOTS. ANY TREES SHOWN TO REMAIN SHALL BE CAREFULLY PROTECTED AT ALL TIMES AND SHALL BE WELLED AS REQUIRED TO SUIT THE FINISH GRADES INDICATED ON THE DRAWINGS. TOPSOIL SHALL BE STOCKPILED ON THE SITE FOR USE IN LANDSCAPED AREAS OR IF IN EXCESS REMOVED FROM SITE. ANY TREES SHOWN TO REMAIN THAT ARE DAMAGED OR OTHERWISE IMPAIRED DURING CONSTRUCTION SHALL BE REPLACED BY THIS CONTRACTOR AT HIS SALE COST. SPECIES AND CALIPER SHALL BE COMPARABLE TO ORIGINAL AND PLACED AT THE DISCRETION OF THE OWNER.
- EARTHWORK**
- ALL EXCAVATION SHALL BE CARRIED TO THE DEPTHS INDICATED ON DRAWINGS, AT LEAST 3"-6" BELOW FINISH GRADES FOR FOUNDATIONS, AND SHALL BE CLEANED AND LEVELED AS REQUIRED FOR THE INSTALLATION OF THE CONCRETE OR FUTURE WORK. ALL FOOTINGS SHALL BEAR ON UNDISTURBED SOIL WITH A MINIMUM BEARING CAPACITY OF 3,000 PSF CAPABLE OF SUPPORTING THE SUPERIMPOSED LOADS.
 - IF POOR SOILS CONDITIONS ARE ENCOUNTERED, CONTRACTOR SHALL NOTIFY THE OWNER, IN WRITING BY REGISTERED LETTER, OF SUCH POOR SOIL CONDITIONS AT LEAST 24 HOURS PRIOR TO PLACING ANY CONCRETE.
 - IF DISTURBED SOIL OR SOIL HAVING INSUFFICIENT BEARING CAPACITY IS FOUND AT THE DEPTHS INDICATED ON THE DRAWINGS, THEN THE CONTRACTOR SHALL CARRY EXCAVATION TO SUFFICIENT DEPTH TO ATTAIN SUCH BEARING CAPACITY. ADDITIONAL COST WILL BE COMPENSATED BASED ON UNIT COST AND PRICES FOR ADDITIONAL WORK INVOLVED.
 - ALL EXCAVATION SHALL BE FREE FROM ANY DEBRIS OR WATER BEFORE ANY CONCRETE IS PLACED. SHORE AND BRACE ALL EXCAVATIONS AS REQUIRED TO PREVENT CAVE-INS.
 - THIS CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PREVENT ANY DAMAGE TO ADJACENT STRUCTURES, FENCES, WALKS, ETC., AND SHALL PAY FOR THE COST OF ANY DAMAGES INCURRED BY HIS WORK OR THE WORK OF ANY OF HIS SUB-CONTRACTORS.
 - SUBGRADE SHALL BE PROOFROLLED WITH SUITABLE EQUIPMENT AND ALL SPONGY AND OTHERWISE UNSUITABLE MATERIAL SHALL BE REMOVED AND REPLACED WITH SUITABLE MATERIAL.
- BACKFILLING**
- ALL BACKFILLING FOR THE INTERIOR OF THE BUILDING SHALL BE CLEAN GRADED GRANULAR SOILS FREE FROM ANY DELETERIOUS MATERIAL OR MATTER, AND SHALL BE PLACED IN 6" LAYERS AND COMPACTED TO 95% MAXIMUM DENSITY MODIFIED PROCTOR TEST OR (ASTM D-1557 OR ASHTO T-180). EACH LAYER SHALL BE PLACED AND COMPACTED BEFORE THE NEXT LAYER IS PLACED.
 - BACKFILL UNDER ALL PARKING AREAS SHALL BE SUITABLE TRENCH MATERIAL OR CLEAN BROWN CLAY OR SAND MATERIAL BROUGHT IN FROM OFF SITE. SUCH FILL SHALL BE PLACED IN 8" LAYERS AND COMPACTED TO 95% MAXIMUM DENSITY MODIFIED PROCTOR TEST (ASTM D-1557 OR ASHTO T-180) BEFORE THE NEXT LAYER IS PLACED. ALL MATERIAL SHALL BE APPROVED BY ARCHITECT/ENGINEER. NO HEAVY CLAY MATERIAL SHALL BE USED.
- PAVEMENTS AND SIDEWALKS**
- CONCRETE PAVING FOR WALKS AND APPROACHES SHALL BE AS SHOWN ON DRAWINGS AND SHALL BE AIR ENTRAINED CONCRETE HAVING A COMPRESSIVE STRENGTH OF 3,500 PSI @28 DAYS (REFER TO CONCRETE SECTION). FURNISH AND INSTALL ALL NECESSARY OR REQUIRED EXPANSION AND CONTROL JOINTS. ALL WALKS SHALL HAVE A BROOM FINISH UNLESS OTHERWISE NOTED OR SHOWN. PROVIDE 4" OF COMPACTED SAND, MIN., UNDER ALL CONCRETE WORK.

S2.103 CONCRETE

APPLY UNLESS NOTED OTHERWISE (UNO) ON THE DRAWINGS.

DESIGN CODE
BUILDING CODE FOR CITY OF BERKELY, MICHIGAN BUILDING CODE 2003.

DESIGN LOADS
CORRIDOR AND STAIR LIVE LOAD. 100 PSF
MECHANICAL FLOOR LIVE LOAD. 125 PSF
ASSEMBLY AREA FLOOR LIVE LOAD 100 PSF
ROOF LIVE LOAD. 30 PSF
PLUS APPLICABLE SLIDING & DRIFTING SNOW INCREASES WIND LOAD BASED ON 85 MPH BASIC WIND SPEED, EXPOSURE B

MATERIALS GRADES AND STRENGTHS
CAST-IN-PLACE CONCRETE
DRILLED PIERS. F'c = 4000 PSI AT 28 DAYS
SLAB-ON-GRADE FLOORS. F'c = 3000 PSI AT 28 DAYS
NON-STRUCTURAL TOPPING SLAB. F'c = 3000 PSI AT 28 DAYS
CONCRETE ON METAL DECK. F'c = 3500 PSI AT 28 DAYS
FOUNDATION WALLS & GRADE BEAMS. F'c = 5000 PSI AT 28 DAYS
STRUCTURAL TOPPING ON PRECAST PLANK F'c = 4000 PSI AT 28 DAYS
SIDEWALKS, CURBS, PAVING, ETC. SEE SPECIFICATIONS
ALL OTHER CONCRETE. F'c = 4000 PSI AT 28 DAYS
CONCRETE MASONRY UNITS ASTM C90 TYPE "N-1"
MASONRY CORE FILL AND BOND BEAMS F'c = 3000 PSI AT 28 DAYS
REINFORCING STEEL
BARS ASTM A615 (GRADE 60)
WELDED DEFORMED BAR ANCHORS LENTON OR APPROVED EQUAL
WELDED WIRE FABRIC ASTM A185
STRUCTURAL STEEL
SHAPES AND PLATES. ASTM A36 (Fy = 36 KSI)
W-SHAPE BEAMS AND COLUMNS. ASTM A572 (Fy = 50 KSI)
RECTANGULAR TUBES ASTM A500, GRADE B (Fy = 46 KSI)
PIPES ASTM A53, TYPES E OR S GRADE B OR
ASTM A501
BOLTS ASTM A325N
ANCHOR BOLTS. ASTM A307 OR ASTM A36
EXPANSION BOLTS KWIK-BOLTS, REDHEADANCHORS OR THUNDERHEADS

FOUNDATIONS
FOOTINGS HAVE BEEN DESIGNED FOR A MAXIMUM SOIL BEARING PRESSURE OF 2500 PSF. IF THE SOIL AT THE FOOTING ELEVATIONS SHOWN IS OF QUESTIONABLE BEARING VALUE, THE ARCHITECT/ENGINEER SHALL BE NOTIFIED AT ONCE FOR RESOLUTION.

ALL FOUNDATIONS SHALL BE CENTERED ON WALLS OR COLUMNS, UNO.

WALLS RETAINING SOIL HAVE BEEN DESIGNED FOR AN EQUIVALENT FLUID PRESSURE OF 45 PCF. ONLY FREE DRAINING GRANULAR FILL SHALL BE USED.

WHERE FILL MATERIAL IS PLACED ON ONE SIDE OF A WALL, THE WALL SHALL BE ADEQUATELY SHORED AND BRACED OR THE MATERIAL SHALL NOT BE PLACED UNTIL SUPPORTING FLOOR SLABS HAVE BEEN POURED AND SET.

PROTECT IN-PLACE FOUNDATIONS AND SLABS ON GRADE FROM FROST PENETRATION UNTIL PROJECT COMPLETION.

CAST-IN-PLACE CONCRETE
CODE FOR REINFORCED CONCRETE DESIGN AND CONSTRUCTION IS ACI 318, LATEST EDITION.

ARRANGEMENT AND BENDING OF REINFORCING STEEL SHALL BE IN ACCORDANCE WITH ACI DETAILING MANUAL, LATEST EDITION.

REINFORCING STEEL SHALL BE NEW DEFORMED BARS.

CONCRETE COVER TO REINFORCING STEEL, UNO, SHALL BE AS FOLLOWS:
SURFACES CAST AGAINST EARTH.3"
FORMED SURFACES IN CONTACT WITH EARTH OR EXPOSED TO WEATHER:
#6 BAR OR LARGER 2"
#5 BAR OR SMALLER. 1-1/2"
FORMED SURFACES NOT IN CONTACT WITH EARTH OR EXPOSED TO WEATHER:
WALLS, SLABS, JOISTS 1"
BEAMS, COLUMNS. 1-1/2"

NON-CONTINUOUS ENDS OF TOP BARS IN BEAMS, JOISTS AND SLABS SHALL TERMINATE IN A STANDARD HOOK, UNLESS DETAILED OTHERWISE.

WHERE REINFORCED BARS ARE SHOWN CONTINUOUS, PROVIDE CLASS B TENSION LAP SPLICES (12" MINIMUM) EXCEPT WHERE NOTED OR DETAILED OTHERWISE STAGGER LAPS IN SLABS AND WALLS. LAP W.W.F. WIRE SPACING PLUS 2" (6" MINIMUM).

DETAIL AND PROVIDE SUITABLE WIRE SPACERS, CHAIRS,TIES, ETC., FOR SUPPORTING REINFORCING STEEL IN THE PROPER POSITION WHILE PLACING CONCRETE.

ALL CHAIRS SUPPORTED BY GRADE SHALL INCLUDE SAND PLATES.
OR 15 FT. FOR EXPOSED CONCRETE SURFACES.

CAST-IN-PLACE CONCRETE(CONTINUED)

BAR SUPPORTS WHICH COME IN CONTACT WITH EXPOSED SURFACES SHALL HAVE PLASTIC OR RUBBER TIPS OR BE STAINLESS STEEL.

PROVIDE DOWELS OF SAME SIZE AND SPACING AS VERTICAL OR COLUMN REINFORCING AT THE FOUNDATION, UNLESS NOTED OTHERWISE. ALL DOWELS SHALL BE TIED IN PLACE PRIOR TO CONCRETE PLACEMENT.

PROVIDE BENT CORNER BARS TO MATCH AND LAP WITH HORIZONTAL BARS AT CORNERS AND INTERSECTIONS OF WALLS, BEAMS, BOND BEAMS, AND FOOTINGS.

CONTINUOUS TOP BARS IN BEAMS SHALL BE SPLICED AT MID SPAN AND BOTTOM BARS OVER SUPPORTS, UNLESS NOTED OTHERWISE.

WHERE CONSTRUCTION JOINTS ARE NOT SHOWN, OR WHEN ALTERNATE LOCATIONS ARE PROPOSED, DRAWINGS SHOWING LOCATION OF CONSTRUCTION AND CONTROL JOINTS AND PLACING SEQUENCE SHALL BE SUBMITTED FOR APPROVAL PRIOR TO PREPARATION OF THE REINFORCING STEEL SHOP DRAWINGS.

HORIZONTAL CONSTRUCTION JOINTS ARE NOT PERMITTED IN CONCRETE MEMBERS UNLESS SHOWN ON THE DRAWINGS OR APPROVED IN ADVANCE.

VERTICAL CONSTRUCTION JOINTS OR BULKHEADS SHALL BE MADE AT MID SPAN OR POINTS OF MINIMUM SHEAR.

SIZE OF CONCRETE POURS BETWEEN CONSTRUCTION JOINTS SHALL BE LIMITED TO:
WALLS: MAXIMUM LENGTH 100 FT. WITH INTERMEDIATE CONTROL JOINTS AT APPROXIMATELY 30 FT. DO NOT LOCATE WITHIN 5 FT. OF A CORNER OR COLUMN.

SLABS ON GRADE: 3600 SQ. FT. WITH MAXIMUM DIMENSION OF FT. PLACE IN LANE OR STRIP FASHION WITH INTERMEDIATE CONTROL JOINTS AT APPROX. 30FT.
OR 15 FT. FOR EXPOSED CONCRETE SURFACES.

CAST-IN-PLACE CONCRETE CONT'D
CONC. ON METAL DECK 10,000 SQ. FT. WITH A MAX. DIMENSION OF 100 FT.

VERIFY LOCATION OF OPENINGS SHOWN THROUGH CONCRETE SLABS OR WALLS AND COORDINATE ANY ADDITIONAL REQUIRED OPENINGS WITH OTHER TRADES AND THE ARCHITECT/ENGINEER.

TRIM OPENINGS IN CONCRETE WALLS AND SLABS WITH HORIZONTAL AND VERTICAL #4 BARS AND DIAGONAL #4 BARS AT CORNERS (UNO).

CONCRETE EXPOSED TO FREEZING AND THAWING SHALL CONTAIN 5-7% ENTRAINED AIR.

ALUMINUM CONDUIT OR PIPING MAY NOT BE EMBEDDED IN ANY CONCRETE.

CALCIUM CHLORIDE IS NOT PERMITTED IN ANY CONCRETE ADD-MIXTURES.

SUBMIT MIX DESIGN TO ENGINEER/ARCHITECT FOR APPROVAL PRIOR TO PLACING ANY CONCRETE.



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NOTES

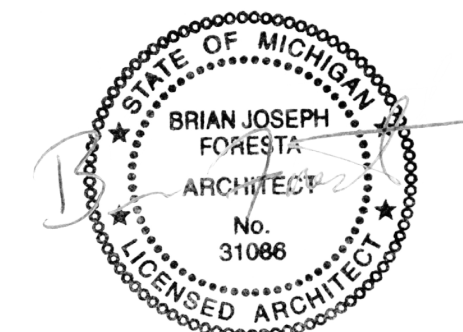
- CO-ORDINATE ALL PLANS WITH "CONSTRUCTION MANUAL"
- ALL TRADES SHALL REVIEW AND HAVE ACCESS TO ENTIRE SET OF PLANS AND SPECS PRIOR TO BIDDING AND DURING CONSTRUCTION.
- G.C. IS RESPONSIBLE FOR OBTAINING, REVIEWING, AND DISTRIBUTING ALL DRAWINGS, DETAILS, AND EQUIPMENT AND MATERIAL SPECS.
- G.C. SHALL PROVIDE CONSTRUCTION SCHEDULES, WEEKLY UPDATES, AND PHOTOS OF THE PROJECT THROUGHOUT THE DURATION OF CONSTRUCTION.
- G.C. SHALL FIELD VERIFY ALL EXISTING CONDITIONS & IMMEDIATELY NOTIFY ARCHITECT OF ANY INCONSISTENCIES.
- G.C. SHALL PROVIDE ON-SITE STORAGE FOR ALL EQUIPMENT AND MATERIAL DELIVERIES DURING CONSTRUCTION.
- ALL REQUEST FOR INFORMATION MUST BE SUBMITTED ELECTRONICALLY.
- WORK SHALL NOT COMMENCE PRIOR TO RECEIPT OF ALL APPROVED PERMIT(S).
- DO NOT SCALE DRAWINGS.
- COPYRIGHT 2019 FORESTA ARCHITECTS, LLC.

PROJECT

21140B

GROW FACILITY
1007 INDUSTRIAL
BLVD. ALBION, MI
49224

SEAL



DATE

11/08/2021

NO.	DESCRIPTION	DATE
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SUBMITTAL

PERMIT

SHEET NAME

NOTES AND SPECIFICATIONS SHEET #

T2

S2.104 MASONRY

MASONRY

PROVIDE WELDED WIRE JOINT REINFORCING IN ALL MASONRY WALLS AT 16" O.C. MAXIMUM.

PROVIDE REINFORCING BARS AT LOCATIONS INDICATED ON THE DRAWINGS. LAP 40 BAR DIAMETERS AT SPLICES IN VERTICAL WALL REINFORCING AND 30 BAR DIAMETERS ELSEWHERE UNLESS NOTED OTHERWISE.

GROUT CORES IN 5'-0" MAXIMUM LIFTS UNLESS CLEAN-OUTS ARE PROVIDED, IN WHICH CASE 8'-0" MAXIMUM LIFTS MAY BE USED.

TIE VERTICALLY REINFORCING TO JOINT REINFORCING AT 32" ON CENTER VERTICALLY TO MAINTAIN POSITIONING WHILE GROUTING.

PROVIDE 1-#5 VERTICAL BELOW BEAM AND LINTEL BEARINGS AND GROUT CORE FULL HEIGHT. BEARING DISTANCE SHALL BE A MINIMUM OF 8" BEAM OR LINTEL SHALL BE SET IN GROUT, 1/2" MINIMUM DEPTH, PROVIDE 1-#5 VERTICAL, FROM TOP OF FOOTING TO TOP OF WALL, IN CORES ADJACENT TO BEAM & LINTEL BEARINGS, GROUT CORE SOLID FULL HEIGHT, UNO.

CMU CORES CONTAINING VERTICAL REINFORCING SHALL BE GROUTED SOLID WITH 3000 PSI CORE FILL CONCRETE. FILLING CORES WITH MORTAR IS NOT ACCEPTABLE.

PLACE CONSTRUCTION JOINTS IN MASONRY WALLS SUCH THAT NO STRAIGHT RUN OF MASONRY EXCEEDS 40'-0", UNO.

PROVIDE SPECIAL BLOCK TYPES WHERE REQUIRED FOR CORNERS, CONTROL JOINTS, HEADERS, LINTELS W/2-#5 MINIMUM (UNO), OTHER SPECIAL CONDITIONS WHETHER OR NOT SPECIFICALLY INDICATED ON THE DRAWINGS.

CONSTRUCT NON-LOAD-BEARING MASONRY WALLS TO ALLOW FOR DEFLECTION OF ROOF AND/OR FLOOR STRUCTURE.

CONSTRUCT NON-LOAD-BEARING MASONRY WALLS SUCH THAT THEY ARE BRACED AGAINST LATERAL MOVEMENT BY 14 GA. STEEL ANGLE CONT. EACH SIDE AT TOP OF WALL. CONNECT ANGLE TO ROOF OR FLOOR STRUCTURE. SNUG FIT CONNECTION TO MASONRY TO ALLOW FOR VERTICAL DEFLECTION OF ROOF OR FLOOR STRUCTURE WHILE INHIBITING LATERAL DEFLECTION OF MASONRY WALL.

MASONRY STRENGTH NOTES

PRISM TESTING OF F'm = 1500 PSI IS NOT REQUIRED PROVIDED MINIMUM COMPRESSIVE STRENGTH OF MASONRY UNITS IS 2000 PSI PER ACI 530-95 FOR TYPE M OR S MORTAR, UNO.

WHERE F'm EXCEEDS 1500 PSI, THE REQUIRED STRENGTH SHALL BE VERIFIED BY ONE OF THE FOLLOWING TWO METHODS:

- COMPRESSIVE STRENGTH OF MASONRY UNITS SHALL BE INCREASED TO ACHIEVE REQUIRED F'm PER ACI 530-95 FOR TYPE M OR S MORTAR.
- PRISM TESTING PER ACI 530-95.

STRUCTURAL ENGINEER SHALL BE NOTIFIED IN WRITING, PRIOR TO CONSTRUCTION, OF METHOD TO BE USED.

WHEN PRISM TESTING IS USED TO DETERMINE F'm, NOT LESS THAN FIVE PRISMS SHALL BE CONSTRUCTED AND TESTED PRIOR TO CONSTRUCTION FOR EACH STRENGTH SPECIFIED. DURING CONSTRUCTION, THREE PRISMS SHALL BE TESTED PER EACH 5000 SQ. OF WALL.

TYPICAL LINTEL TYPES AND NOTES

- VERIFY SIZE AND LOCATION OF ALL MECHANICAL, U.V., U.M., LOUVER AND DUCT OPENINGS WITH MECHANICAL CONTRACTOR.
- FOR ALL OPENINGS, THROUGH MASONRY WALL INCLUDING MECHANICAL AND ELECTRICAL OPENINGS, PROVIDE ONE OF THE FOLLOWING (UNO).
 - STEEL ANGLE LINTELS (MINIMUM BEARING OF 6" ON SOLID MASONRY).
 - 1-3-1/2" X 3-1/2" X 1/4" ANGLE FOR EACH 4" THICKNESS OF WALL FOR SPANS UP TO 4'-0".
 - 1-5" X 3-1/2" X 5/16" ANGLE FOR EACH 4" THICKNESS OF WALL FOR SPANS UP TO 5'-0".
 - 1-6" X 3-1/2" X 5/16" ANGLE FOR EACH 4" THICKNESS OF WALL FOR SPANS TO 6'-0".
 - BLOCK LINTELS (MINIMUM BEARING OR 6" ON SOLID MASONRY)

12" BLOCK	8" BLOCK	6" BLOCK	WALL TYPE
2-#4 BOT.	2-#4 BOT.	1-#4 BOT.	BRG. WALL UP TO 3'-4" SPAN
2-#5 BOT.	2-#5 BOT.	1-#5 BOT.	NON BRG. WALL UP TO 3'-5" TO 6'-4" SPAN
2-#5 BOT.	2-#5 BOT.	-----	BRG. WALL UP TO 4'-6" SPAN
2-#5 T&B	2-#6 T&B	-----	BRG. WALL UP TO 4'-7" TO 6'-4" SPAN

- FILL LINTEL BLOCKS SOLID WITH 3,000 PSI CONCRETE (3/8 MAXIMUM AGGREGATE).
- ALL STEEL LINTEL BEAMS TO BEAR A MINIMUM OF 8" ON SOLID MASONRY, FILL BLOCK CORES UNDER ALL STEEL LINTEL BEAM BEARINGS WITH 3,000 PSI CONCRETE A MINIMUM OF 5 COURSES DOWN FOR 16" LENGTH OF WALL (UNLESS OTHERWISE NOTED).

SUPPLEMENTAL NOTES

EXAMINE ARCHITECTURAL, MECHANICAL PLUMBING AND ELECTRICAL DRAWINGS TO DETERMINE LOCATION AND DIMENSIONS OF CHASES, INSERTS, OPENINGS, SLEEVES, REVEALS, DEPRESSIONS AND OTHER PROJECT REQUIREMENTS NOT SHOWN ON STRUCTURAL DRAWINGS.

BEFORE FABRICATION AND ERECTION OF ANY MATERIALS, FIELD VERIFY ALL EXISTING ELEVATIONS, DIMENSIONS AND CONDITIONS AS SHOWN ON THE DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT/ENGINEER AT ONCE FOR RESOLUTION.

STRUCTURAL MEMBERS INCLUDING JOISTS, SLABS, BEAMS, TRUSSES, COLUMNS AND WALLS ARE DESIGNED FOR "IN PLACE" LOADS. CONTRACTOR IS RESPONSIBLE FOR BRACING, WITHOUT OVER-STRESSING, ALL STRUCTURAL ELEMENTS (AS REQUIRED AT ANY STAGE OF CONSTRUCTION) UNTIL COMPLETION OF THIS PROJECT.

S2.105 METALS

STRUCTURAL STEEL

- STEEL DESIGN, FABRICATION AND ERECTION TO BE IN ACCORDANCE WITH THE LATEST A.I.S.C. SPECIFICATION FOR STRUCTURAL STEEL FOR BUILDINGS.
- ALL WIDE FLANGE BEAMS AND COLUMNS SHALL CONFORM TO THE LATEST ASTM SERIAL DESIGN A572, GR50; ALL MISCELLANEOUS STEEL PLATES, BARS, ANGLES, ETC., SHALL CONFORM TO ASTM A36; STEEL TUBING TO BE ASTM A500, GRADE; STEEL PIPE ASTM A-53, GRADE B.
- ALL WELDED CONNECTIONS SHALL BE IN ACCORDANCE WITH THE LATEST AWS CODE, E70XX ELECTRODES, WITH WELDING PERFORMED BY QUALIFIED WELDERS.
- BOLTED CONNECTIONS SHALL BE MADE WITH A-315 OR A-490 BOLTS. ALL BOLTS ARE TO BE INSTALLED IN ACCORDANCE WITH THE LATEST SPECIFICATIONS FOR "STRUCTURAL JOINTS USING A.S.T.M. A-325 OR A-405 BOLTS"
- DESIGN CONNECTIONS FOR MINIMUM ONE-HALF THE TOTAL ALLOWABLE UNIFORM LOAD PER A.I.S.C. BEAM LOAD TABLES, UNLESS OTHERWISE NOTED. (MIN. 2 BOLTS EACH CONNECTION)
- SINGLE PLATE SHEAR CONNECTIONS ARE ACCEPTABLE ONLY FOR BEAM TO GIRDER AND SKEWED CONNECTIONS LESS THAN 30 KPS. SHEAR PLATES OR SINGLE SHEAR ANGLES SHALL BE WELDED TO THE TOP FLANGE OF SUPPORTING GIRDERS.
- THE STRUCTURAL STEEL CONTRACTOR SHALL INCLUDE 5 TONS OF ADDITIONAL STEEL, INCLUDING FABRICATION AND ERECTION, TO BE USED AT THE DISCRETION OF THE STRUCTURAL ENGINEER.
- THE DESIGN, CONFIGURATION AND ERECTION SAFETY OF ALL STRUCTURAL STEEL CONNECTIONS SHALL BE THE RESPONSIBILITY OF THE STRUCTURAL STEEL FABRICATOR. REVIEW AND ACCEPTANCE OF THE SHOP DRAWINGS BY THE ENGINEER SHALL CONSTITUTE APPROVAL OF THE LOAD CARRYING CAPACITY ONLY.
- TEMPORARY ERECTION SEATS SHALL BE PROVIDED AS RECOMMENDED ON PAGE 3-59 OF THE A.I.S.C. PUBLICATION "ENGINEERING FOR STEEL CONSTRUCTION"
- STEEL JOISTS AND JOIST GIRDERS ARE TO BE FABRICATED BY A MEMBER OF THE STEEL JOIST INSTITUTE AND BE DESIGNED FABRICATED AND ERECTED IN ACCORDANCE WITH THE LATEST SPECIFICATIONS OF THE S.J.I.
- ALL PROVISIONS OF THE RECOMMENDED CODE OF STANDARD PRACTICE FOR STEEL JOISTS AS ADOPTED BY THE STEEL JOIST INSTITUTE SHALL BE ADHERED TO.
- STEEL JOIST BEARING ON STEEL BEAMS OR PLATES, TO BE WELDED TO STEEL WITH 2" LONG BEAD EACH SIDE OF BEARING. EXTEND BOTTOM CHORDS OF JOISTS AT COLUMNS AND CONNECT. IF NO JOIST OCCURS AT COLUMNS, EXTEND BOTTOM CHORDS OF EACH ADJACENT JOIST AND CONNECT.
- METAL DECK SHALL CONFORM TO ALL REQUIREMENTS OF "BASIC DESIGN SPECIFICATION" AS ADOPTED BY THE STEEL DECK INSTITUTE (S.D.I.).
- METAL ROOF DECK SHALL BE WIRE RIB WITH NESTING SIDE SEAMS OF DEPTH AND GAGE INDICATED ON THE DRAWINGS. DECK SHALL BE WELDED TO ALL SUPPORTING STEEL WITH PUDDLE WELDS 5/8" DIAMETER MINIMUM, AT 12" ON CENTER MAXIMUM SPACING 36/5 AND 6" O/C (ALL FLUTES) 36/7 AT END LAP SUPPORT POINTS AND BUILDING PERIMETER ATTACHMENTS. SIDE LAP CONNECTIONS SHALL BE MADE AT MAXIMUM 18" CENTERS AT THIRD POINTS OF SPAN WITH #10 TEK SCREW MIN. REFER TO SPECIFICATIONS FOR ADDITIONAL ERECTION PROCEDURES.
- REFER TO ARCHITECTURAL DRAWINGS FOR ADDITIONAL ANGLES, PLATES, BARS, CLIPS ETC., ATTACHED TO STRUCTURAL STEEL.
- UNLESS OTHERWISE NOTED, ALL FLOOR AND ROOF OPENINGS SHALL BE FRAMED WITH L 5 X 3-1/2 X 5/16 L.L.V. VERIFY EXACT LOCATION OF ALL FOR AND ROOF OPENINGS WITH ARCHITECTURAL AND MECHANICAL DRAWINGS WITH CONTRACTOR INVOLVED.
- THIS STEEL FRAME IS NON-SELF SUPPORTING PER A.I.S.C. CODE OF STANDARD PRACTICE, SECTIONS 7.9.3 AND 7.9.5. ERECTION, BRACING, SHORING, ETC. SHALL CONFORM TO THESE SECTIONS. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE THE ERECTION PROCEDURE AND SEQUENCE.

DESIGN LIVE LOADS

- ROOF: 25 PSF LIVE LOAD (SNOW) + DRIFT WHERE APPLICABLE PER CODE
- WIND: 90 MPH EXPOSURE B
20 PSF MINIMUM FOR ALL MEMBERS DEFINED AS COMPONENTS AND CLADDING.
- SEISMIC: SS = 0.12 S1 = 0.045 IE = 1.0 SITE CLASS "D"

PREFABRICATED BUILDING

- VERIFY ALL SIZE AND DETAILS PERTAINING TO THE PRE-ENGINEERED BUILDING, INCLUDING COLUMN AND ANCHOR BOLT LOCATIONS WITH METAL BUILDING SUPPLIER.
- VERIFY ALL DIMENSIONS WITH ENGINEERED BUILDING SUPPLIER PRIOR TO CONSTRUCTION.
- FOUNDATIONS FOR THE PRE-ENGINEERED COLUMNS ARE DESIGNED PER LOADS TRANSMITTED BY PRE-ENGINEERED BUILDING SUPPLIER.

LIGHT GAGE FRAMING

- LIGHT GAGE FRAMING AND CONNECTIONS SHALL BE DESIGNED BY THE MANUFACTURER AND SEALED DRAWINGS AND CALCULATIONS SHALL BE PREPARED AND SUBMITTED BY AN ENGINEER REGISTERED IN THE STATE OF MICHIGAN.
- LIGHT GAGE MEMBERS SHALL BE DESIGNED, MANUFACTURED, AND INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE AMERICAN IRON AND STEEL INSTITUTE (AISI), INCLUDING ANY REQUIRED CLIPS, STIFFENERS AND BRACING.
- LOAD BEARING WALL STUDS AND FLOOR JOISTS SHALL BE BRACED AT A MINIMUM OF 5'-0" ON CENTER WITH ADDITIONAL BRACING AS REQUIRED BY THE MANUFACTURER.
- MEMBER SIZES INDICATED ON THE DRAWINGS ARE MINIMUM DEPTH AND GAGE REQUIRED TO MEET THE DESIGN INTENT AND ARE BASED ON THE PROPERTIES AND MATERIALS LISTED IN THE DALE/INCOR PRODUCT CATALOG. ALTERNATE MANUFACTURERS ARE ACCEPTABLE IF THE PHYSICAL PROPERTIES ARE EQUAL OR BETTER THAN THOSE LISTED AND ACCEPTABLE TO THE PROJECT ARCHITECT AND ENGINEER, AND MEET OR EXCEED PERFORMANCE CRITERIA.
- LIGHT GAGE FRAMING SUPPLIER SHALL SUBMIT DRAWINGS AND CALCULATIONS SEALED BY A PROFESSIONAL ENGINEER REGISTERED IN MICHIGAN INDICATING ALL REQUIRED FLOOR AND WALL LOADS AND VERIFYING ANY MEMBER SIZES SHOWN. DESIGN BY SUPPLIER SHALL INCLUDE ALL CONNECTIONS AND MISCELLANEOUS MATERIALS NECESSARY FOR A COMPLETE STRUCTURE.

S2.108 DOORS AND WINDOWS

- FURNISH ALL NECESSARY OR REQUIRED MATERIALS AND LABOR FOR THE COMPLETE INSTALLATION OF ALL GLASS AND GLAZING SHOWN IN THE DRAWINGS OR SPECIFIED HEREIN. INSTALLATION SHALL BE IN ACCORDANCE WITH THE BEST ACCEPTED PRACTICE FOR THE TRADE AND IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS.
- MATERIALS: FRAME MATERIALS FOR WINDOWS SHALL BE ANODIZED ALUMINUM SECTION SIMILAR TO KAWNEER CO., NU-CORE FOR EXTERIOR CAPABLE OF WITHSTANDING 30 PSF WIND LOAD AND INSTALLED INSURE A WEATHER TIGHT SYSTEM. ALL INSTALLATION SHALL BE IN A NEAT AND WORKMANLIKE MANNER WITH WALL JOISTS CUTS AND FITTED PRECISELY AND SEALED TO PREVENT ANY WATER LEAKAGE OR AIR LEAKAGE. DOOR SHALL BE SIMILAR TO KAWNEER #190 NARROW STILLS AND KAWNEER HARDWARE OFFSET PIVOTS. LCN 40-40 CLOSER WITH PARALLEL ARM, MORTISE CYLINDER LOCK WITH INTERIOR THUMB TURN, #185QA0505 HOOD-BOLT LOCK STYLE F-2 PUSH-PULL, SEALAIR WEATHERSTRIPPING.
- GLASS: GLASS TO BE 1" INSULATED REFLECTIVE GLASS AND 1" INSULATED REFLECTIVE SPANDREL GLASS AS INDICATED ON DRAWINGS. PROVIDE SAFETY GLASS AS REQUIRED BY CODE.
- LAVATORY MIRRORS: PROVIDE MIRRORS, AS SHOWN ON DRAWINGS, WITH CONCEALED MOUNTINGS.

S2.115 MECHANICAL

HVAC SYSTEM

- THE HVAC SYSTEM SHALL CONSIST OF COMBINATION ROOFTOP HVAC UNITS CONSISTING OF GAS HEATING AND ELECTRICAL CONDENSING COOLING UNITS WITH CHANGEOVER-BYPASS ZONING SYSTEM. (VAV SYSTEM) SIMILAR AND EQUAL TO TRAN VARITRAC CHANGEOVER-BYPASS ZONING SYSTEM. THE UNITS SHALL HAVE A HERMETIC COMPRESSOR, "LOW AMBIENT" TEMPERATURE CONTROL, FULL REFRIGERANT CHARGE, MULTI-SPEED DIRECT DRIVE BLOWER, CLEANABLE POLYURETHANE FILTERS, STAINLESS STEEL TUBE HEAT EXCHANGERS AND BURNERS, FORCED DRAFT COMBUSTION BLOWER, AUTOMATIC GAS CONTROLS WITH 100% SAFETY SHUT-OFF, GAS PRESSURE REGULATOR, SOLID STATE SPARK IGNITION, TRANE OR EQUAL. THERMOSTATS IN COMMON AREAS TO HAVE PLEXIGLASS, LOCKABLE COVERS. (ALL EQUIPMENT TO BE FACTORY ASSEMBLED LOW PROFILE UNITS, AGA APPROVED, ANSI DESIGN COMPLIANCE, AND U.L. LABELED. PROVIDE INTEGRAL INSULATED PREFAB CURBS (TO BE INSTALLED BY ROOFING CONTRACTOR) AND FULL ECONOMIZER PACKAGE.
- EXHAUST FANS SHALL HAVE SPUN ALUMINUM HOUSING AND ALUMINUM CURB CAP, BALANCED CENTRIFUGAL BLOWER UNIT DIRECT DRIVE, LOW CONTOUR ROOF TOP UNITS WITH DISCONNECT SWITCH, OVERLOAD PROTECTION, BACKDRAFT DAMPER, AND MATCHING ROOF MOUNTING CURB. UNITS TO BE AMCA RATED AND U.L. LABELED.
- REGISTERS AND GRILLS TO BE TUTTLE & BAILEY OR EQUAL. SEE MECHANICAL DRAWINGS FOR MODEL NUMBERS.
- ALL DUCT AND DIFFUSER SIZING AND AIR VELOCITY REQUIREMENTS SHALL MEET THE LATEST MINIMUM STANDARDS AND RECOMMENDATIONS OF THE ASHRAE.
- THESE ARE DESIGN AND BUILD DRAWINGS. THE HVAC CONTRACTOR IS RESPONSIBLE FOR A COMPLETE SYSTEM IN ALL RECORDS AND FOR MEETING ALL APPLICABLE CODES. THE HVAC CONTRACTOR IS RESPONSIBLE FOR FINAL DUCT SIZING AND LAYOUT, AIR BALANCING SYSTEM, AS-BUILT DRAWINGS, OBTAINING ALL REQUIRED PERMITS.
- THE MAXIMUM VELOCITY AT ALL REGISTERS AND DIFFUSER OUTLETS SHALL NOT BE LESS THAN THE 150 CFM NOR MORE THAN 350 CFM EXCEPT AT ENTRANCE HALLS AND OVER ENTRANCE DOOR LOCATIONS WHERE VELOCITIES CAN INCREASE TO 400 CFM.
- IN-DUCT VELOCITIES SHALL NOT EXCEED 600 FEET PER MINUTE IN BRANCH DUCTWORK FEEDING DIFFUSERS AND REGISTERS. ALL DUCT SIZING AND AIR VELOCITIES SHALL BE DESIGNED TO PREVENT NOISE, RATTLING OR CHATTERING OF DUCTS AND DIFFUSERS. DUCTWORK SHALL BE SHEETMETAL WITH INSULATED WRAP AND THE LAST 6' OF DUCTWORK SHALL BE INSULATED FLEXIBLE TIME DUCTWORK.
- ALL DUCTS, DIFFUSERS AND REGISTERS SHALL HAVE INTEGRAL TWO-WAY VOLUME CONTROL DAMPERS. ADDITIONALLY PROVIDE VOLUME CONTROL DAMPERS IN ALL MAIN DUCT RUNS AND AT DUCT LOCATIONS SHOWN ON THE DRAWINGS FOR FULL INTERNAL REGULATION OF THE SYSTEM.
- PROVIDE SHOP DRAWINGS INDICATING ALL DUCT SIZING OF SUPPLY AIR DUCTS. SHOP DRAWINGS SHALL BE APPROVED PRIOR TO FABRICATION OF THE DUCTWORK.
- ALL CEILING DIFFUSERS AND GRILLES SHALL BE COORDINATED WITH THE REFLECTED CEILING PLAN AND THE ELECTRICAL LIGHTING FIXTURE LOCATIONS.
- WHERE THE CEILING SPACE IS USED AS A RETURN AIR PLENUM, NO COMBUSTIBLE MATERIALS ARE PERMITTED IN IT.

PLUMBING

- ALL PLU BING WORK SHALL BE GOVERNED BY THE STANDARDS AND SPECIFIED REQUIREMENTS OF THE LOCAL INSPECTIONS BUREAU; STATE PLUMBING CODE BOCA, LATEST EDITION; AND THE DETROIT PLUMBING CODE WITH THE MOST STRINGENT REQUIREMENTS TO GOVERN.
- ALL PLUMBING FIXTURES AND APPLIANCES INDICATED ON THE PLANS SHALL BE PIPED AND VENTED IN ACCORDANCE WITH THE PLUMBING FIXTURE SCHEDULE OR AS OTHERWISE REQUIRED TO MEET CODE REQUIREMENTS.
- PLUMBING CONTRACTOR SHALL BE RESPONSIBLE FOR BRINGING THE SANITARY SYSTEM TO A POINT 5' OUTSIDE OF THE BUILDING IN ORDER TO MAKE CONNECTION TO THE UNDERGROUND SERVICE LEAD.
- PLUMBER SHALL CONNECT ALL ROOF DRAINAGE SYSTEMS AND MAKE CONNECTIONS TO THE SITE STORM DRAINAGE SYSTEM.
- ALL WATER CONNECTIONS SHALL BE MADE TO THE MUNICIPAL WATER SYSTEM, AND SHALL BE DONE IN ACCORDANCE WITH LOCAL DPW PRACTICE.
- ALL SERVICE METERING, SHUT OFF VALVING, BRANCH PIPE VALVING, C.O., VENTING AND REVENTING, SHALL MEET LOCAL CODE. A CLEANOUT SHALL BE REQUIRED AS PER SECTION P-1101 OF THE 1984 BOCA BASIC PLUMBING CODE OR SHALL BE REQUIRED AT 50' IN HORIZONTAL DRAINAGE LINES OF 4" IN DIAMETER OR LESS, AND NOT MORE THAN 100' APART FOR LARGER PIPES.
- ALL BARRIER FREE DESIGN STANDARDS FOR THE HANDICAPPED SHALL BE COMPLIED WITH NOTHING IN THESE SPECIFICATIONS NOTWITHSTANDING.
- SHOULD ANY CONFLICT OBTAIN BETWEEN LOCAL CODE AND SPECIFICATION REQUIREMENTS, THEN THE MOST STRINGENT REQUIREMENTS SHALL GOVERN. AT ALL TIMES USE BEST STANDARDS OF PRACTICE BEST QUALITY OF MATERIALS AND WORKMANSHIP.
- WHEN BIDDING JOB, PLUMBING CONTRACTOR SHALL SUBMIT AN ITEMIZATION OF MATERIALS AND SHALL BE ALLOWED TO MAKE RECOMMENDATIONS SO AS LONG AS THE BID PROPOSAL IS SO QUALIFIED. THE CONTRACTOR TO PROVIDE GAS PIPING TO FURNACE AND UNIT HEATERS.
- GAS PIPING TO BE SCHEDULE 40 BLACK STEEL, SCREWED MALLEABLE IRON FITTINGS, ASTM A53. SIZE PIPING TO MEET REQUIREMENTS OF ALL EQUIPMENT.
- PLUMBING CONTRACTOR SHALL MAKE WORK COMPLETE IN EVERY DETAIL AFTER FULLY ACQUAINTING HIMSELF WITH THE WORK PROJECT.
- VALVING: ALL FIXTURES AND ALL BRANCH PILING RUNNING TO FIXTURES SHALL HAVE CONTROL VALVES FOR COMPLETE REGULATION OF THE SYSTEM. EACH BRANCH PIPING SYSTEM SHALL BE INDIVIDUALLY VALVED.
- VENTS THROUGH THE ROOF SHALL BE FLASHED AND COUNTER FLASHED (BY ROOFER)
- SANITARY AND STORM DRAINAGE TO MEET THE STATE AND LOCAL PLUMBING CODES AND REGULATIONS. WHERE NOT OTHERWISE NOTED, THE BOCA PLUMBING CODES AND STANDARDS SHALL GOVERN THE CHARACTER OF THE WORK.
- REFER TO DRAWINGS FOR FIXTURE SCHEDULE AND BRANCH PIPING SCHEDULES. FIXTURES TO BE KOHLER, AMERICAN STANDARD, ELJER OR APPROVED EQUAL. SUBMIT SPECIFICATIONS TO ARCHITECT ON WHICH FIXTURES TO BE USED.
- GAS PIPING: THIS CONTRACTOR TO PROVIDE GAS PIPING TO FURNACES AND UNIT HEATERS.
- URINAL: AMERICAN STANDARD LYNBROOK, WHITE, OR EQUAL; MEETING ALL FEDERAL, STATE AND LOCAL LAWS, CODES AND ORDINANCES.
- WATER CLOSETS: AMERICAN STANDARD CADET, WHITE, OR EQUAL; MEETING ALL FEDERAL, STATE AND LOCAL LAWS, CODES AND ORDINANCES.
- LAVATORIES: AMERICAN STANDARD AQUALYN, WHITE, OR EQUAL; MEETING ALL FEDERAL, STATE AND LOCAL LAWS, CODES AND ORDINANCES.
- SERVICE SINK: 22"X22" FIBERGLASS, SERVICE SINK WITH ELJER FITTING #739-1230 OR EQUAL.
- HOSE BIBS: FROST-PROOF 3/4" VALVE AND SECURELY FASTENED TO THE WALL.
- FLOOR DRAINS: SMITH MODEL #2005 A (6" OIA) OR EQUAL.
- ELECTRIC WATER COOLER: HALSEY TAYLOR HCBF5 Q OR EQUAL.

S2.110 SPECIALTIES

- PROVIDE FINISH HARDWARE AS SELECTED BY OWNER, FURNISH TO THE FINISH CARPENTER FOR INSTALLATION. FINISH HARDWARE SCHEDULE SHALL BE FURNISHED FOR APPROVAL. ALL HARDWARE FOR ALUMINUM DOORS BY ALUMINUM DOOR SUPPLIER.

S2.116 ELECTRICAL

- SUBMITTAL OF BID INDICATES CONTRACTOR IS COGNIZANT OF ALL JOB SITE CONDITIONS AND WORK TO BE PERFORMED UNDER THIS CONTRACT.
- ALL SERVICE REQUIREMENTS SHALL BE IN COMPLIANCE WITH LOCAL UTILITY COMPANY RULES AND REGULATIONS. VERIFY LOCATION OF ALL POWER SOURCES PRIOR TO SUBMITTING BID FOR INTENDED SERVICE REQUIREMENTS AS EVIDENCED BY RISER DIAGRAM SHOWN ON THE PLANS (SEE S.250.71 AND 250.72, NATIONAL ELECTRICAL CODE)
- CONTRACTOR SHALL CARRY OUT HIS WORK IN ACCORDANCE WITH ALL GOVERNING STATE, COUNTY, LOCAL, NATIONAL, AND OSHA REQUIREMENTS, WHICHEVER IS MOST STRINGENT.
- ELECTRICAL CONTRACTOR SHALL SECURE ALL NECESSARY BUILDING PERMITS AND UTILITY COMPANY CHARGES AND PAY FOR SAME. THE CHARGES SHALL BE INCLUDED IN HIS BID.
- ELECTRICAL CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, INSURANCE, EQUIPMENT, CONSTRUCTION TOOLS, TRANSPORTATION, ETC., FOR A COMPLETE AND PROPER OPERATING SYSTEM, AS INDICATED ON THE DRAWINGS AND AS SPECIFIED HEREIN AND/OR AS REQUIRED
- ALL MATERIALS AND EQUIPMENT SHALL BE NEW AND IN PERFECT CONDITION WHEN INSTALLED AND SHALL BE OF THE BEST GRADE AND OF THE SAME MANUFACTURER THROUGHOUT FOR EACH CLASS OR GROUP OF EQUIPMENT. MATERIALS SHALL BE LISTED AND APPROVED BY UNDERWRITERS LABORATORIES, AND SHALL BEAR THE INSPECTION LABEL WHERE SUBJECT TO SUCH APPROVAL. MATERIALS SHALL MEET WITH THE APPROVAL DIVISION OF INDUSTRIAL SAFETY, AND ALL GOVERNING BODIES HAVING JURISDICTION. MATERIALS SHALL BE MANUFACTURED IN ACCORDANCE WITH APPLICABLE STANDARDS ESTABLISHED BY A.N.S.I., N.E.M.A. AND N.S.F.D. MINIMUM WIRE SIZE FOR ALL WORK TO BE #12 COPPER WIRE. ALL WIRE SIZING IS BASED ON THE AMPACITY OF COPPER. ALL WIRE MUST BE COPPER.
- EACH CONDUCTOR OF EVERY SYSTEM SHALL BE PERMANENTLY TAGGED IN EACH PANELBOARD, PULLBOX, J-BOX, ETC., IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970.
- ALL CONDUIT SHALL BE INSTALLED CONCEALED WHERE PHYSICALLY POSSIBLE. ALL EXPOSED CONDUIT SHALL BE INSTALLED PARALLEL OR AT RIGHT ANGLES WITH THE BUILDING WALLS.
- ALL EXTERIOR UNDERGROUND WIRING TO BE IN SCH. 40 P.V.C.. ALL INTERIOR UNDERGROUND WIRING PERMITTED TO BE IN SCH. 40 P.V.C. RUNS IN CONCRETE TO BE E.M.T. WITH APPROVED CORROSION PROTECTION.
- ALL EXIT LIGHTS, NIGHT LIGHTS, AND EMERGENCY LIGHTS TO BE WIRED FOR COMMON LOCK-ON BREAKERS.
- EXIT LIGHTS SHALL BE ILLUMINATED INTERNALLY AND HAVE INTEGRAL BATTERY CHARGING CIRCUIT AND AUTOMATIC TRANSFER SWITCH.
- EMERGENCY LIGHTS SHALL BE WALL MOUNTED UNLESS NOTED OTHERWISE AND NIGHT LIGHTS SHALL BE IN CONDUIT BUT WITH NO RESTRICTION ON THE NUMBER OF OTHER CIRCUITS INCLUDED COMMENSURATE WITH CONDUIT SIZING.
- BATTERY BACK-UP TYPE EXIST AND EMERGENCY LIGHTS MUST BE FED FROM SAME CIRCUITS AS NORMAL LIGHTING IN THEIR RESPECTIVE AREAS AND BE CONNECTION AHEAD OF ANY LOCAL SWITCHES. THEY CANNOT BE ON SEPARATE CIRCUITS.
- ELECTRICAL CONTRACTOR SHOULD REFER TO THE FOLLOWING DRAWINGS AND INCORPORATE ALL WORK TO MAKE THEIR CONTRACT COMPLETE IN EVERY DETAIL.
- SITE DRAWINGS: SITE LIGHTING, SIGNAGE AND POWER/TELEPHONE SERVICE REQUIREMENTS.
- MECHANICAL DRAWINGS: REVIEW ALL MECHANICAL EQUIPMENT AND CONFIRM ELECTRICAL POWER REQUIREMENTS WITH MECHANICAL CONTRACTOR TO INSURE THAT EQUIPMENT WILL BE ELECTRICAL CHARACTERISTICS REQUIRED.
- REFER TO PLUMBING DRAWINGS AND PROVIDE WIRING FOR ALL PUMPS AND MOTORS THERE IN SPECIFIED.
- THESE PLANS ARE DIAGRAMMATIC ONLY. FINAL LOCATION AND MOUNTING HEIGHTS OF ALL PLUGS, LIGHTS, AND PHONE JACKS ARE SUBJECT TO OWNER APPROVAL. ELECTRICAL WORK SHALL MEET THE REQUIREMENTS OF THE BARRIER FREE DESIGN ACT, AND NO SWITCHES OR CONTROLS SHALL BE MOUNTED MORE THAN 48" ABOVE FINISHED FLOOR.
- ROOF TOP EQUIPMENT SHALL HAVE AN ACCESSIBLE 110-120 VOLT GROUNDING-TYPE MAINTENANCE OUTLET ON THE ROOF WITHIN 25 FEET OF SAID EQUIPMENT. (BOCA CODE M-306.2.2)
- WIREWAY FOR W.P. DISCONNECTS TO ROOF TOP UNITS REQUIRED W.P. PROTECTION AND MUST BE OF PROPER SIZE USING 20% FILL RULE.
- PROPER EQUIPMENT GROUNDING OF SITE LIGHTS AND SIGNS REQUIRED. IF NON-METALLIC CONDUIT AS INDICATED ON LIGHT POLE DETAIL IS USED, A SEPARATE EQUIPMENT GROUNDING CONDUCTOR MUST BE INSTALLED IN THE CONDUIT. THIS SHOULD ALSO BE REQUIRED WITH DIRECT BURIAL TYPE CABLE. SCHEDULE 40/80 PLASTIC PIPE REQUIRES SEPARATE GROUNDING CONDUCTOR, PER TABLE 250-95.
- PROPER WORKING CLEARANCE MUST BE PROVIDED AND MAINTAINED AROUND ALL ELECTRICAL EQUIPMENT, EPICALLY MAIN SERVICE SWITCHGEAR.
- THESE DRAWINGS SHOULD BE USED ON A DESIGN AND BUILD BASIS. THE CONTRACTOR IS RESPONSIBLE TO MEET ALL CODES AND FOR OBTAINING HIS OWN PERMIT.



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NOTES

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DO NOT SCALE DRAWINGS.

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PROJECT

21140B

**GROW FACILITY
1007 INDUSTRIAL
BLVD. ALBION, MI
49224**

SEAL



DATE

11/08/2021

NO.	DESCRIPTION	DATE
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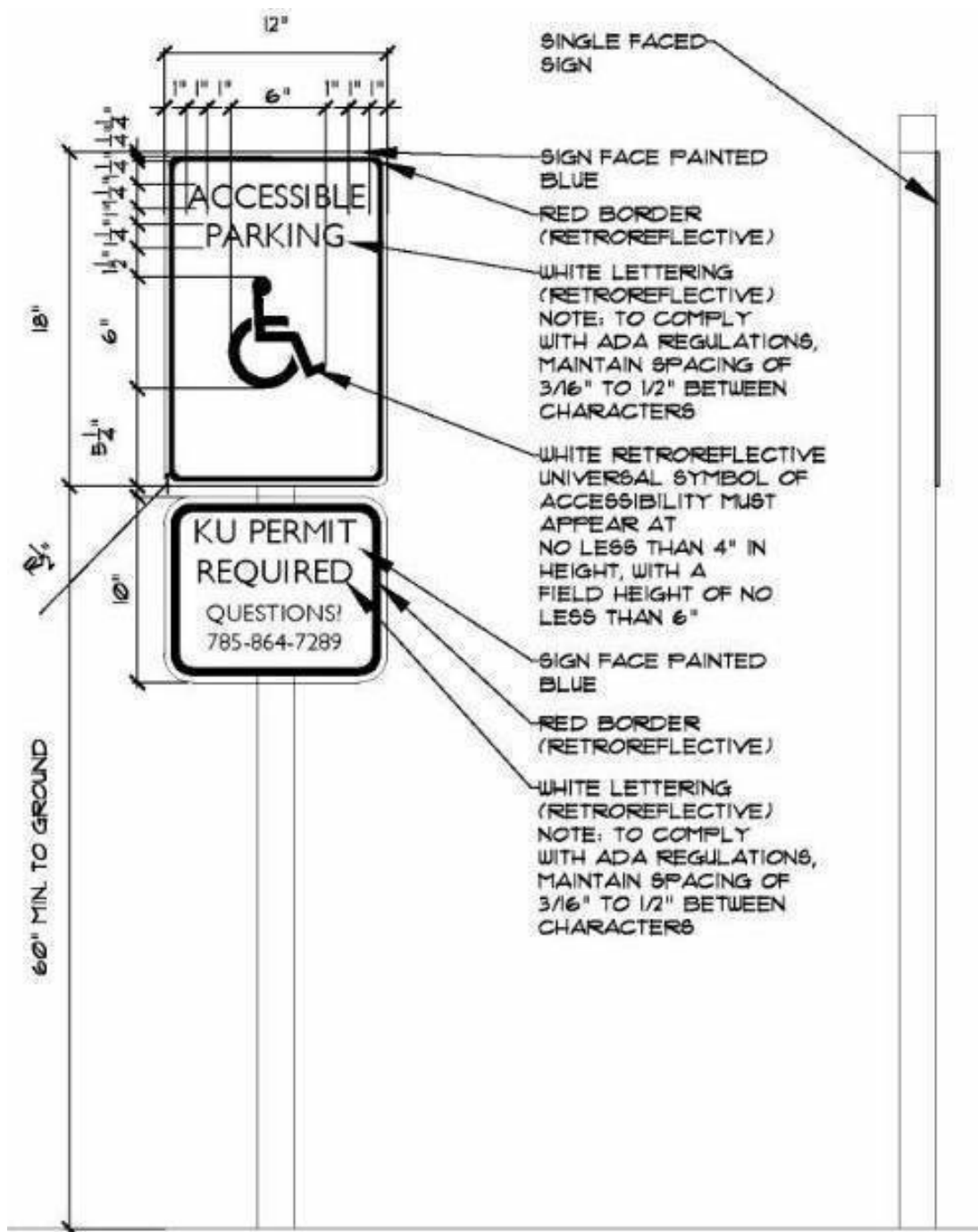
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PERMIT

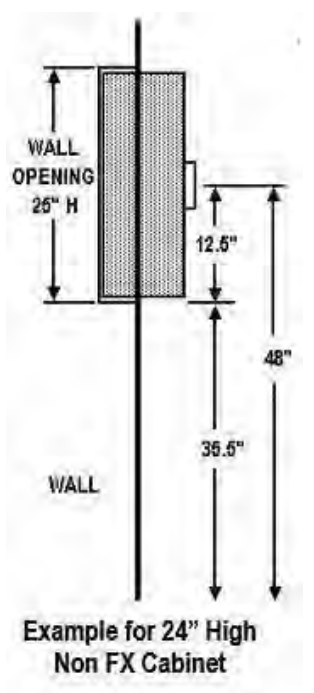
SHEET NAME

NOTES AND
SPECIFICATIONS
SHEET #

T3

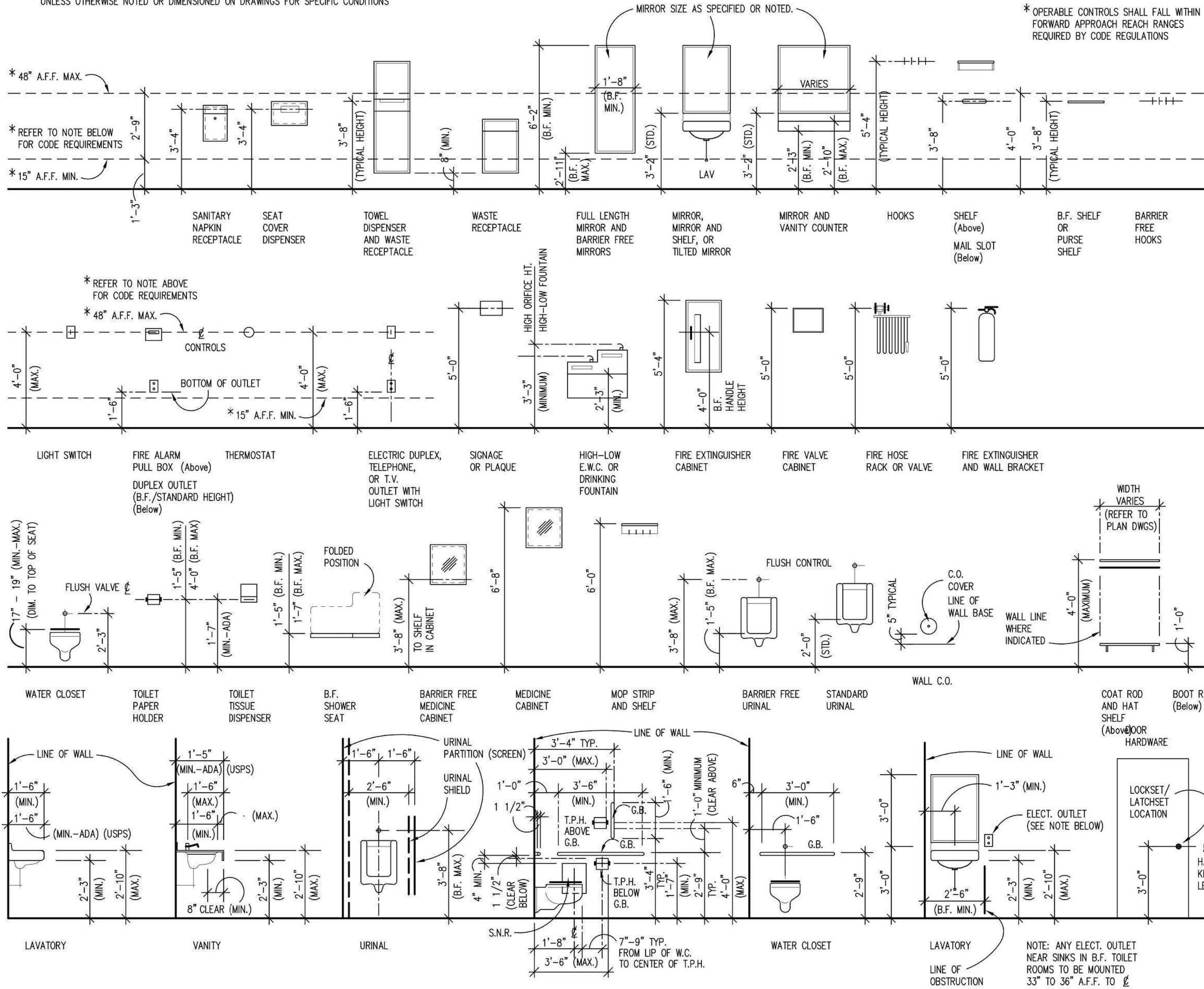


FIRE EXT. MOUNTING DETAIL
N.T.S.



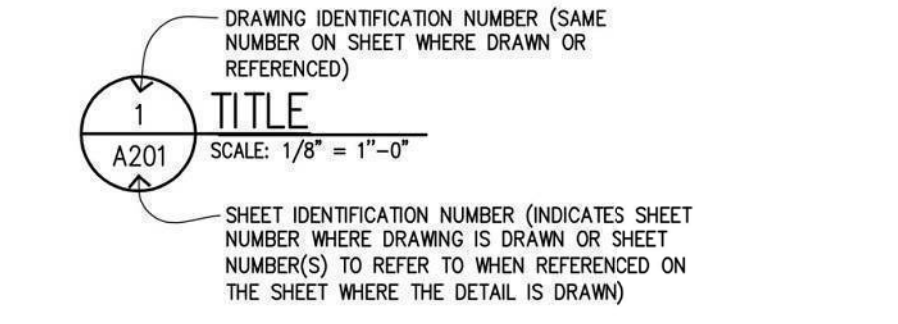
ADA PARKING SIGN DETAIL
N.T.S.

NOTE: MOUNTING HEIGHTS SHOWN ARE PROPOSED FOR ALL ACCESSORIES AND FIXTURES REQUIRED UNLESS OTHERWISE NOTED OR DIMENSIONED ON DRAWINGS FOR SPECIFIC CONDITIONS (B.F. DENOTES BARRIER FREE REQUIREMENTS)

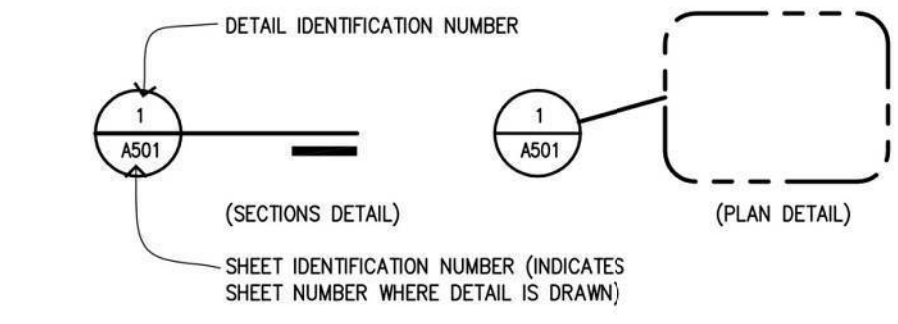


ELEVATION	SECTION	MATERIAL
[Pattern]	[Pattern]	BRICK
[Pattern]	[Pattern]	BLOCK (CMU - CONCRETE MASONRY UNITS)
[Pattern]	[Pattern]	BLOCK (CMU - GROUTED SOLID)
[Pattern]	[Pattern]	CONCRETE
[Pattern]	[Pattern]	EARTH
[Pattern]	[Pattern]	COMPACTED DRAINAGE FILL (SAND)
[Pattern]	[Pattern]	FINISH WOOD
[Pattern]	[Pattern]	WOOD BLOCKING/ NAILER (CONTINUOUS)
[Pattern]	[Pattern]	WOOD BLOCKING/ NAILER (NON-CONTINUOUS)
[Pattern]	[Pattern]	PARTICLE BOARD (LARGE SCALE)
[Pattern]	[Pattern]	PLYWOOD (LARGE SCALE)
[Pattern]	[Pattern]	BATT OR BLANKET INSULATION
[Pattern]	[Pattern]	RIGID INSULATION
[Pattern]	[Pattern]	GYPSUM DRYWALL (WALLBOARD)
[Pattern]	[Pattern]	GLASS (LARGE SCALE)
[Pattern]	[Pattern]	GLASS (SMALL SCALE)

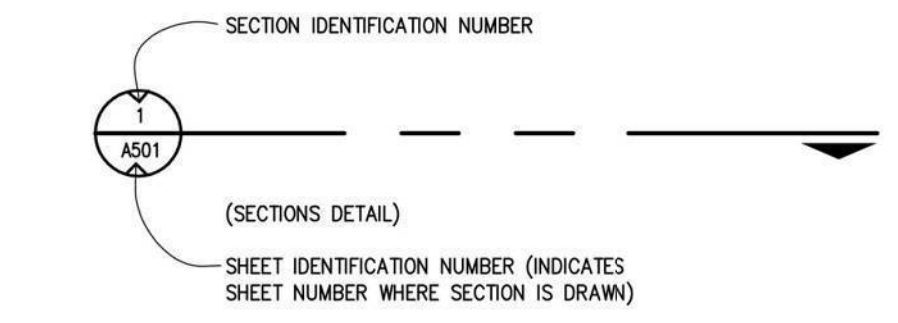
DRAWING (DETAIL, SECTION, ELEVATION, ETC.) IDENTIFICATION



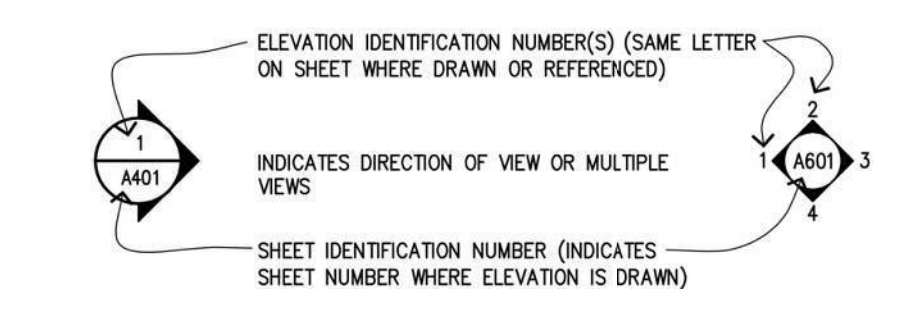
DETAIL LOCATION INDICATION



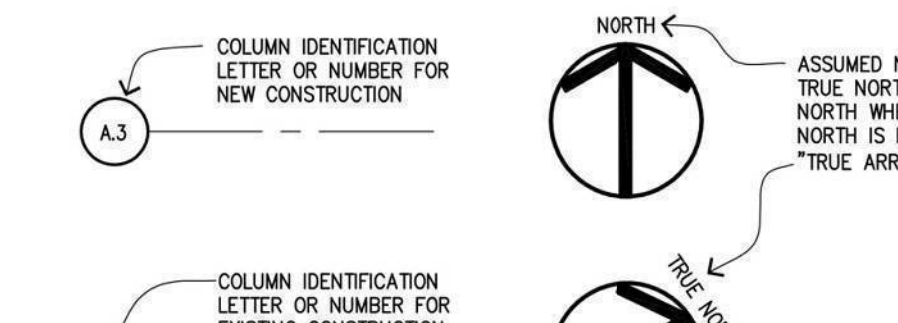
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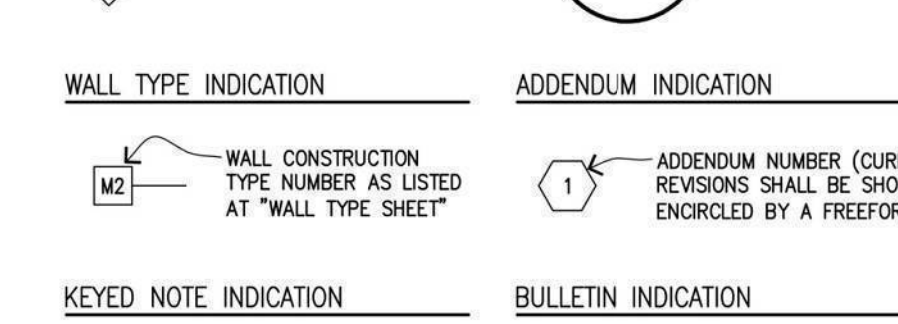
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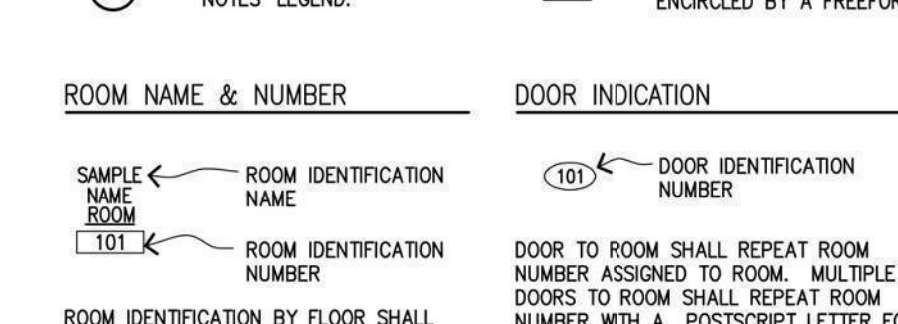
COLUMN INDICATION



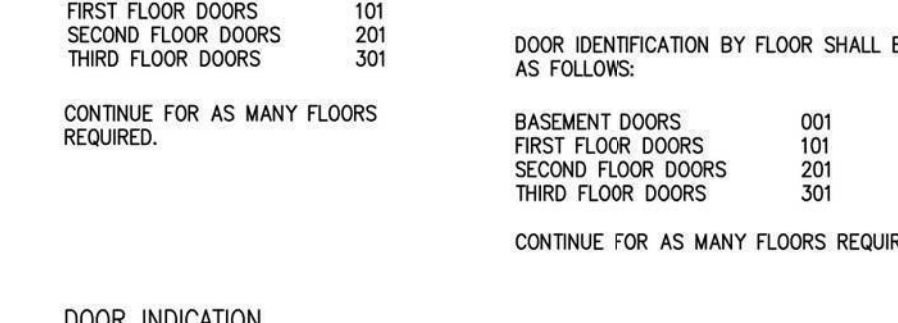
NORTH INDICATION



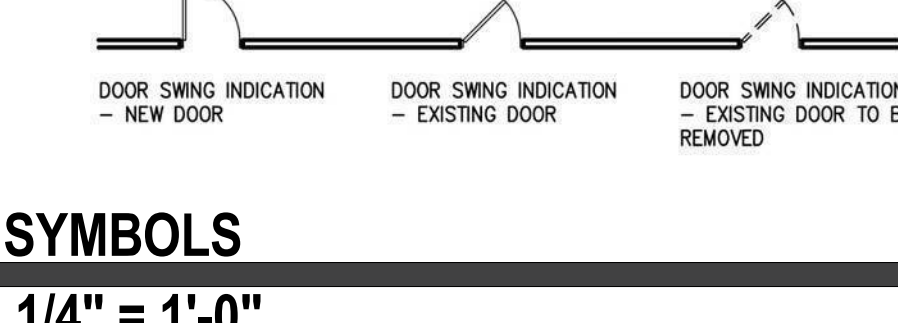
WALL TYPE INDICATION



KEYED NOTE INDICATION



ROOM NAME & NUMBER



DOOR INDICATION



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PROJECT

21140B
GROW FACILITY
1007 INDUSTRIAL BLVD. ALBION, MI 49224

SEAL



DATE

11/08/2021
NO. DESCRIPTION DATE

SUBMITTAL

PERMIT
SHEET NAME

ADA DETAILS

SHEET #

T4

MOUNTING HEIGHTS

1/4" = 1'-0"

HATCHES

1/4" = 1'-0"

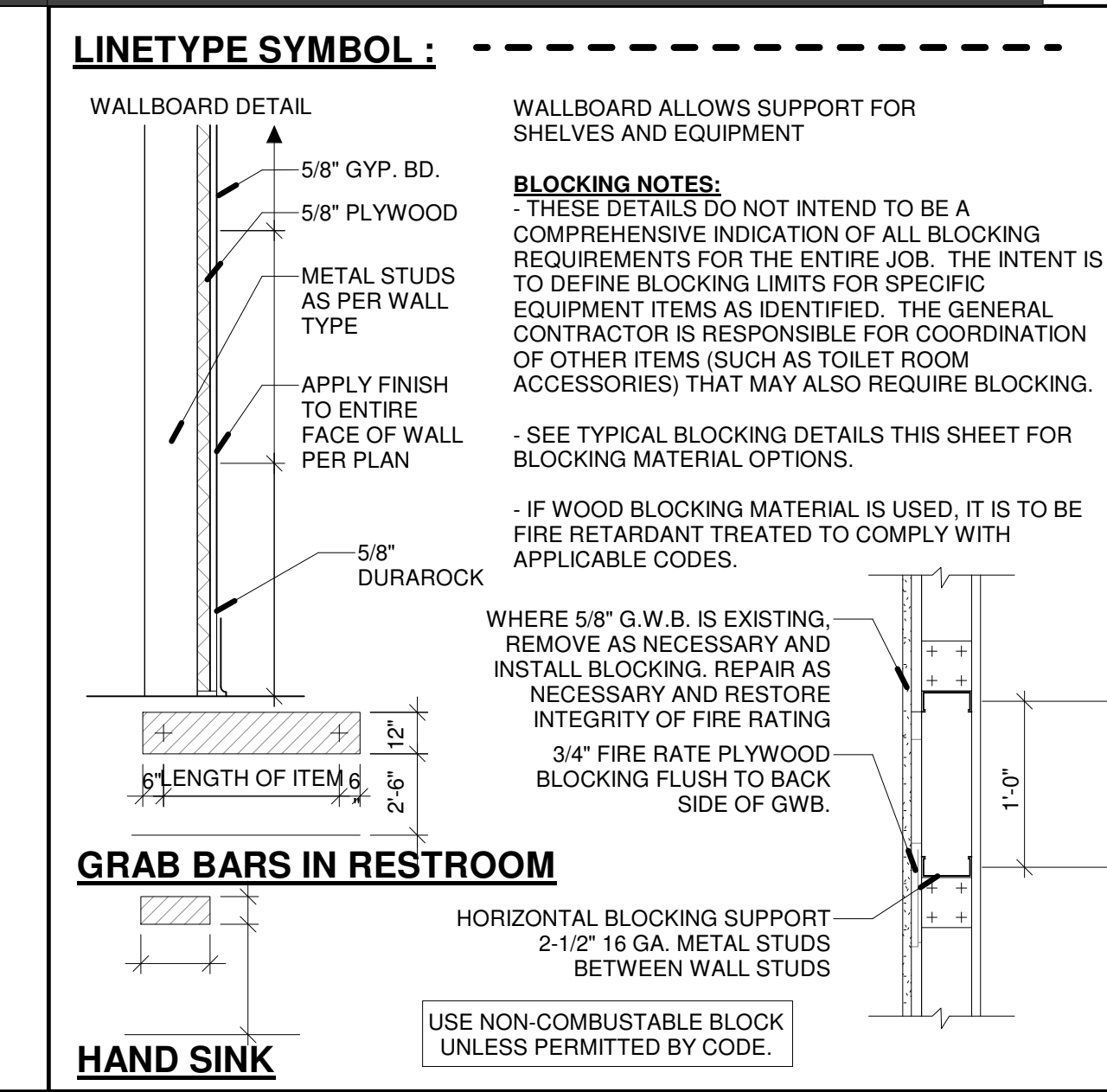
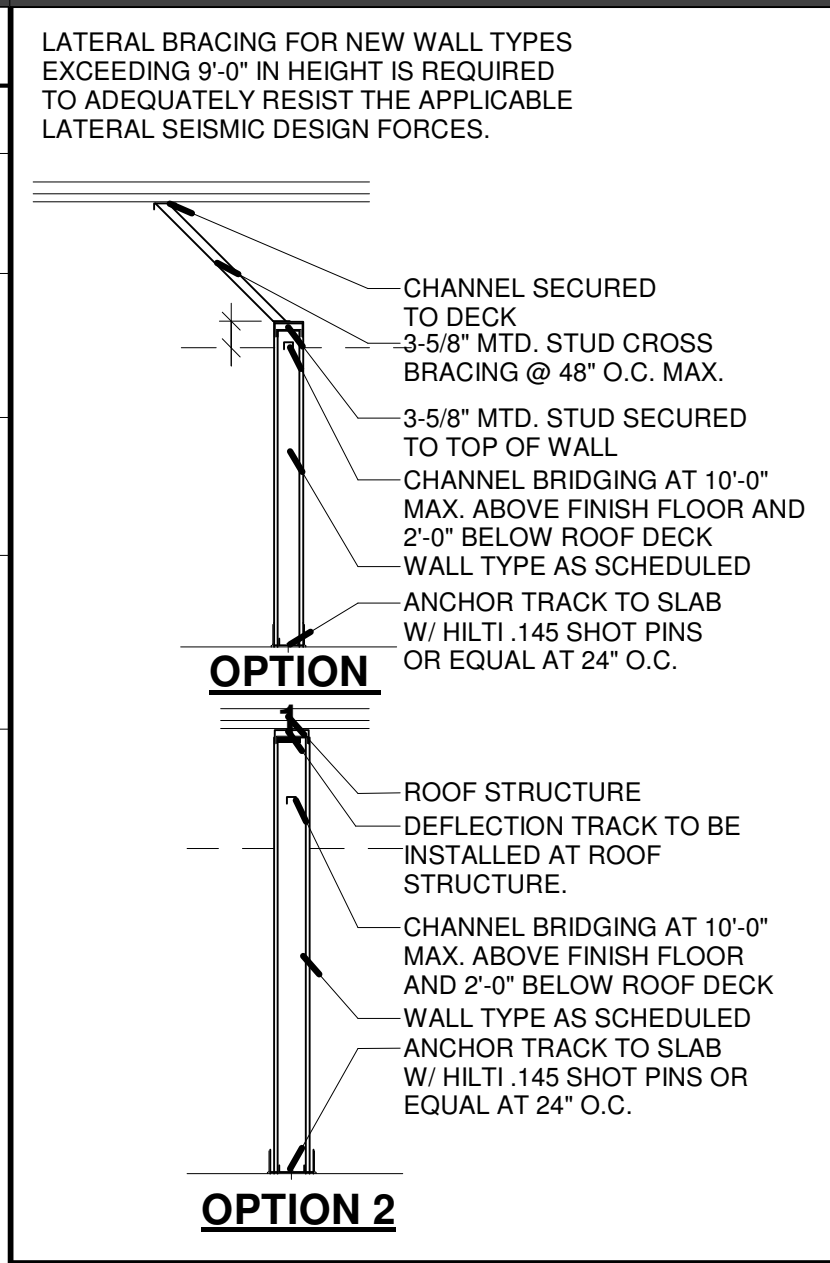
SYMBOLS

1/4" = 1'-0"

WALL TYPES

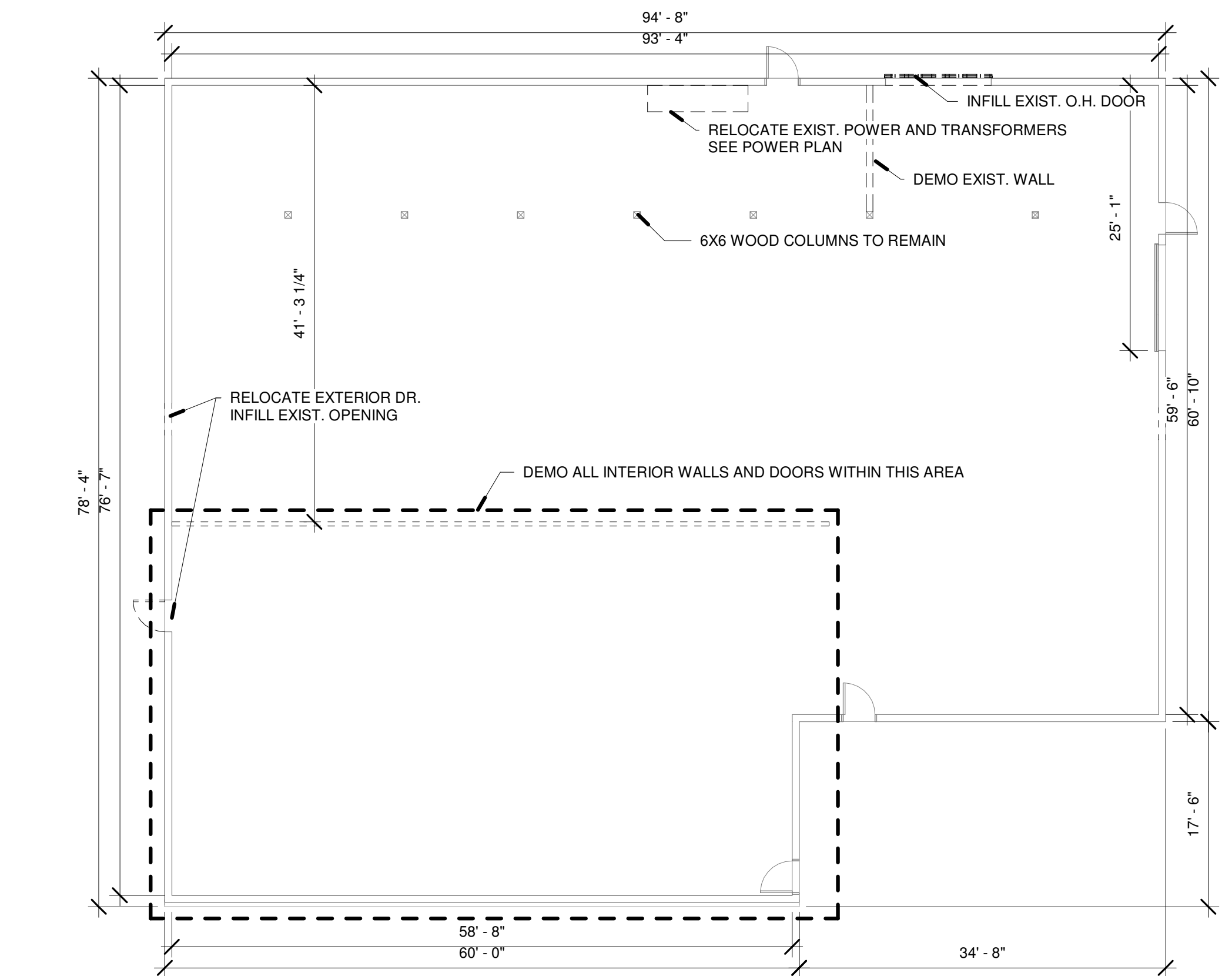
NEW : <input type="checkbox"/>	EXISTING: <input type="checkbox"/>	DEMO: <input type="checkbox"/>
MARK	CONSTRUCTION	
A	8" CONC. MASONRY W/ METAL SIDING ABOVE EXTERIOR WALL (SEE METAL BLDG. MANUF. PLANS)	
D	3 5/8" METAL STUDS AT 16" O.C. (1) LAYER 5/8" GWB EACH SIDE EXTEND TO DECK AND FIRE CAULK AT AREAS: LOADING, GROW AREA (& CORRIDORS)	
E	4" POURED CONC. WWF W/ 1.4x1.4, 4"x4" O.C. SPACING SEE SHEET S1	
F	2-HR ASSEMBY: 3 5/8" METAL STUDS AT 16" O.C. (2) LAYER 5/8" GWB EACH SIDE EXTEND TO DECK AND FIRE CAULK AT AREAS: LOADING, GROW AREA (& CORRIDORS)	
NOTE:		
1. ALL COLD FORM METAL FRAMING MEMBERS SHALL BE DESIGNED, FABRICATED, AND ERECTED IN ACCORDANCE WITH THE ANSI SPECIFICATIONS FOR DESIGN OF COLD FORMED STEEL STRUCTURAL MEMBERS AND IN ACCORDANCE WITH MANUFACTURERS WRITTEN INSTRUCTIONS.		
2. DEMISING WALLS SHALL BE RATED 1 HOUR FIRE SMOKE CONSTRUCTION. ALL PENETRATIONS THRU DEMISING WALLS SHALL BE FIRE CAULKED FLOOR TO ROOF DECK.		
3. ANY DUCT PENETRATIONS THRU DEMISING WALL SHALL HAVE FIRE/SMOKE DAMPERS INSTALLED.		
4. RATED WALL ENDING AT THE STOREFRONT MUST PROVIDE 1 HR FIRE/SMOKE CONNECTION TO THE NEAREST MULLION OR PLASTER.		
5. USE METAL STUD GAUGE AS FOLLOWS (U.O.I.N.)		
25 GA. FOR WALLS LESS THAN 9'-0" A.F.F.		
22 GA. FOR WALLS 9'-0"-12'-0" A.F.F.		
18 GA. FOR WALLS OVER 12'-0" A.F.F.		
PROVIDE LATERAL BRACING FOR ALL WALLS PER LATERAL BRACING DETAIL		

LATERAL BRACING DETAILS



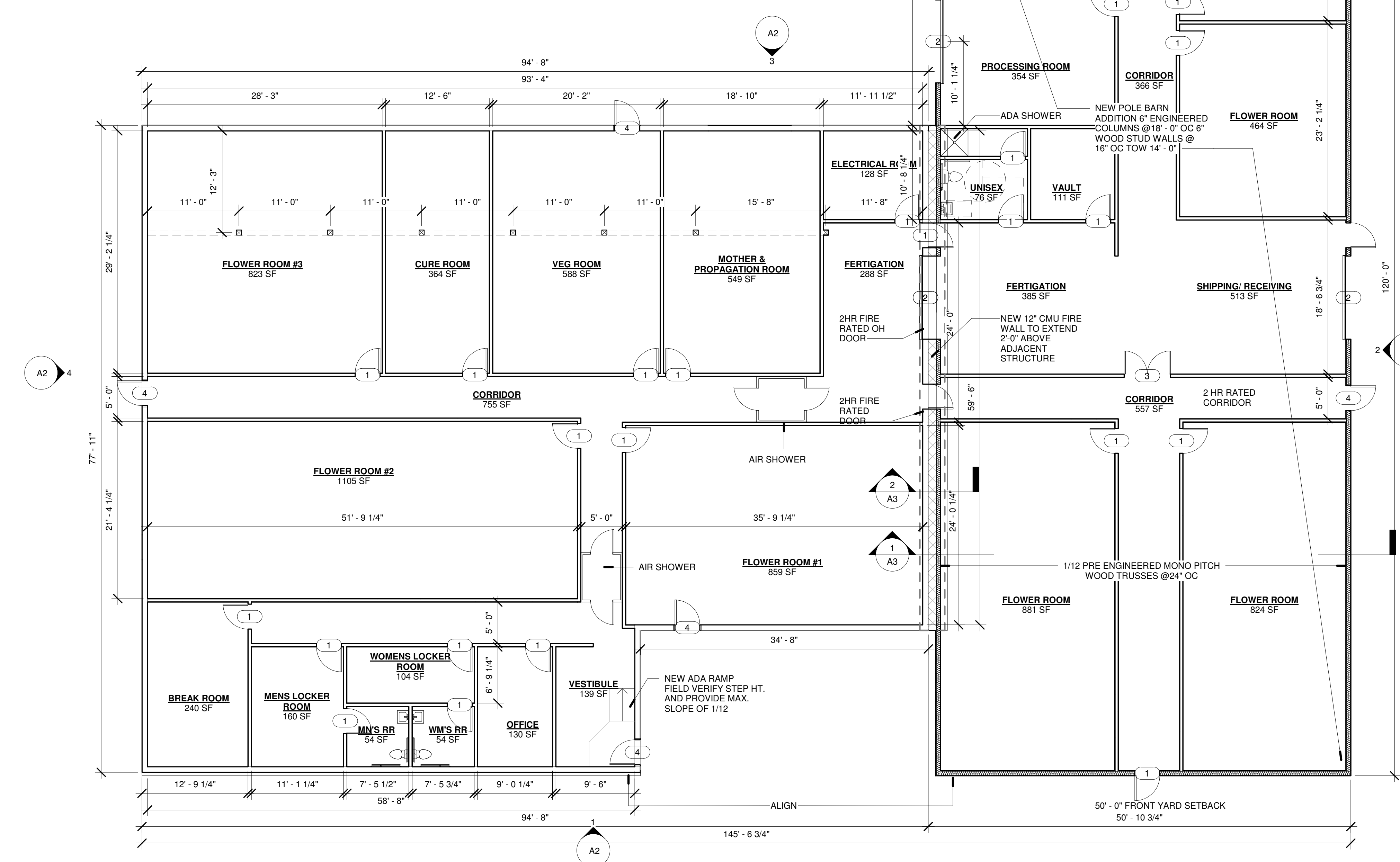
DOOR SCHEDULE

NUM.	CT.	MFR.	MDL.	WIDTH	HT.	THICK.	NOTES
1	26	BY G.C.	BY G.C.	3'-0"	7'-0"	2"	COMMERCIAL INTERIOR DOOR
2	4	BY G.C.	BY G.C.	10'-0"	10'-0"	2 1/4"	COMMERCIAL OVERHEAD DOOR
3	1	BY G.C.	BY G.C.	5'-7"	6'-6 3/4"	2"	COMMERCIAL METAL DOUBLE DR
4	7	BY OWN.	BY OWN.	3'-0"	7'-0"	2"	COMMERCIAL METAL DOOR, LOCKABLE, PANIC HARDWARE



DEMO PLAN
3/32" = 1'-0"

FLOOR PLAN
1/8" = 1'-0"



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NOTES

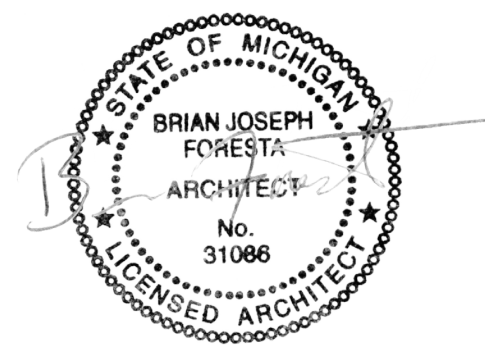
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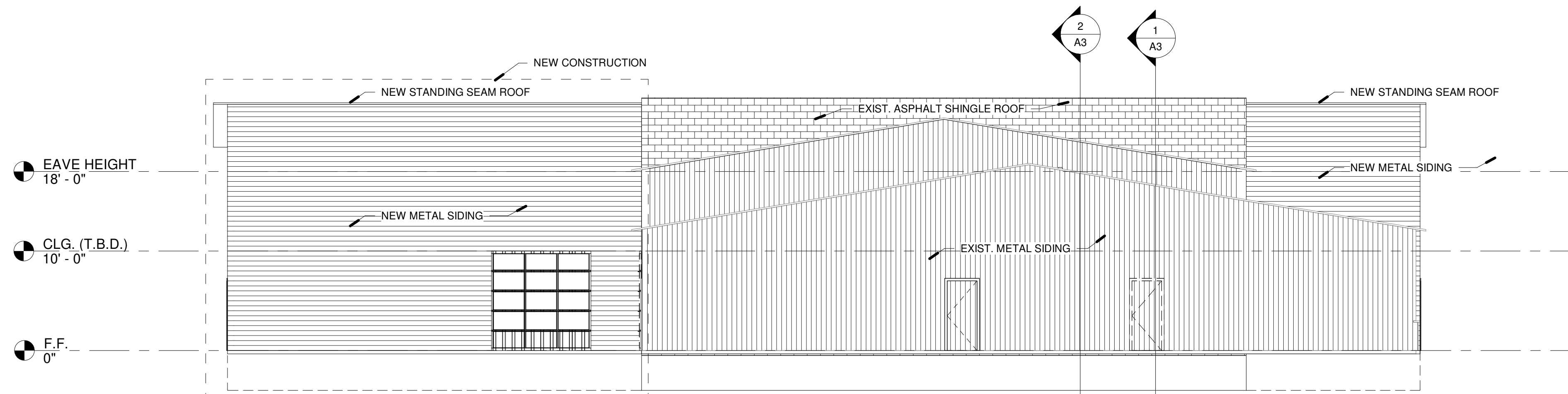
SHEET NAME

FLOOR AND DEMO PLAN
SHEET #

A1

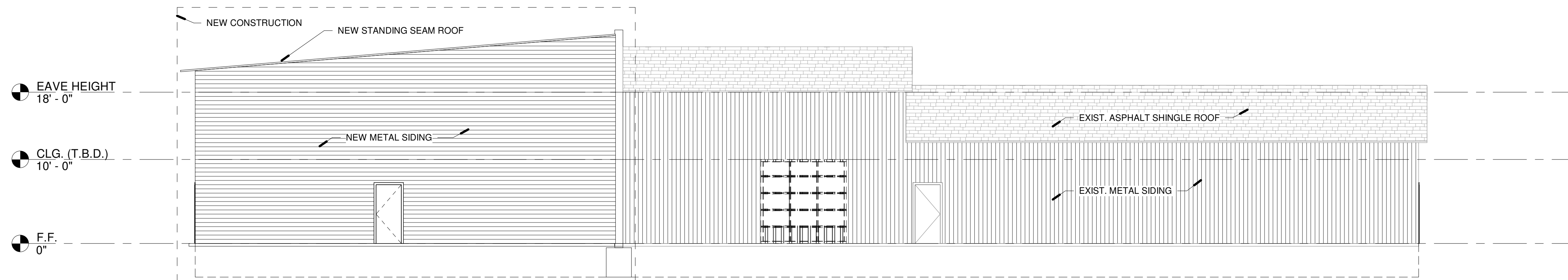


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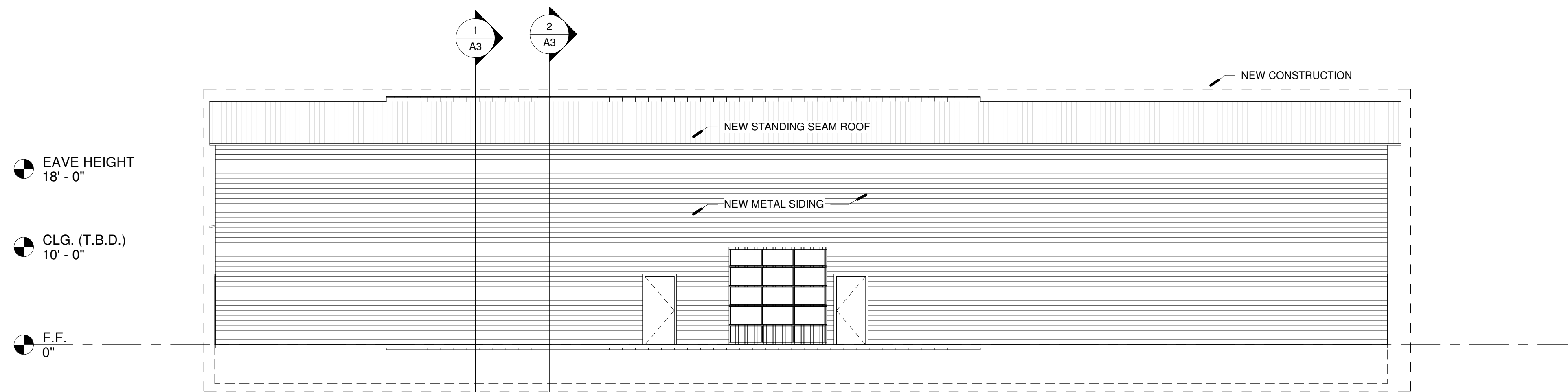
SOUTH ELEVATION

1/8" = 1'-0"



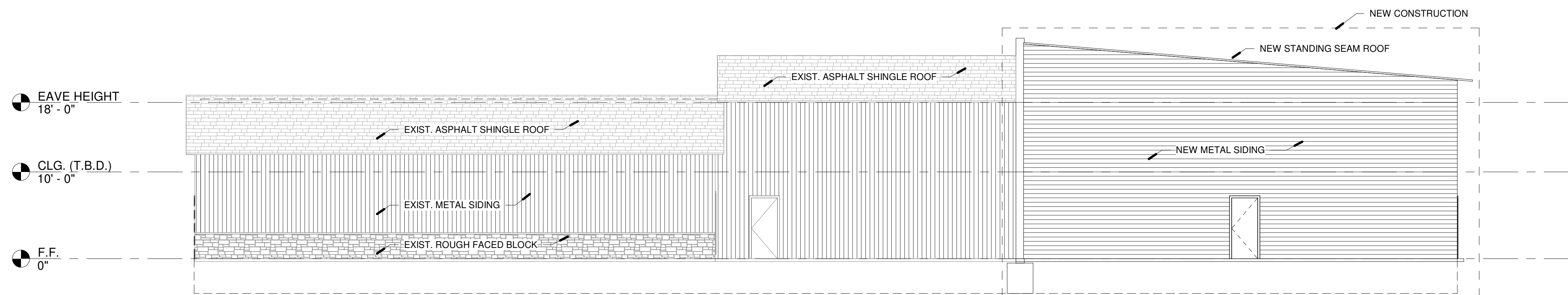
WEST ELEVATION

1/8" = 1'-0"



NORTH ELEVATION

1/8" = 1'-0"



EAST ELEVATION

1/8" = 1'-0"

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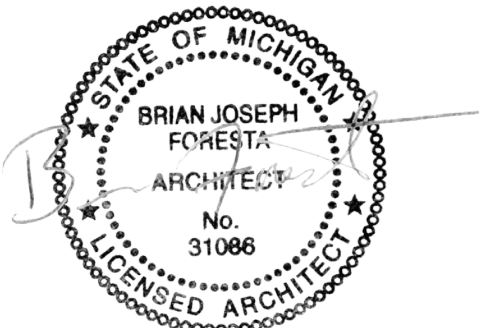
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DATE

11/08/2021

NO.	DESCRIPTION	DATE

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SHEET NAME

ELEVATIONS

SHEET #

A2

NOTES

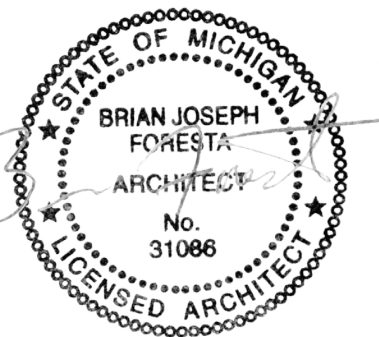
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DATE

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SUBMITTAL

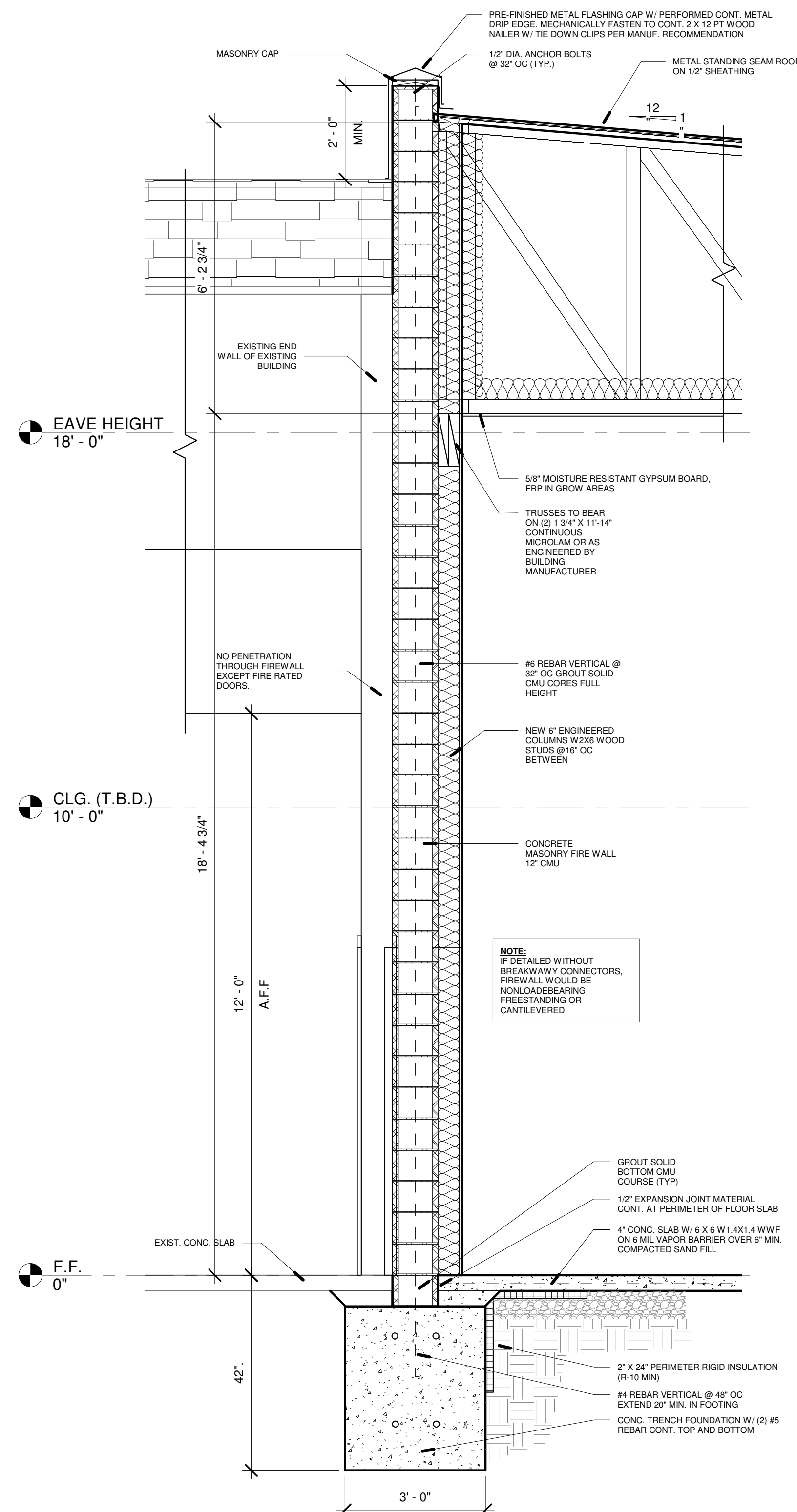
PERMIT

SHEET NAME

SECTIONS

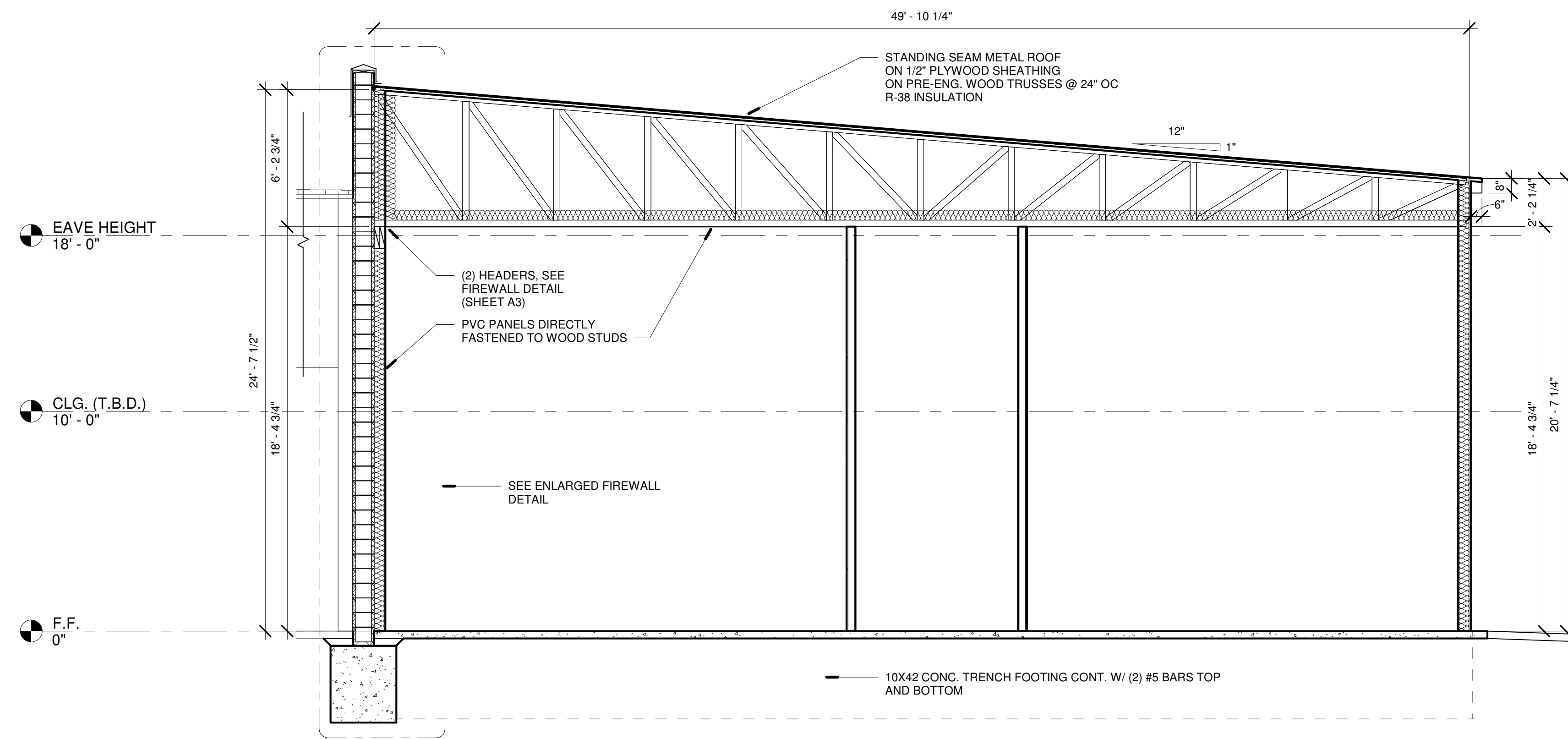
SHEET #

A3



FIREWALL DETAIL

1/2" = 1'-0"



BUILDING SECTION

1/4" = 1'-0"



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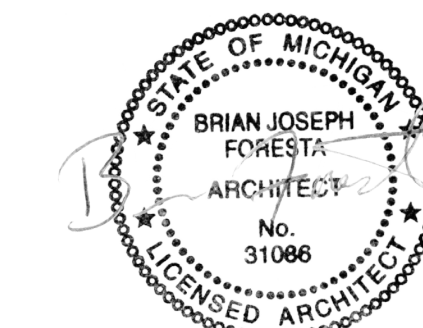
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PROJECT

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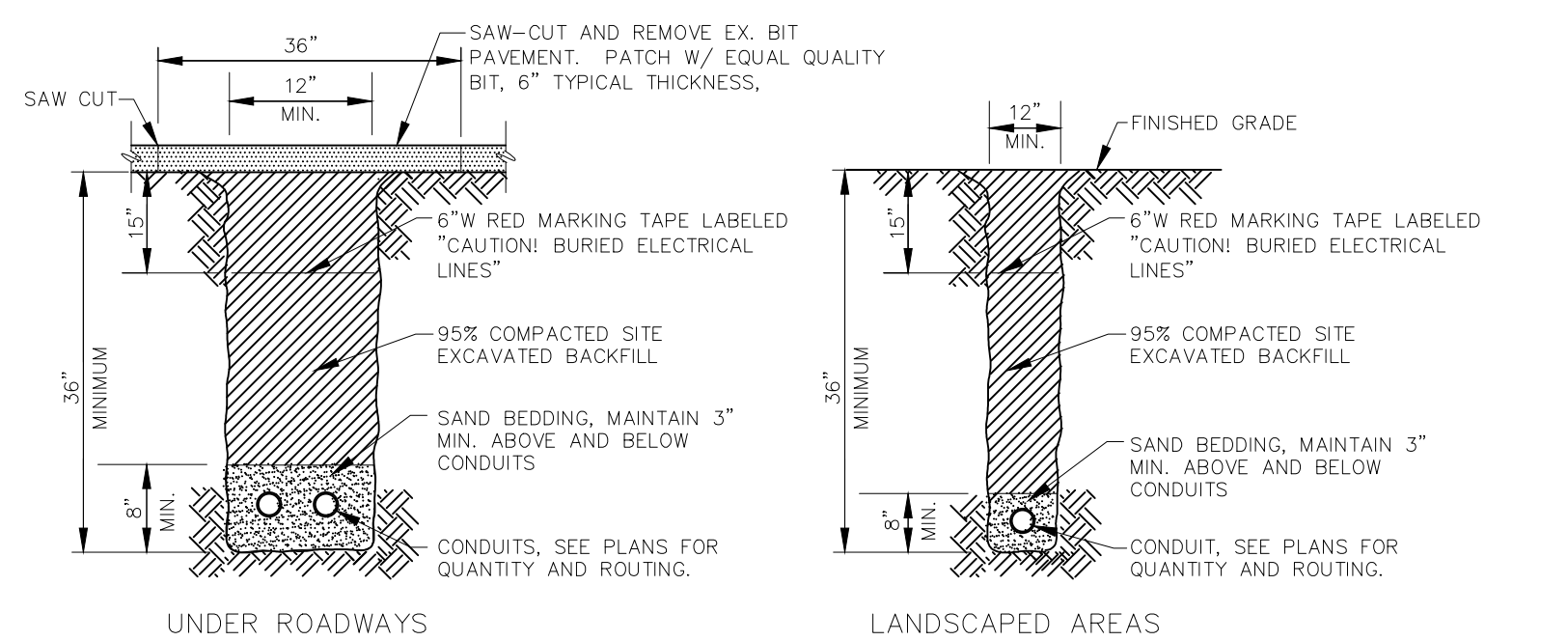
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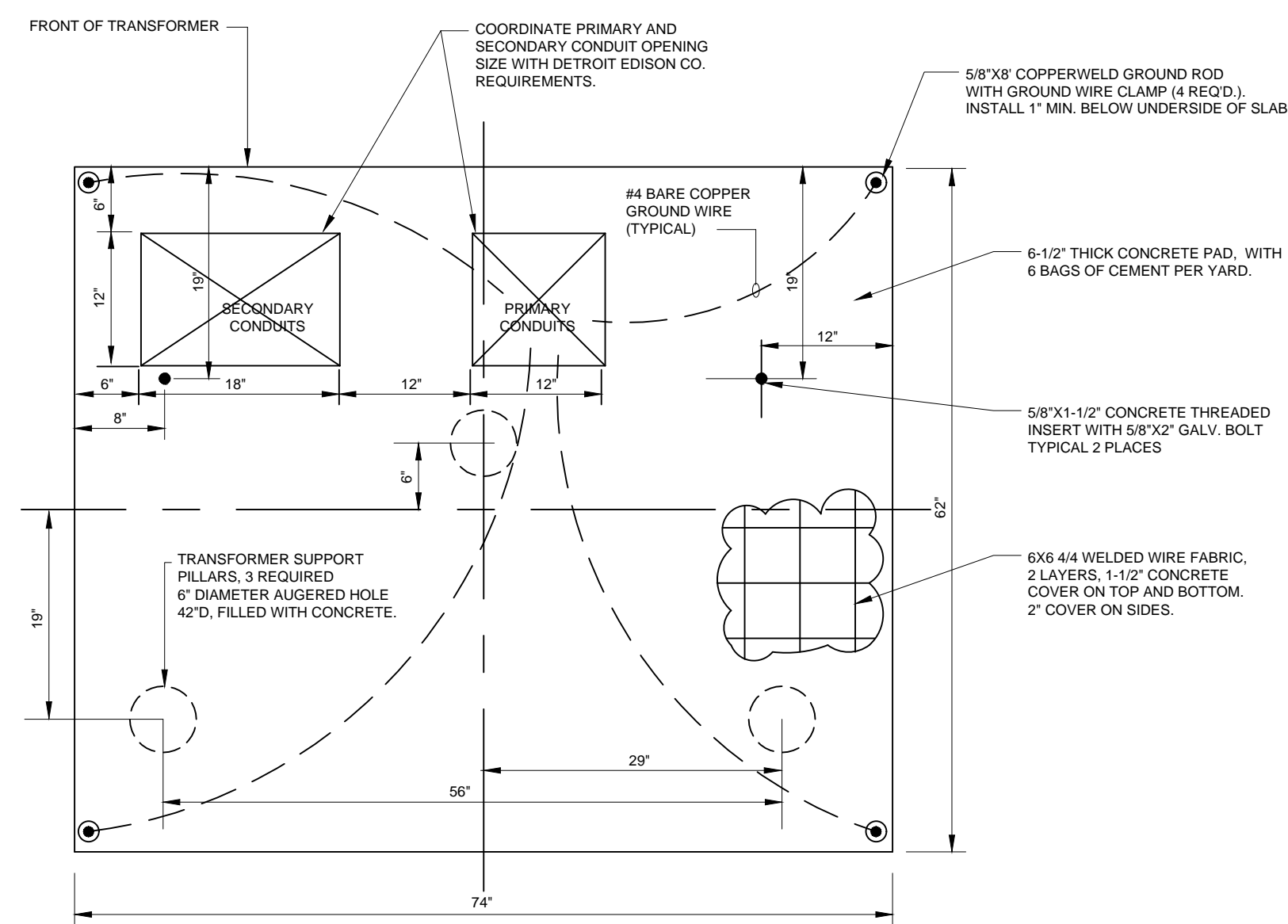
ELECTRICAL - SITE PLAN

SHEET #

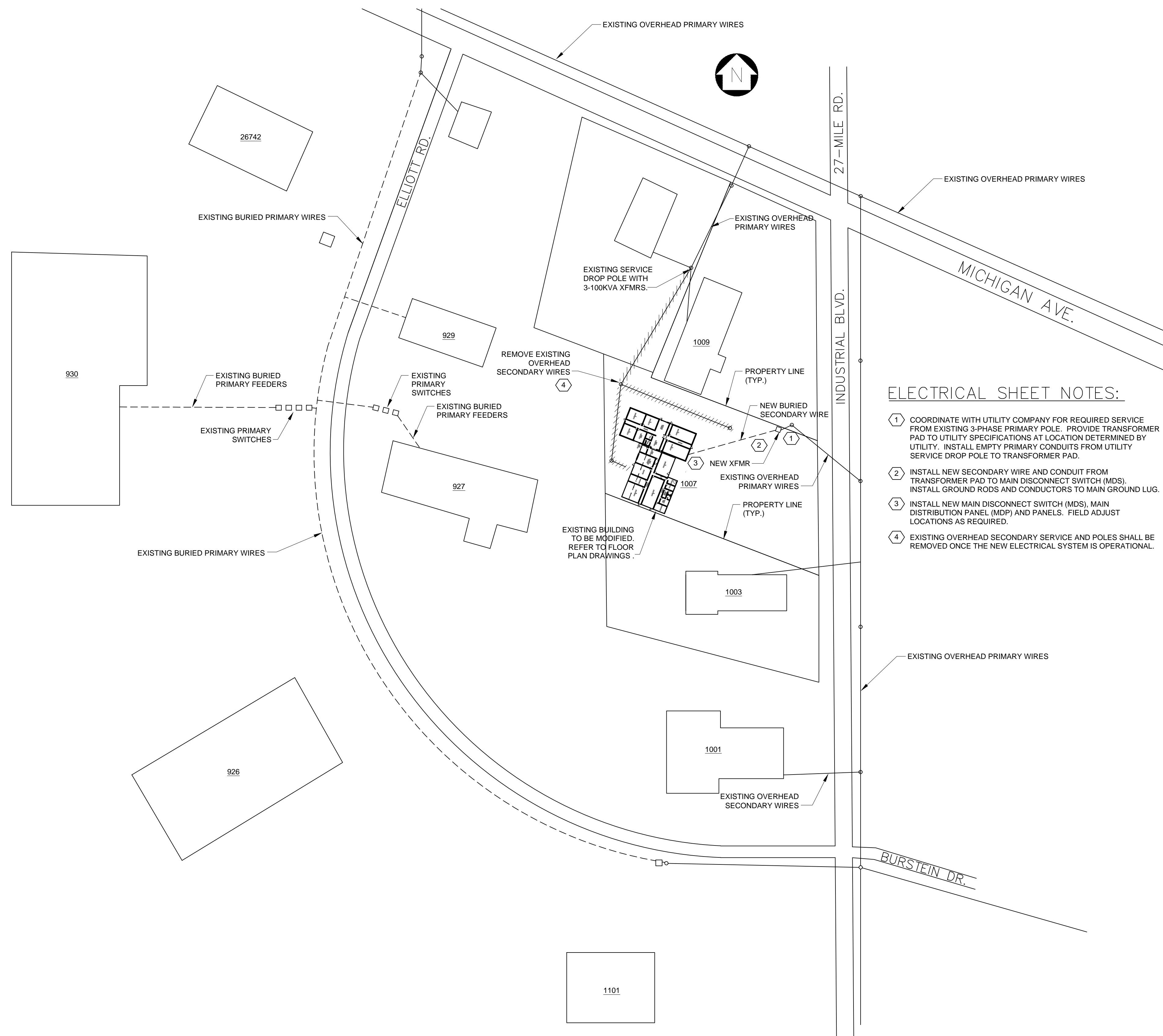
E1



TYPICAL CONDUIT TRENCH DETAILS
 NO SCALE



TRANSFORMER PAD DETAIL
 NO SCALE



ELECTRICAL - SITE PLAN

SCALE: 1"=100'-0"

NOTES

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19144

GROW FACILITY
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ALBION, MI 49224

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DATE

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NO.	DESCRIPTION	DATE

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SHEET NAME

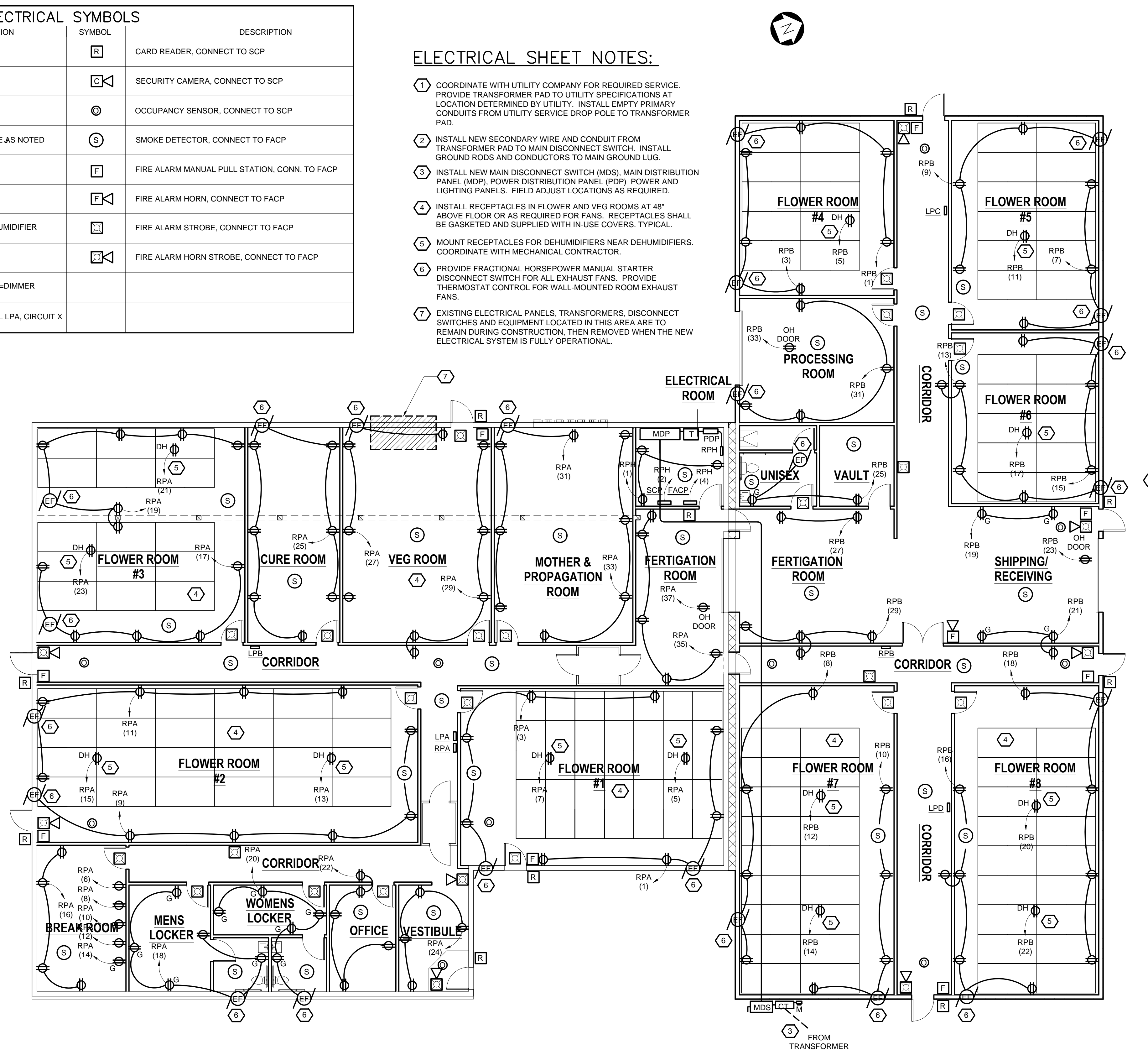
ELECTRICAL-
POWER FLOOR PLAN
SHEET #

E2

ELECTRICAL SYMBOLS			
SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	ELECTRICAL PANEL		CARD READER, CONNECT TO SCP
	FIRE ALARM CONTROL PANEL		SECURITY CAMERA, CONNECT TO SCP
	SECURITY CONTROL PANEL		OCCUPANCY SENSOR, CONNECT TO SCP
	DISCONNECT SWITCH, SIZE AND TYPE AS NOTED		SMOKE DETECTOR, CONNECT TO FACP
	MOTOR OR EXHAUST FAN		FIRE ALARM MANUAL PULL STATION, CONN. TO FACP
	JUNCTION BOX		FIRE ALARM HORN, CONNECT TO FACP
	120V DUPLEX RECEPTACLE, DH=DEHUMIDIFIER		FIRE ALARM STROBE, CONNECT TO FACP
	POWER RECEPTACLE		FIRE ALARM HORN STROBE, CONNECT TO FACP
	LIGHT SWITCH, 3=3-WAY, 4=4-WAY, D=DIMMER		
	3/4"C(2#12,1#12G) HOMERUN TO PANEL LPA, CIRCUIT X		

ELECTRICAL SHEET NOTES:

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- INSTALL NEW SECONDARY WIRE AND CONDUIT FROM TRANSFORMER PAD TO MAIN DISCONNECT SWITCH. INSTALL GROUND RODS AND CONDUCTORS TO MAIN GROUND LUG.
- INSTALL NEW MAIN DISCONNECT SWITCH (MDS), MAIN DISTRIBUTION PANEL (MDP), POWER DISTRIBUTION PANEL (PDP) POWER AND LIGHTING PANELS. FIELD ADJUST LOCATIONS AS REQUIRED.
- INSTALL RECEPTACLES IN FLOWER AND VEG ROOMS AT 48" ABOVE FLOOR OR AS REQUIRED FOR FANS. RECEPTACLES SHALL BE GASKETED AND SUPPLIED WITH IN-USE COVERS. TYPICAL.
- MOUNT RECEPTACLES FOR DEHUMIDIFIERS NEAR DEHUMIDIFIERS. COORDINATE WITH MECHANICAL CONTRACTOR.
- PROVIDE FRACTIONAL HORSEPOWER MANUAL STARTER DISCONNECT SWITCH FOR ALL EXHAUST FANS. PROVIDE THERMOSTAT CONTROL FOR WALL-MOUNTED ROOM EXHAUST FANS.
- EXISTING ELECTRICAL PANELS, TRANSFORMERS, DISCONNECT SWITCHES AND EQUIPMENT LOCATED IN THIS AREA ARE TO REMAIN DURING CONSTRUCTION, THEN REMOVED WHEN THE NEW ELECTRICAL SYSTEM IS FULLY OPERATIONAL.



ELECTRICAL - POWER FLOOR PLAN

1/8" = 1'-0"



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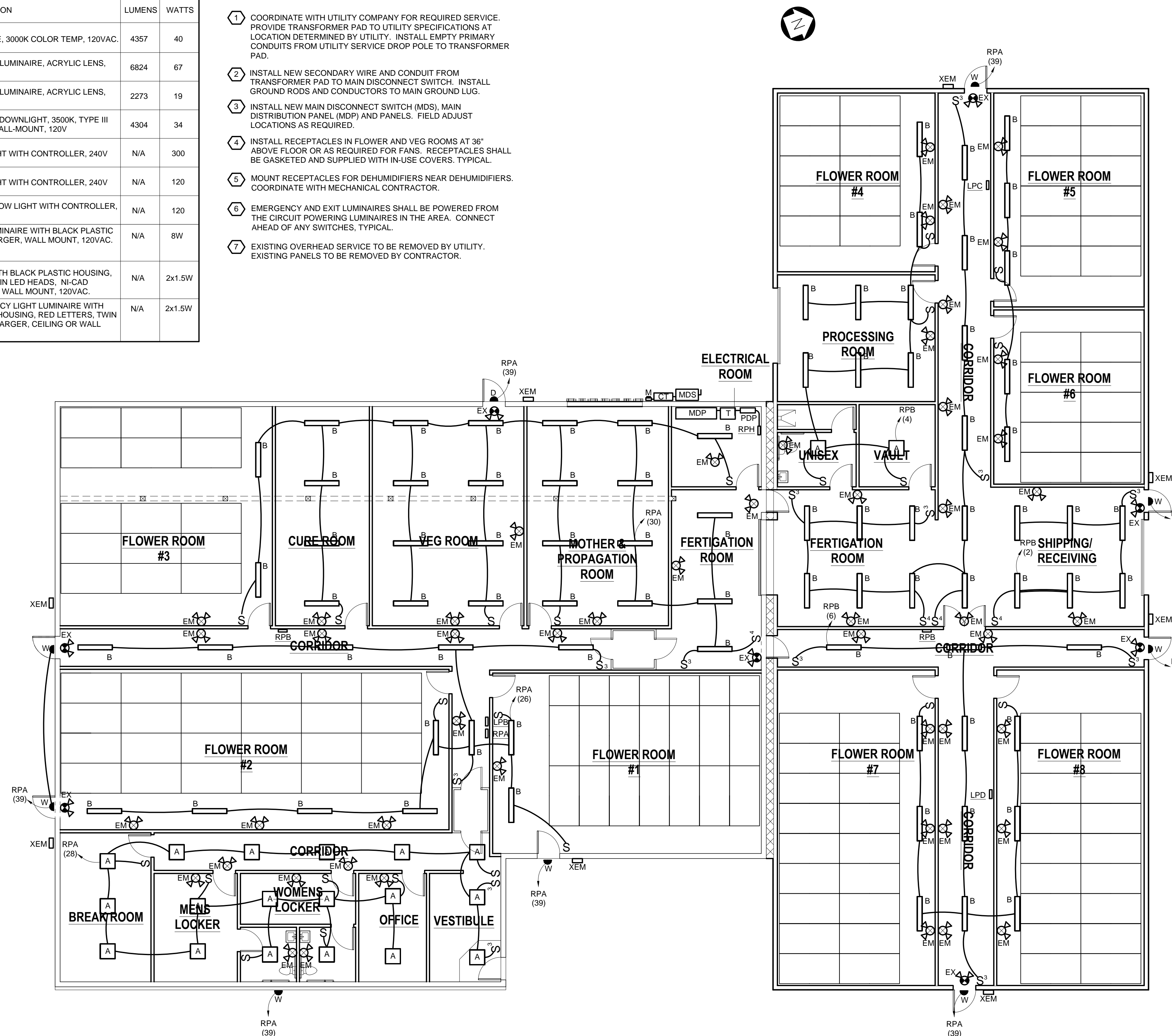
ELECTRICAL-GENERAL LIGHTING FLOOR PLAN
SHEET #

E3

LUMINAIRE SCHEDULE					
TYPE	MFR (OR EQUAL)	MODEL / SERIES	DESCRIPTION	LUMENS	WATTS
A	LITHONIA	FEM L96 15000LM SERIES	2'X2' LAY-IN LED PANEL LUMINAIRE, 3000K COLOR TEMP, 120VAC.	4357	40
B	LITHONIA	VAP 8000LM SERIES	48"L ENCLOSED AND GASKET LED LUMINAIRE, ACRYLIC LENS, 3000K COLOR TEMP, 120VAC.	6824	67
C	COOPER METALUX	2APVTL0 SERIES	24"L ENCLOSED AND GASKET LED LUMINAIRE, ACRYLIC LENS, 3000K COLOR TEMP, 120VAC.	2273	19
W	COOPER MCGRAW-EDISON	ISS-SAIC SERIES	QUARTER SPHERE LED EXTERIOR DOWNLIGHT, 3500K, TYPE III OPTICS, INTEGRAL PHOTOCCELL, WALL-MOUNT, 120V.	4304	34
G1	THRIVE AGRICULTURE	BOOST SERIES	48" CANOPY-MOUNTED GROW LIGHT WITH CONTROLLER, 240V	N/A	300
G2	THRIVE AGRICULTURE	APEX SERIES	48" CANOPY-MOUNTED GROW LIGHT WITH CONTROLLER, 240V	N/A	120
G3	THRIVE AGRICULTURE	BOOST SERIES	48" UNDER CANOPY-MOUNTED GROW LIGHT WITH CONTROLLER, 240V	N/A	120
XEM	COOPER SURE-LITES	SELDWA50SD, ATLEDWA300SD	EXTERIOR EMERGENCY LIGHT LUMINAIRE WITH BLACK PLASTIC HOUSING, NI-CAD BATTERY & CHARGER, WALL MOUNT, 120VAC.	N/A	8W
EM	COOPER SURE-LITES	AP2SQLED SERIES	EMERGENCY LIGHT LUMINAIRE WITH BLACK PLASTIC HOUSING, GREEN LETTERS, ADJUSTABLE TWIN LED HEADS, NI-CAD BATTERY & CHARGER, CEILING OR WALL MOUNT, 120VAC.	N/A	2x1.5W
EX	COOPER SURE-LITES	APC7RSQ SERIES	COMBINATION EXIT AND EMERGENCY LIGHT LUMINAIRE WITH GREEN LETTERS, BLACK PLASTIC HOUSING, RED LETTERS, TWIN LED HEADS, NI-CAD BATTERY & CHARGER, CEILING OR WALL MOUNT, 120VAC.	N/A	2x1.5W

ELECTRICAL SHEET NOTES:

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- INSTALL NEW SECONDARY WIRE AND CONDUIT FROM TRANSFORMER PAD TO MAIN DISCONNECT SWITCH. INSTALL GROUND RODS AND CONDUCTORS TO MAIN GROUND LUG.
- INSTALL NEW MAIN DISCONNECT SWITCH (MDS), MAIN DISTRIBUTION PANEL (MDP) AND PANELS. FIELD ADJUST LOCATIONS AS REQUIRED.
- INSTALL RECEPTACLES IN FLOWER AND VEG ROOMS AT 36" ABOVE FLOOR OR AS REQUIRED FOR FANS. RECEPTACLES SHALL BE GASKETED AND SUPPLIED WITH IN-USE COVERS, TYPICAL.
- MOUNT RECEPTACLES FOR DEHUMIDIFIERS NEAR DEHUMIDIFIERS. COORDINATE WITH MECHANICAL CONTRACTOR.
- EMERGENCY AND EXIT LUMINAIRES SHALL BE POWERED FROM THE CIRCUIT POWERING LUMINAIRES IN THE AREA. CONNECT AHEAD OF ANY SWITCHES, TYPICAL.
- EXISTING OVERHEAD SERVICE TO BE REMOVED BY UTILITY. EXISTING PANELS TO BE REMOVED BY CONTRACTOR.



ELECTRICAL - GENERAL LIGHTING FLOOR PLAN
1/8" = 1'-0"



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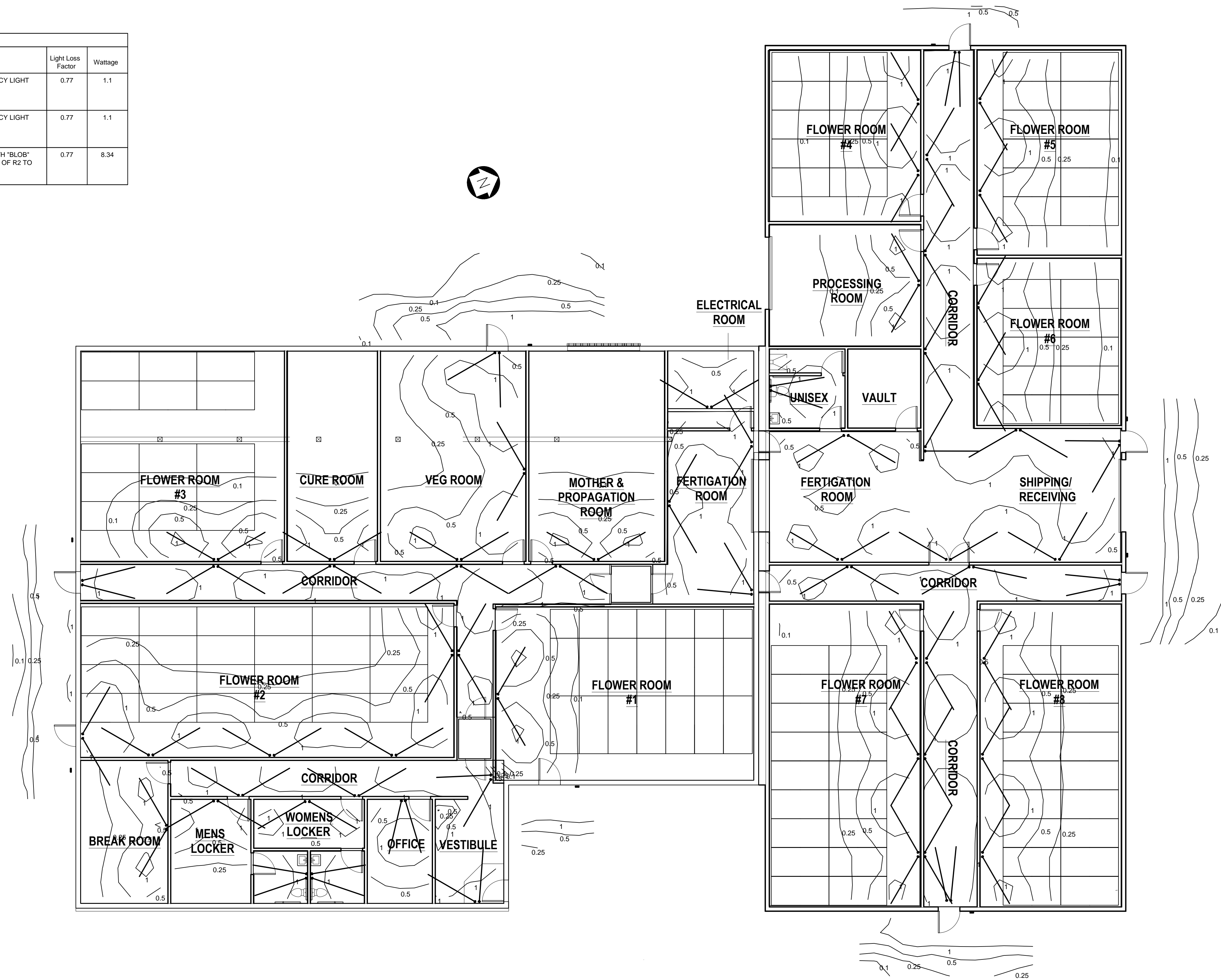
SHEET NAME

ELECTRICAL- EGRESS LIGHTING FLOOR PLAN
SHEET #

E4

Symbol	Label	Quantity	Manufacturer	Catalog Number	Lumens Per Lamp	Description	Light Loss Factor	Wattage
○	EM	110	COOPER LIGHTING SOLUTIONS - SURE-LITES (FORMERLY EATON)	SEL25	108	SURE-LITES WHITE EMERGENCY LIGHT HEAD OPERATED AT 300mA	0.77	1.1
○	EX	18	COOPER LIGHTING SOLUTIONS - SURE-LITES (FORMERLY EATON)	SEL25	108	SURE-LITES WHITE EMERGENCY LIGHT HEAD OPERATED AT 300mA	0.77	1.1
⊃	XEM	8	COOPER LIGHTING SOLUTIONS - SURE-LITES (FORMERLY EATON)	SELDWA50SD ATLEDWA300SD	692	DIE-CAST ALUMINUM UNIT WITH 'BLOB' LENSES.***THIS IS A REVISION OF R2 TO UPDATE THE TEST**	0.77	8.34

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
BREAK ROOM	+	0.5 fc	1.2 fc	0.1 fc	12.0:1	5.0:1
ELECTRICAL ROOM	+	0.8 fc	1.5 fc	0.4 fc	3.8:1	2.0:1
FLOWER ROOM 1 EXIT	+	1.8 fc	5.0 fc	0.2 fc	25.0:1	9.0:1
MENS LOCKER	+	0.5 fc	1.4 fc	0.1 fc	14.0:1	5.0:1
MENS TOILET	+	1.3 fc	2.0 fc	0.6 fc	3.3:1	2.2:1
NORTH EXIT	+	0.8 fc	4.6 fc	0.0 fc	N/A	N/A
OFFICE	+	0.8 fc	1.7 fc	0.3 fc	5.7:1	2.7:1
VESTIBULE & S CORRIDOR	+	1.0 fc	1.6 fc	0.0 fc	N/A	N/A
WEST EXITS	+	1.5 fc	5.6 fc	0.1 fc	56.0:1	15.0:1
WOMENS LOCKER	+	0.9 fc	1.3 fc	0.5 fc	2.6:1	1.8:1
WOMENS TOILET	+	1.3 fc	2.0 fc	0.6 fc	3.3:1	2.2:1
CORRIDOR	+	1.1 fc	2.3 fc	0.5 fc	4.6:1	2.2:1
CURE ROOM	+	0.2 fc	1.3 fc	0.0 fc	N/A	N/A
FERT ROOM	+	1.0 fc	1.6 fc	0.3 fc	5.3:1	3.3:1
FERTIGATION	+	0.8 fc	1.8 fc	0.4 fc	4.5:1	2.0:1
FLOWER ROOM 1	+	0.1 fc	1.2 fc	0.0 fc	N/A	N/A
FLOWER ROOM 2	+	0.6 fc	1.7 fc	0.1 fc	17.0:1	6.0:1
FLOWER ROOM 3	+	0.1 fc	1.1 fc	0.0 fc	N/A	N/A
FLOWER ROOM 4	+	0.5 fc	2.2 fc	0.1 fc	22.0:1	5.0:1
FLOWER ROOM 5	+	0.4 fc	2.1 fc	0.1 fc	21.0:1	4.0:1
FLOWER ROOM 6	+	0.5 fc	2.3 fc	0.1 fc	23.0:1	5.0:1
FLOWER ROOM 7	+	0.5 fc	2.0 fc	0.1 fc	20.0:1	5.0:1
FLOWER ROOM 8	+	0.5 fc	1.9 fc	0.1 fc	19.0:1	5.0:1
MOTHER ROOM	+	0.2 fc	1.1 fc	0.0 fc	N/A	N/A
N CORRIDOR	+	1.3 fc	2.8 fc	0.5 fc	5.6:1	2.6:1
PROCESSING ROOM	+	0.3 fc	1.2 fc	0.1 fc	12.0:1	3.0:1
S ENTRANCE	+	1.3 fc	4.4 fc	0.0 fc	N/A	N/A
SHIPPING & RECEIVING	+	1.2 fc	2.5 fc	0.4 fc	6.3:1	3.0:1
SOUTH CORRIDOR	+	1.3 fc	2.5 fc	0.3 fc	8.3:1	4.3:1
UNISEX	+	1.0 fc	1.7 fc	0.4 fc	4.3:1	2.5:1
VAULT	+	0.0 fc	0.0 fc	0.0 fc	N/A	N/A
VEG ROOM	+	0.7 fc	1.7 fc	0.2 fc	8.5:1	3.5:1
N ENTRY	+	2.2 fc	4.4 fc	0.3 fc	14.7:1	7.3:1
E ENTRANCES	+	1.3 fc	5.5 fc	0.0 fc	N/A	N/A



Plan View
 Scale - 1/8" = 1'-0"

ELECTRICAL - EGRESS LIGHTING FLOOR PLAN
 1/8" = 1'-0"

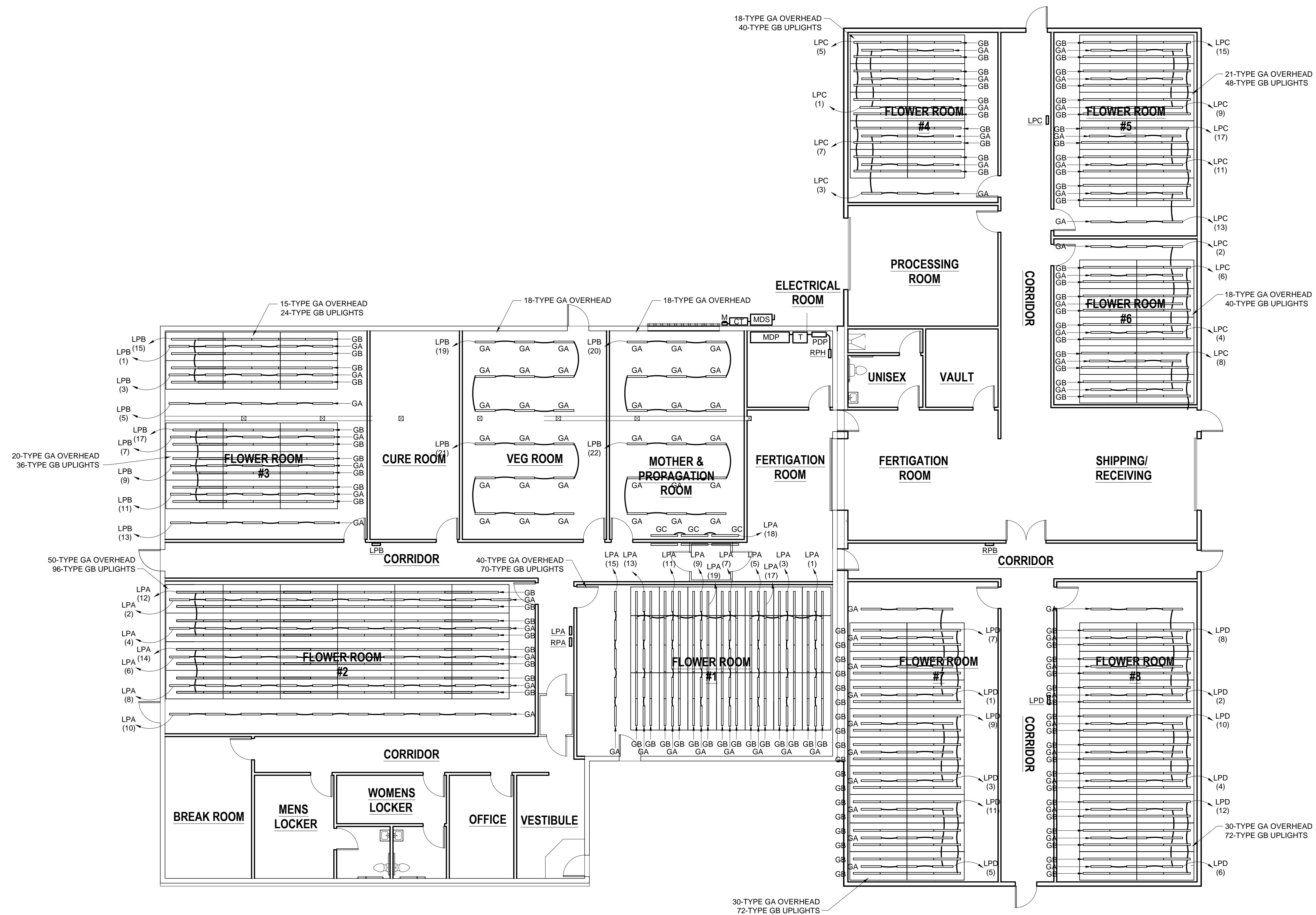


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LUNINAIRE SCHEDULE					
TYPE	MFR (OR EQUAL)	MODEL / SERIES	DESCRIPTION	LUMENS	WATTS
GA	THRIVE AGRICULTURE	PINNACLE PCL-600W-FS2	34"X3" OVERHEAD-MOUNTED GROW LIGHT WITH CONTROLLER, 277V	N/A	600
GB	THRIVE AGRICULTURE	BOOST XE TBAR-120W-FS2	45X3" UNDER CANOPY-MOUNTED GROW LIGHT WITH CONTROLLER, 277V	N/A	120
GC	THRIVE AGRICULTURE	INFINITY XE TBAR-60W-FS2	45"X3" UNDER CANOPY-MOUNTED GROW LIGHT WITH CONTROLLER, 277V	N/A	120

ELECTRICAL SHEET NOTES:

- 1 COORDINATE WITH GROW-LIGHTING VENDOR FOR INSTALLATION DETAILS. PROVIDE CEILING-MOUNTED JUNCTION BOXES WITH WHIPS TO GROW LIGHTS AS REQUIRED. PROVIDE REQUIRED CABLES, RECEPTACLES AND PLUGS.



ELECTRICAL - GROW LIGHTING FLOOR PLAN
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ELECTRICAL- GROW LIGHTING FLOOR PLAN
SHEET #

E5



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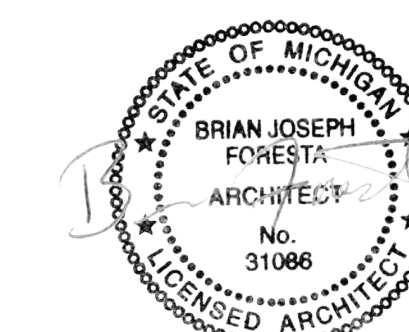
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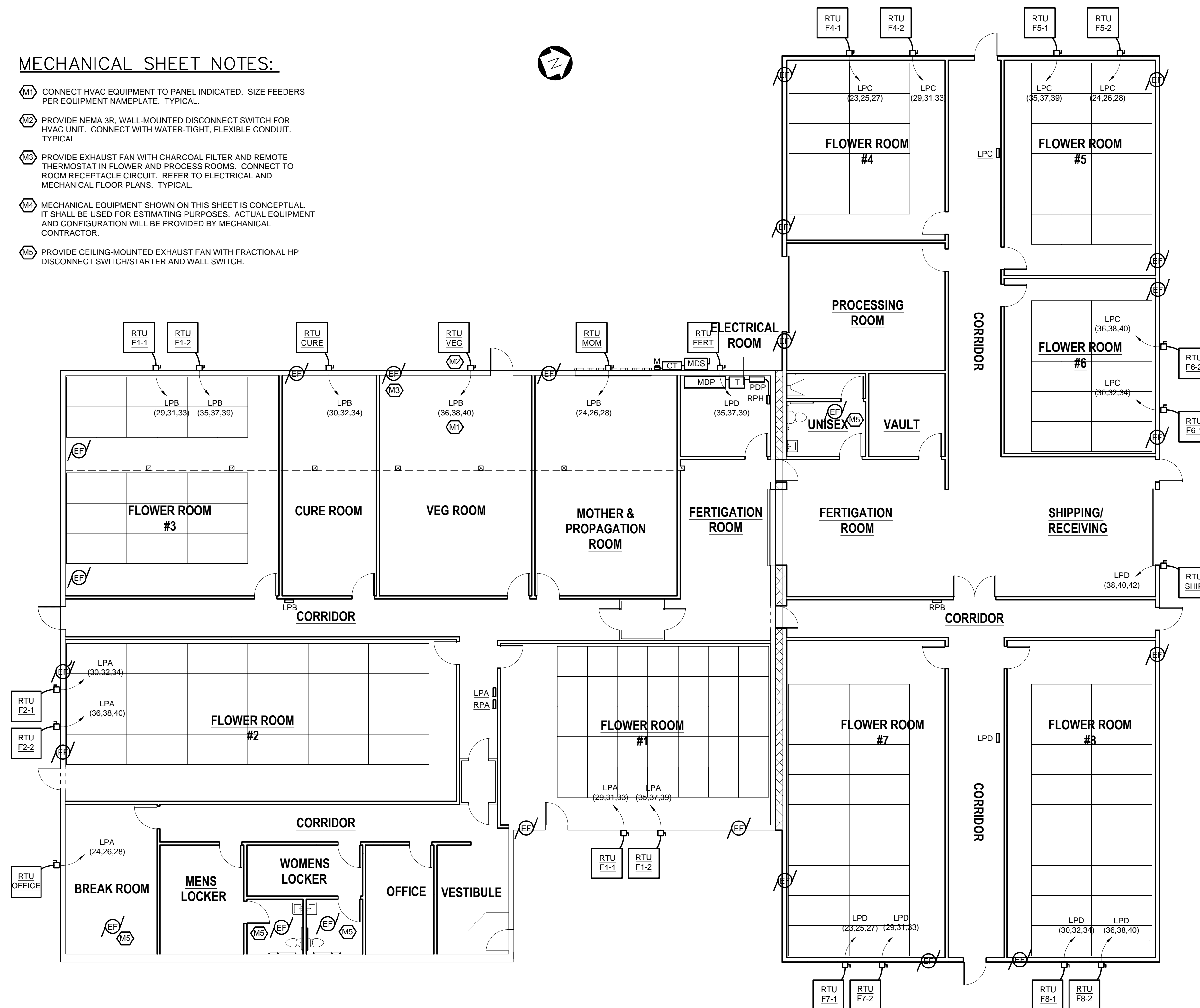
SHEET NAME

ELECTRICAL- MECH.
EQUIP. POWER PLAN
SHEET #

E6

MECHANICAL SHEET NOTES:

- (M1) CONNECT HVAC EQUIPMENT TO PANEL INDICATED. SIZE FEEDERS PER EQUIPMENT NAMEPLATE. TYPICAL.
- (M2) PROVIDE NEMA 3R, WALL-MOUNTED DISCONNECT SWITCH FOR HVAC UNIT. CONNECT WITH WATER-TIGHT, FLEXIBLE CONDUIT. TYPICAL.
- (M3) PROVIDE EXHAUST FAN WITH CHARCOAL FILTER AND REMOTE THERMOSTAT IN FLOWER AND PROCESS ROOMS. CONNECT TO ROOM RECEPTACLE CIRCUIT. REFER TO ELECTRICAL AND MECHANICAL FLOOR PLANS. TYPICAL.
- (M4) MECHANICAL EQUIPMENT SHOWN ON THIS SHEET IS CONCEPTUAL. IT SHALL BE USED FOR ESTIMATING PURPOSES. ACTUAL EQUIPMENT AND CONFIGURATION WILL BE PROVIDED BY MECHANICAL CONTRACTOR.
- (M5) PROVIDE CEILING-MOUNTED EXHAUST FAN WITH FRACTIONAL HP DISCONNECT SWITCH/STARTER AND WALL SWITCH.



ELECTRICAL - MECH. EQUIPMENT POWER PLAN
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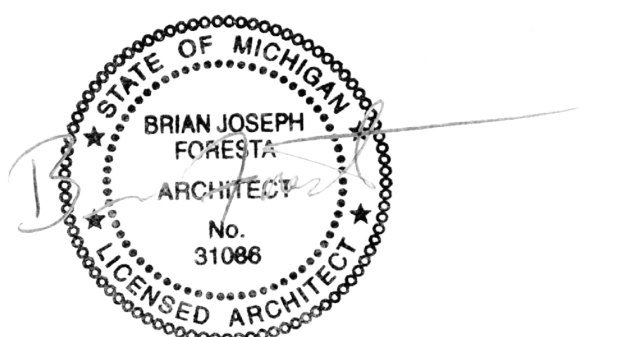
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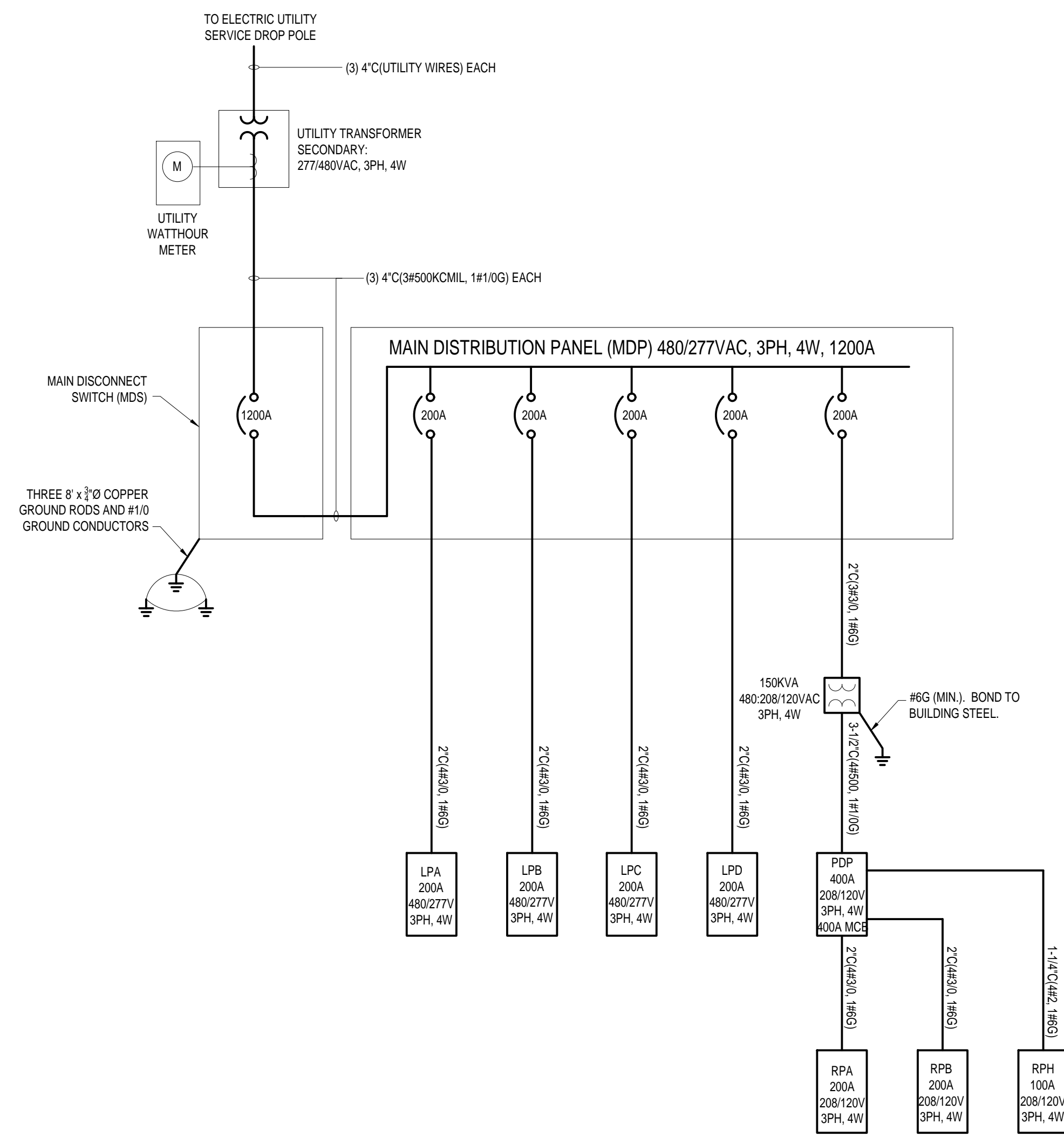
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SHEET NAME

ELECTRICAL-
 ONE-LINE DIAGRAM
SHEET #

E7



ELECTRICAL - ONE-LINE DIAGRAM



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ELECTRICAL-PANEL SCHEDULES
SHEET #

E8

MAIN DISTRIBUTION PANEL - MDP												
480 VOLTS (L-L)		RATING (A): 1200		MAIN(A): 1200		PHASE 3						
AMPS	POLES	DESCRIPTION	NO	LOAD VA	PHASE A	PHASE B	PHASE C	LOAD VA	NO	DESCRIPTION	POLES	AMPS
200	3	LPA	1	53720	80883			27163	2			
			3	43160	66631			23471	4	PDP TRANSFORMER - 150KVA	3	200
			5	43520		66552		23032	6			
			7	51320	51320				8			
			9	48080	48080				10			
			11	39080	39080				12			
			13	45312	45312				14			
			15	45672	45672				16			
			17	38352		38352			18			
			19	46752	46752				20			
			21	43152	43152				22			
			23	43152	43152				24			
				VA-A	VA-B	VA-C						
				224267	203535	187136						
249 KW LIGHTING LOAD								CONNECTED LOAD VA 614938				
294 KW HVAC LOAD								CONNECTED AMPS 741				

LIGHTING PANEL - LPA												
480 VOLTS (L-L)		RATING (A): 200		MAIN(A): MLO		PHASE 3						
AMPS	POLES	DESCRIPTION	NO	LOAD VA	PHASE A	PHASE B	PHASE C	LOAD VA	NO	DESCRIPTION	POLES	AMPS
20	1	F1 OH GROW LTS (5X600W)	1	3000	9000			6000	2	F2 OH GROW LTS (10X600W)	1	30
20	1	F1 OH GROW LTS (5X600W)	3	3000	9000			6000	4	F2 OH GROW LTS (10X600W)	1	30
20	1	F1 OH GROW LTS (5X600W)	5	3000	9000			6000	6	F2 OH GROW LTS (10X600W)	1	30
20	1	F1 OH GROW LTS (5X600W)	7	3000	9000			6000	8	F2 OH GROW LTS (10X600W)	1	30
20	1	F1 OH GROW LTS (5X600W)	9	3000		9000		6000	10	F2 OH GROW LTS (10X600W)	1	30
20	1	F1 OH GROW LTS (5X600W)	11	3000			8760	5760	12	F2 UPLTS (48X120W)	1	30
20	1	F1 OH GROW LTS (5X600W)	13	3000	8760			5760	14	F2 UPLTS (48X120W)	1	30
20	1	F1 OH GROW LTS (5X600W)	15	3000	3000				16	SPARE	1	20
20	1	F1 E UPLTS (50X120W)	17	3600					18	SPARE	1	20
20	1	F1 W UPLTS (40X120W)	19	4800	4800				20	SPARE	1	20
20	1	SPARE	21		0				22	SPARE	1	20
			23					4432	24			
			25		4432			4432	26	RTU OFFICE	3	30
			27			4432		4432	28			
			29	4432				4432	30			
			31	4432	8864			4432	32	RTU F2-1 (5 TON)	3	30
			33	4432		8864		4432	34			
			35	4432			8864	4432	36			
			37	4432	8864			4432	38	RTU F2-2 (5 TON)	3	30
			39	4432		8864		4432	40			
			41					0	42			
				VA-A	VA-B	VA-C						
				53720	43160	43520						
74 KW LIGHTING LOAD								CONNECTED LOAD VA 140400				
66 KW HVAC LOAD								CONNECTED AMPS 169				

LIGHTING PANEL - LPB												
480 VOLTS (L-L)		RATING (A): 200		MAIN(A): MLO		PHASE 3						
AMPS	POLES	DESCRIPTION	NO	LOAD VA	PHASE A	PHASE B	PHASE C	LOAD VA	NO	DESCRIPTION	POLES	AMPS
20	1	F3 OH GROW LTS (5X600W)	1	3000	6120			3120	2	F4 OH GROW LTS (4X780W)	1	20
20	1	F3 OH GROW LTS (5X600W)	3	3000	6120			3120	4	F4 OH GROW LTS (4X780W)	1	20
20	1	F3 OH GROW LTS (5X600W)	5	3000	6120			3120	6	F4 OH GROW LTS (4X780W)	1	20
20	1	F3 OH GROW LTS (5X600W)	7	3000	6120			3120	8	F4 OH GROW LTS (4X780W)	1	20
20	1	F3 OH GROW LTS (5X600W)	9	3000		6120		3120	10	F4 OH GROW LTS (4X780W)	1	20
20	1	F3 OH GROW LTS (5X600W)	11	3000			6120	3120	12	F4 OH GROW LTS (4X780W)	1	20
20	1	F3 OH GROW LTS (5X600W)	13	3000	6120			3120	14	F4 OH GROW LTS (4X780W)	1	20
20	1	F3 N UPLTS (24X120W)	15	2880	2880				16	SPARE	1	20
20	1	F3 S UPLTS (36X120W)	17	4320		4680		360	18	MOTHER'S UPLTS (3X120W)	1	20
20	1	VEG N OH GROW LTS (9X600W)	19	5400	10800			5400	20	MOTHER N OH LTS (9X600W)	1	30
20	1	VEG S OH GROW LTS (9X600W)	21	5400	10800			5400	22	MOTHER N OH LTS (9X600W)	1	30
			23	4432	4432			4432	24			
			25	4432		4432		4432	26	RTU MOTHER (5 TON)	3	30
			27	4432			8864	4432	28			
			29	4432				4432	30			
			31	4432	8864			4432	32	RTU CURE (5 TON)	3	30
			33	4432		8864		4432	34			
			35	4432			8864	4432	36			
			37	4432	8864			4432	38	RTU VEG	3	30
			39	4432		8864		4432	40			
			41					0	42			
				VA-A	VA-B	VA-C						
				51320	48080	39080						
72 KW LIGHTING LOAD								CONNECTED LOAD VA 138480				
66 KW HVAC LOAD								CONNECTED AMPS 167				

LIGHTING PANEL - LPC												
480 VOLTS (L-L)		RATING (A): 200		MAIN(A): MLO		PHASE 3						
AMPS	POLES	DESCRIPTION	NO	LOAD VA	PHASE A	PHASE B	PHASE C	LOAD VA	NO	DESCRIPTION	POLES	AMPS
30	1	F4 N OH GROW LTS (9X600W)	1	5400	10800			5400	2	F6 N OH GROW LTS (9X600W)	1	30
30	1	F4 S OH GROW LTS (9X600W)	3	5400	10800			5400	4	F6 C OH GROW LTS (9X600W)	1	30
20	1	F4 N UPLTS (20X120W)	5	2400		5280		2880	6	F6 N UPLTS (24X120W)	1	20
20	1	F4 S UPLTS (20X120W)	7	2400	4320			1920	8	F6 S UPLTS (16X120W)	1	20
20	1	F5 N OH GROW LTS (9X600W)	9	5400		5400			10	SPARE	1	20
20	1	F5 C OH GROW LTS (6X600W)	11	3600			3600		12	SPARE	1	20
20	1	F5 S OH GROW LTS (6X600W)	13	3600	3600				14	SPARE	1	20
20	1	F5 N UPLTS (24X120W)	15	2880		2880			16	SPARE	1	20
20	1	F5 S UPLTS (24X120W)	17	2880			2880		18	SPARE	1	20
20	1	SPARE	19		0				20	SPARE	1	20
20	1	SPARE	21			0			22	SPARE	1	20
			23	4432			8864	4432	24			
			25	4432	8864			4432	26	RTU F5-2 (5 TON)	3	30
			27	4432		8864		4432	28			
			29	4432			8864	4432	30			
			31	4432	8864			4432	32	RTU F6-1 (5 TON)	3	30
			33	4432		8864		4432	34			
			35	4432			8864	4432	36			
			37	4432	8864			4432	38	RTU F6-2 (5 TON)	3	30
			39	4432		8864		4432	40			
			41					0	42			
				VA-A	VA-B	VA-C						
				45312	45672	38352						
50 KW LIGHTING LOAD								CONNECTED LOAD VA 129336				
80 KW HVAC LOAD								CONNECTED AMPS 156				

LIGHTING PANEL - LPD												
480 VOLTS (L-L)		RATING (A): 200		MAIN(A): MLO		PHASE 3						
AMPS	POLES	DESCRIPTION	NO	LOAD VA	PHASE A	PHASE B	PHASE C	LOAD VA	NO	DESCRIPTION	POLES	AMPS
30	1	F7 N OH GROW LTS (12X600W)	1	7200	14400			7200	2	F8 OH GROW LTS (12X600W)	1	30
30	1	F7 C OH GROW LTS (9X600W)	3	5400		10800		5400	4	F8 OH GROW LTS (9X600W)	1	30
30	1	F7 S OH GROW LTS (9X600W)	5	5400			10800	5400	6	F8 OH GROW LTS (9X600W)	1	30
20	1	F7 N UPLTS (24X120W)	7	2880		5760		2880	8	F8 N UPLTS (24X120W)	1	20
20	1	F7 C UPLTS (24X120W)	9	2880			5760	2880	10	F8 C UPLTS (24X120W)	1	20
20	1	F7 S UPLTS (24X120W)	11	2880				5760	12	F8 S UPLTS (24X120W)	1	20
20	1	SPARE	13						14	SPARE	1	20
20	1	SPARE	15						16	SPARE	1	20
20	1	SPARE	17				0		18	SPARE	1	20
20	1	SPARE	19				0		20	SPARE	1	20
20												



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NOTES

CO-ORDINATE ALL PLANS WITH "CONSTRUCTION MANUAL."

ALL TRADES SHALL REVIEW AND HAVE ACCESS TO ENTIRE SET OF PLANS AND SPECS PRIOR TO BIDDING AND DURING CONSTRUCTION.

G.C. IS RESPONSIBLE FOR OBTAINING, REVIEWING, AND DISTRIBUTING ALL DRAWINGS, DETAILS, AND EQUIPMENT AND MATERIAL SPECS.

G.C. SHALL PROVIDE CONSTRUCTION SCHEDULES, WEEKLY UPDATES, AND PHOTOS OF THE PROJECT THROUGHOUT THE DURATION OF CONSTRUCTION.

G.C. SHALL FIELD VERIFY ALL EXISTING CONDITIONS & IMMEDIATELY NOTIFY ARCHITECT OF ANY INCONSISTENCIES.

G.C. SHALL PROVIDE ON-SITE STORAGE FOR ALL EQUIPMENT AND MATERIAL DELIVERIES DURING CONSTRUCTION.

ALL REQUEST FOR INFORMATION MUST BE SUBMITTED ELECTRONICALLY.

WORK SHALL NOT COMMENCE PRIOR TO RECEIPT OF ALL APPROVED PERMIT(S).

DO NOT SCALE DRAWINGS.

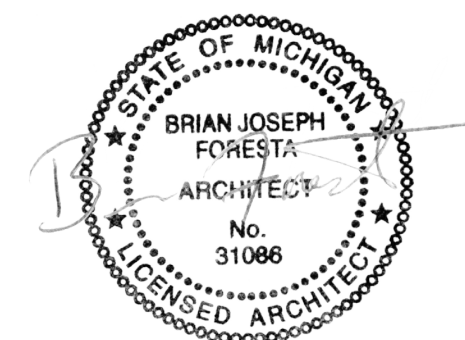
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PROJECT

19144

GROW FACILITY
1007 INDUSTRIAL BLVD.
ALBION, MI 49224

SEAL



DATE

11/05/21

NO.	DESCRIPTION	DATE
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SUBMITTAL

PERMIT

SHEET NAME

ELECTRICAL-
SPECIFICATIONS
SHEET #

E9

DIVISION 26 - ELECTRICAL SPECIFICATIONS

DESCRIPTION OF WORK
WORK SHALL INCLUDE, BUT IS NOT NECESSARILY LIMITED TO, THE FOLLOWING:

- DEMOLITION
- TEMPORARY POWER AND LIGHTING
- CONDUIT AND RACEWAYS
- CONDUCTORS
- GROUNDING
- SAFETY DISCONNECT SWITCHES
- DEVICES, SWITCHES AND RECEPTACLES
- DISTRIBUTION, LIGHTING AND RECEPTACLE PANELS
- METERING EQUIPMENT
- SWITCHBOARDS
- TRANSFORMERS - MEDIUM AND LOW VOLTAGE
- MOTOR STARTERS AND CONTROLS
- LIGHTING, LIGHTING CONTACTORS AND CONTROLS
- FIRE DETECTION AND ALARM SYSTEMS
- SECURITY AND COMMUNICATION SYSTEMS
- DIESEL AND NATURAL GAS GENERATORS
- AUTOMATIC TRANSFER SWITCHES

STANDARDS
ELECTRICAL MATERIALS AND EQUIPMENT SHALL CONFORM TO THE REQUIREMENTS LISTED BELOW. ALL ELECTRICAL MATERIALS AND EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE MANUFACTURER. IN THE ABSENCE OF SPECIFIC INSTRUCTION IN THE TECHNICAL SPECIFICATIONS, EQUIPMENT AND INSTALLATION SHALL CONFORM TO THE FOLLOWING APPLICABLE CODES, STANDARDS AND REGULATIONS, LATEST EDITIONS:

- AMERICAN SOCIETY FOR TESTING MATERIALS (ASTM).
- AMERICAN NATIONAL STANDARD INSTITUTE (ANSI).
- UNDERWRITER'S LABORATORIES, INC. (UL).
- AMERICAN WELDING SOCIETY CODE (AWSC).
- LOCAL BUILDING, ELECTRICAL, AND FIRE CODES.
- NATIONAL ELECTRICAL CODE (NEC).
- SERVICE RULES AND REGULATIONS OF LOCAL ELECTRICAL UTILITY COMPANY.
- NATIONAL ELECTRICAL MANUFACTURER'S ASSOCIATION (NEMA).
- U.S. DEPARTMENT OF HEALTH & HUMAN SERVICES "HRS-M-HP" 84-1.
- OCCUPATIONAL SAFETY AND HEALTH ACT (OSHA).
- NATIONAL FIRE PROTECTION ASSOCIATION (NFPA).
- AMERICANS WITH DISABILITIES ACT (ADA).

CODES AND ORDINANCES
COMPLY WITH ALL LOCAL, STATE AND NATIONAL CODES AND ORDINANCES. COMPLY WITH OWNER'S SPECIFICATIONS, GUIDELINES AND REQUIREMENTS. BIDDERS SHALL FAMILIARIZE THEMSELVES WITH CODE REQUIREMENTS FOR THE TYPE OF FACILITY WHERE THE WORK IS BEING PERFORMED.

PERMITS AND INSPECTION FEES
THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL REQUIRED PERMITS AND INSPECTION FEES. FINAL INSPECTION CERTIFICATES BY THE AUTHORITIES HAVING JURISDICTION, INCLUDING THE LOCAL ELECTRICAL INSPECTOR AND FIRE MARSHAL, SHALL BE OBTAINED BY THE CONTRACTOR. COPIES SHALL BE SUBMITTED IN DUPLICATE TO THE OWNER.

ELECTRICAL DISTRIBUTION, RECEPTACLE AND LIGHTING PANELS
DISTRIBUTION PANELS SHALL BE CIRCUIT BREAKER TYPE, WITH COPPER BUS, SERVICE ENTRANCE RATED, 65,000 AIC RATED, SURFACE OR FLUSH-MOUNTED AS SHOWN. VOLTAGE AS INDICATED ON THE DRAWINGS. SUPPLY WITH BRANCH CIRCUIT BREAKERS AS INDICATED ON THE DRAWINGS. SQUARE D TYPE QMB OR EQUAL.

RECEPTACLE AND LIGHTING PANELS SHALL BE CIRCUIT BREAKER TYPE, SURFACE OR FLUSH-MOUNTED AS SHOWN, WITH COPPER BUS, MINIMUM 25,000 AIC RATED, HINGED LOCKABLE DOOR, BOLT-ON CIRCUIT BREAKERS WITH MAIN BREAKER OR MAIN LUGS ONLY (MLO) AS INDICATED ON THE DRAWINGS. VOLTAGE AS INDICATED ON THE DRAWINGS. SUPPLY WITH BRANCH CIRCUIT BREAKERS AS INDICATED ON THE PANEL SCHEDULES. SQUARE D TYPE NQ OR NF OR EQUAL.

PROVIDE GROUND FAULT CIRCUIT INTERRUPTING AND ARC FLASH CIRCUIT INTERRUPTING CIRCUIT BREAKERS WHERE INDICATED.

PROVIDE HACR RATED CIRCUIT BREAKERS FOR ALL HVAC LOADS.

PAD-MOUNT MEDIUM VOLTAGE TRANSFORMERS
MEDIUM VOLTAGE TRANSFORMERS SHALL BE 3-PHASE, PAD-MOUNTED, WITH VOLTAGE AND KVA RATINGS AS SHOWN ON DRAWINGS. TEMPERATURE RISE SHALL BE 150-DEGREES. INSULATING FLUID SHALL BE MINERAL OIL OR APPROVED ALTERNATE. PROVIDE STANDARD SOUND LEVEL RATING. PROVIDE BIL OF 60 AND 15KV CLASSIFICATION. PRIMARY CONFIGURATION SHALL BE DEAD FRONT, RADIAL FEED. EATON, SIEMENS, G.E. OR SQUARE D OR EQUAL.

LOW VOLTAGE TRANSFORMERS
LOW VOLTAGE TRANSFORMERS SHALL BE ENERGY EFFICIENT, DRY-TYPE WITH VOLTAGE AND KVA RATING AS SHOWN ON DRAWINGS. COILS SHALL BE COPPER, ONE CORE PER PHASE. PROVIDE NON-VENTILATED ENCLOSURES IN DUSTY OR DAMP ENVIRONMENTS. PROVIDE NEMA 3R ENCLOSURES FOR EXTERIOR MOUNTED TRANSFORMERS. PROVIDE TAPS 2.5 PERCENT ABOVE AND 2.5 PERCENT BELOW NORMAL CAPACITY. 220 CLASS INSULATED CORE WITH 150-DEGREE C TEMPERATURE RISE. MOUNT AS INDICATED ON DRAWINGS. EATON, SIEMENS, G.E. OR SQUARE D OR EQUAL.

WIRE AND CABLE
PRIMARY FEEDERS SHALL BE TYPE UD EPR, 15KV RATED, COLORED BLACK. COLOR CODE ALL PRIMARY FEEDERS. SECONDARY FEEDERS SHALL BE TYPE THWN-2 or XHHW-2, 600V RATED, COLORED BLACK OR COLOR CODED. BRANCH CIRCUIT WIRING SHALL BE TYPE THWN-2 OR XHHW-2, 600V RATED, 7 STRAND, #12 AWG MINIMUM, COLORED HOT-BLACK, NEUTRAL-WHITE AND GROUND-GREEN. BARE COPPER GROUND WIRE SHALL BE STRANDED TYPE.

ALL BRANCH CIRCUIT WIRING SHALL BE CONTINUOUS BETWEEN JUNCTION BOXES, WITH SPLICES MADE ONLY WITHIN BOXES. SOLDERLESS PRESSURE-TYPE CONNECTORS, PROPERLY INSULATED, SHALL BE USED FOR ALL SPLICES. NO POWER WIRE SMALLER THAN #12 AWG MAY BE USED UNLESS SPECIFIED UNDER DESCRIPTIONS OF SPECIAL SYSTEMS.

LABEL ALL CONDUCTORS WITH CIRCUIT NUMBERS AT BOTH ENDS, MINIMUM.

CONDUIT AND BOXES
CONDUIT SHALL BE 3/4" MINIMUM. EXPOSED OUTDOOR CONDUIT SHALL BE RGC. BELOW GRADE CONDUIT SHALL BE SCHEDULE 40 PVC OR HDPE. EXPOSED INTERIOR CONDUIT SHALL BE EMT. CONDUIT INSTALLED IN INDUSTRIAL FACILITIES SHALL BE RGC. CONDUIT FOR CONDUCTORS GREATER THAN 480-VOLTS SHALL BE RGC. CONCEALED INTERIOR CONDUIT SHALL BE EMT. CONDUIT AND BOXES IN CORROSIVE ENVIRONMENTS SHALL BE PVC-COATED RGC. BELOW GRADE, NON-METALLIC CONDUIT CONTAINING DATA AND COMMUNICATIONS WIRING, SHALL BE INSTALLED WITH A TRACER WIRE.

WHERE FLEXIBLE CONNECTIONS ARE REQUIRED, SUCH AS CONNECTIONS TO MOTORS AND LIGHT FIXTURES, LIQUID-TIGHT, FLEXIBLE METAL CONDUIT SHALL BE USED, WHERE PERMITTED BY THE NEC.

EXTERIOR RGC CONDUIT JOINTS SHALL BE MADE WATERTIGHT BY COATING THREADS WITH A ZINC PAINT.

SUBMITTALS
SUBMIT PRODUCT DATA, SHOP DRAWINGS, WIRING DIAGRAMS, AND DESCRIPTIVE LITERATURE FOR ALL ELECTRICAL MATERIALS AND EQUIPMENT TO BE INSTALLED UNDER THIS CONTRACT. MAKE SUBMITTALS WITHIN THIRTY (30) DAYS AFTER THE SIGNING OF THE CONTRACT. PRODUCT SHIPMENTS ARE NOT PERMITTED UNTIL SUBMITTALS HAVE RECEIVED FINAL APPROVAL.

AS-CONSTRUCTED DOCUMENTS
UPON PROJECT COMPLETION, THE CONTRACTOR SHALL PROVIDE A MARKED-UP COPY OF THE ORIGINAL CONTRACT DOCUMENTS TO THE OWNER, INDICATING CHANGES, ADDITIONS AND MODIFICATIONS TO THE ORIGINAL DESIGN. DRAWINGS SHALL BE MANUALLY-PREPARED.

OPERATION & MAINTENANCE MANUALS
PROVIDE OPERATING INSTRUCTIONS AND MAINTENANCE INFORMATION, FOR EACH SYSTEM AND EQUIPMENT SPECIFIED, FOR USE BY FACILITY OPERATION AND MAINTENANCE PERSONNEL. MANUALS SHALL BE PROVIDED IN 3-RING BINDERS OR ELECTRONIC COPIES. THE MANUALS SHALL INCLUDE:

- WIRING DIAGRAMS, CONTROL DIAGRAMS, AND CONTROL SEQUENCE FOR EACH SYSTEM AND ITEM OF EQUIPMENT.
- START-UP, PROPER ADJUSTMENT, OPERATING, LUBRICATION, AND SHUTDOWN PROCEDURES.
- SAFETY PRECAUTIONS.
- THE PROCEDURE TO BE FOLLOWED IN THE EVENT OF EQUIPMENT FAILURE.
- OTHER ITEMS OF INSTRUCTION AS RECOMMENDED BY THE MANUFACTURER OF EACH SYSTEM OR ITEM OF EQUIPMENT.

TRAINING
DURING OR UPON COMPLETION OF THE PROJECT, CONTRACTOR SHALL PROVIDE TRAINING OF OPERATION AND MAINTENANCE PERSONNEL FOR ALL REQUIRED ELECTRICAL COMPONENTS AND SYSTEMS. TRAINING SHALL BE CONDUCTED AT THE OWNER'S FACILITY. COORDINATE WITH THE OWNER FOR SCHEDULE.

SIGNAGE AND IDENTIFICATION OF SYSTEMS AND EQUIPMENT

- OPERATING INSTRUCTIONS: PRINT OR ENGRAVE INSTRUCTIONS AND FRAME UNDER GLASS OR APPROVED LAMINATED PLASTIC. POST INSTRUCTIONS IN VIEW OF EQUIPMENT. PROVIDE WEATHER-RESISTANT MATERIALS FOR EXTERIOR APPLICATIONS.
- EQUIPMENT: PROVIDE NAMEPLATES FOR ALL EQUIPMENT AND DEVICES. NAMEPLATES SHALL BE SELF-ADHESIVE WITH ENGRAVED, LAMINATED ACRYLIC OR MELAMINE LABELS. PROVIDE NAMEPLATES WITH WHITE LETTERS ON A BLACK BACKGROUND. MINIMUM LETTER HEIGHT SHALL BE 1/8-INCH.
- WARNING SIGNS: PROVIDE A SELF-ADHESIVE WARNING LABEL THAT IS FACTORY PRINTED AND MULTI-COLOR. COMPLY WITH N.E.C. 70 AND 29 CFR 1910.145. LABELS FOR MULTIPLE POWER SOURCES SHALL READ: "DANGER - ELECTRICAL SHOCK HAZARD - EQUIPMENT HAS MULTIPLE POWER SOURCES". LABELS FOR OTHER EQUIPMENT REQUIRING WORK SPACE CLEARANCES SHALL READ: "WARNING - OSHA REGULATION - AREA IN FRONT OF ELECTRICAL EQUIPMENT MUST BE KEPT CLEAR FOR 36-INCHES".
- ARC-FLASH WARNING SIGNS: PROVIDE A SELF-ADHESIVE ARC-FLASH WARNING LABEL ON ALL SAFETY SWITCHES, STARTERS, SWITCHBOARDS, PANELBOARDS AND OTHER REQUIRED EQUIPMENT. LABEL SHALL READ: "WARNING, ARC FLASH AND SHOCK HAZARD. APPROPRIATE PPE AND TOOLS REQUIRED WHEN WORKING ON THIS EQUIPMENT."

GUARANTEE
PROVIDE WRITTEN GUARANTEE FOR ALL LABOR AND MATERIALS FOR ONE (1) YEAR AFTER OWNER'S WRITTEN ACCEPTANCE OF THE PROJECT.

LAYOUT OF THE WORK
THE CONTRACTOR SHALL EXAMINE THE AREA OF WORK, AND ALL OTHER DISCIPLINE DRAWINGS, BEFORE PROCEEDING WITH THE LAYOUT AND INSTALLATION OF THE ELECTRICAL WORK. LOCATE ELECTRICAL EQUIPMENT ESSENTIALLY AS SHOWN ON THE DRAWINGS. EXACT LOCATION OF EQUIPMENT SHALL BE DETERMINED AT THE JOB SITE, TO SUIT ACTUAL

EXTERIOR-MOUNTED DEVICE BOXES AND BOXES INSTALLED IN INDUSTRIAL FACILITIES SHALL BE CAST TYPE. INTERIOR OUTLET BOXES SHALL BE PRESSED STEEL, COMPLETE WITH PLASTER RING IF NECESSARY, FOR EACH SWITCH, RECEPTACLE OR DEVICE SHOWN. CEILING OUTLET BOXES SHALL BE 4-INCH OCTAGON, 1-1/2-INCH DEEP. EACH OUTLET SHALL BE RIGIDLY SUPPORTED FROM THE BUILDING CONSTRUCTION (INDEPENDENT OF THE RACEWAY SYSTEM). LIGHT FIXTURE BOXES SHALL BE SUPPLIED WITH FIXTURE SUPPORT HARDWARE AND SUPPORTED TO WITHSTAND 80 LBS.

DEVICES
WALL SWITCHES SHALL BE 20A RATED, SPECIFICATION GRADE, TOGGLE TYPE, SINGLE-POLE, TWO-POSITION. PROVIDE 3-WAY AND 4-WAY AND TWO-POLE SWITCHES WHERE INDICATED. PROVIDE INTEGRAL OCCUPANCY SENSOR WHERE INDICATED OR REQUIRED. COLOR SELECTED BY OWNER OR MATCH EXISTING. LUTRON, LEVITON, G.E. OR EQUAL.

DIMMER SWITCHES SHALL BE FURNISHED WITH FULL-RANGE DIMMING CAPABILITY, 0-10V OR 120V AS REQUIRED BY LUMINAIRES FURNISHED. FURNISH WITH INTEGRAL OCCUPANCY SENSOR. COLOR SELECTED BY OWNER OR MATCH EXISTING. LUTRON, LEVITON, G.E. OR EQUAL.

RECEPTACLES SHALL BE 20A RATED, SPECIFICATION GRADE, 125VAC, 3-WIRE DUPLEX TYPE, NEMA 5-20R UNLESS NOTED OTHERWISE. PROVIDE GROUND FAULT CIRCUIT INTERRUPTING RECEPTACLES AND ARC FLASH CIRCUIT INTERRUPTING RECEPTACLES WHERE REQUIRED OR AS INDICATED. COLOR SELECTED BY OWNER OR MATCH EXISTING. LEVITON, G.E. OR EQUAL.

PROVIDE IN-USE, HINGED LOCKABLE COVERS FOR ALL EXTERIOR-MOUNTED RECEPTACLES. NICKEL OR GALVANIZED STEEL COVERS IN INDUSTRIAL FACILITIES AND NICKEL, PLASTIC COVERS (MATCHING OWNER'S EXISTING COVERS) IN FINISHED AREAS.

SUPPORTS AND HANGERS
PROVIDE AND INSTALL NECESSARY STEEL BRACKETS, RODS, CHANNELS, CLAMPS, ETC., FOR SUPPORT OF ALL WORK UNDER THIS CONTRACT. MOUNT SECURELY TO CEILING OR WALL.

SAFETY DISCONNECT SWITCHES
SAFETY DISCONNECT SWITCHES SHALL BE CIRCUIT BREAKER OR FUSED TYPE, 250VAC OR 480VAC, CLASS A, HEAVY DUTY, DUAL HORSEPOWER RATED IN NEMA 1 ENCLOSURE OR WEATHER-PROOF AS INDICATED ON DRAWINGS. BUILDING SAFETY DISCONNECT SWITCHES SHALL BE RATED FOR "SERVICE ENTRANCE" AND RATED 65KAIC MINIMUM. VOLTAGE, CURRENT RATING, NUMBER OF POLES, CIRCUIT BREAKER OR FUSES AS INDICATED. CONSTRUCTION SHALL BE SUCH THAT, WHEN THE SWITCH HANDLE IS IN THE "ON" POSITION, THE COVER CANNOT BE OPENED. SWITCHES FOR 30-AMPERE TO 200-AMPERE LOADING SHALL BE SQUARE D TYPE HD OR EQUAL.

MOTOR STARTERS
THREE-PHASE MOTOR STARTERS SHALL BE COMBINATION TYPE, 250VAC OR 480VAC AS REQUIRED, CLASS A, HEAVY DUTY, DUAL HORSEPOWER RATED WITH OVERLOADS AND TIME DELAY SWITCH. UNITS SHALL BE SQUARE D OR EQUAL.

FRACTIONAL HORSEPOWER MOTOR STARTERS SHALL BE TOGGLE TYPE, 120VAC WITH RED PILOT LIGHT.

LIGHTING FIXTURES
PROVIDE AND INSTALL LIGHT FIXTURES AS SPECIFIED IN THE LIGHTING FIXTURE SCHEDULE. ALL LIGHTING FIXTURES AND COMPONENTS SHALL BE U.L., D.L.C., ENERGY STAR AND E.T.L. APPROVED. EMERGENCY LIGHT FIXTURES AND EXIT SIGNS SHALL BE CONNECTED TO THE CIRCUIT SUPPLYING NORMAL POWER TO LIGHTING FIXTURES IN THE AREA THEY SERVE, AHEAD OF ANY SWITCHES.

PROVIDE CONCRETE FOUNDATIONS, GROUNDING AND POLES FOR POLE-MOUNTED EXTERIOR LIGHTS. REFER TO LIGHT FIXTURE SCHEDULE AND DETAILS ON THE DRAWINGS FOR POLE AND MOUNTING ARM SPECIFICATIONS.

CONDITIONS. THE CONTRACTOR SHALL COORDINATE WITH OTHER TRADES PRIOR TO INSTALLATION, SO THAT ALL COMPONENTS WILL BE INSTALLED IN PROPER RELATIONSHIP AND SEQUENCE.

DEMOLITION
CONTRACTOR SHALL REMOVE ALL EQUIPMENT AND MATERIAL INDICATED ON THE DEMOLITION PLANS OR AS REQUIRED TO INSTALL THE EQUIPMENT THAT IS PART OF THIS CONTRACT. LIGHT FIXTURES INDICATED TO BE REUSED SHALL BE REMOVED, CLEANED AND RE-LAMPED BEFORE REINSTALLING. REMOVED LIGHT FIXTURES TO BE DEMOLISHED SHALL BE TURNED OVER TO THE OWNER UNLESS OTHERWISE SPECIFIED. ALL OTHER ELECTRICAL DEMOLITION ITEMS SHALL BE REMOVED FROM THE SITE. EXISTING CONDUITS MAY BE REUSED WHEN PRACTICAL. CONTRACTOR SHALL PATCH EXISTING WALL AND CEILING OPENINGS IN FINISHED AREAS UPON REMOVAL OF ELECTRICAL EQUIPMENT. CONTRACTOR SHALL PROTECT ALL EXISTING ELECTRICAL EQUIPMENT, INDICATED TO REMAIN, DURING CONSTRUCTION PERIOD.

CUTTING AND PATCHING
ALL NECESSARY CUTTING AND PATCHING OF THE BUILDING WALLS, FLOORS AND CEILINGS REQUIRED FOR REMOVAL OR INSTALLATION OF THE NEW WORK, SHALL BE FURNISHED BY THE CONTRACTOR. NO STRUCTURAL MEMBERS OF THE BUILDING SHALL BE CUT WITHOUT PRIOR APPROVAL OF THE ENGINEER. ALL NECESSARY PATCHING AND PAINTING OF SURFACES SHALL BE BY CONTRACTOR. PAINT SHALL MATCH EXISTING.

TEMPORARY POWER AND LIGHTING
CONTRACTOR SHALL SUPPLY TEMPORARY POWER AND LIGHTING IN NEW WORK AREAS AND EXISTING AREAS WHERE POWER OR LIGHTING IS BEING MODIFIED. THIS INCLUDES POWER TO EXISTING CRITICAL AND LIFE SAFETY SYSTEMS. TEMPORARY LIGHTING SHALL EQUAL OR EXCEED EXISTING LIGHT LEVELS. MINIMUM ILLUMINATION LEVEL SHALL BE 10-FOOTCANDES. COORDINATE ALL POWER AND LIGHTING SHUTDOWNS WITH OWNER.

ELECTRICAL SERVICE
CONTRACTOR SHALL CONTACT THE LOCAL ELECTRIC UTILITY COMPANY TO COORDINATE THE INSTALLATION OF NEW ELECTRICAL SERVICE. ALL WORK SHALL COMPLY WITH LOCAL ELECTRICAL UTILITY COMPANY RULES AND REGULATIONS. CONTRACTOR SHALL INCLUDE ALL CHARGES FOR NEW SERVICE IN BASE BID. NORMAL SECONDARY SERVICE IS 277/480 VOLT OR 120/208 VOLT, 3-PHASE, 4 WIRE, AS INDICATED ON DRAWINGS. CONTRACTOR SHALL PROVIDE NEW SERVICE ENTRANCE CONDUIT AND CONDUCTORS FROM THE UTILITY TRANSFORMER TO THE NEW METERING CUBICLE OR CURRENT TRANSFORMER (CT) CABINET AS APPLICABLE.

CONTRACTOR SHALL PROVIDE AND INSTALL METERING EQUIPMENT, PANELS, DISCONNECTS AND EQUIPMENT AS SHOWN. ALL SERVICE EQUIPMENT SHALL BE RATED AS "SUITABLE FOR USE AS SERVICE EQUIPMENT." ELECTRICAL WATT-HOUR METER AND CURRENT TRANSFORMERS SHALL BE PROVIDED BY THE UTILITY COMPANY AND INSTALLED BY THE CONTRACTOR, UNLESS NOTED OTHERWISE.

GROUNDING
ALL ELECTRICAL EQUIPMENT SHALL BE GROUNDED IN A MANNER APPROVED BY THE AUTHORITY HAVING JURISDICTION. PROVIDE GROUND RODS AND BARE COPPER GROUND CONDUCTORS AT UTILITY TRANSFORMER PAD. PROVIDE A GROUND ROD AND GROUND CONDUCTOR AT THE BUILDING MAIN DISCONNECT SWITCH. PROVIDE A GROUND CONDUCTOR IN ALL POWER RACEWAYS. GROUND ELECTRICAL SYSTEMS PER NEC ARTICLE 250 OR AS DETAILED ON THE DRAWINGS.

SWITCHBOARDS
SWITCHBOARDS SHALL BE PROVIDED AS SHOWN ON THE DRAWINGS. EXTERIOR SWITCHBOARDS SHALL BE SUPPLIED WITH A NEMA 3R, WEATHER-PROOF ENCLOSURE. SWITCHBOARDS SHALL BE SERVICE ENTRANCE RATED, FRONT-CONNECTED, FRONT ACCESSIBLE, WITH COPPER BUS, RATED 480Y/277VAC, 100,000 AIC OR AS INDICATED ON THE DRAWINGS. AMPERAGE AS INDICATED ON THE DRAWINGS. PROVIDE MOLDED-CASE CIRCUIT BREAKERS OR FUSED SWITCHES AS SHOWN ON THE DRAWINGS. SQUARE D, SIEMENS, CUTTLER HAMMER, GE OR EQUAL.

LIGHTING CONTROL
PROVIDE A LIGHTING CONTROL PANEL AS DETAILED ON THE DRAWINGS. PANEL SHALL BE MULTI-ZONE, PROGRAMMABLE TYPE WITH ASTRONOMICAL TIME CLOCK. PROVIDE CEILING AND WALL-MOUNTED OCCUPANCY SENSORS AND SWITCHES AS SHOWN ON THE DRAWINGS. HONEYWELL, EATON, LUTRON, EDWARDS, LEVITON, SCHNEIDER OR EQUAL.

LIGHTING CONTACTORS
PROVIDE AN ELECTRICALLY-HELD LIGHTING CONTACTOR AS SHOWN ON THE DRAWINGS. CONTACTOR SHALL BE FURNISHED IN A NEMA 12 E ENCLOSURE AND SHALL HAVE A HAND-OFF-AUTO SELECTOR SWITCH ON THE COVER. PROVIDE EXTERIOR-MOUNTED PHOTOCELL WHERE SHOWN. SUPPLY WITH NEMA 3R ENCLOSURE FOR EXTERIOR LOCATIONS. CONTACTOR SHALL BE 3-POLE MINIMUM, RATED FOR VOLTAGE AND AMPERAGE AS SHOWN ON THE DRAWINGS. SQUARE D CLASS 8903 OR EQUAL.

TIME CLOCKS
TIME CLOCKS SHALL BE ASTRONOMIC, 40-AMPS PER POLE, ELECTRONIC WITH BATTERY BACK-UP. MOUNTED IN NEMA 1 ENCLOSURE. TORK, INTERMATIC OR EQUAL.

GENERATORS AND AUTOMATIC-TRANSFER SWITCHES

- PROVIDE DIESEL FUEL OR NATURAL GAS FIRED GENERATORS AS INDICATED ON PLANS. GENERATOR SHALL BE A SIX-CYLINDER, PMG EXCITATION AND WITH A TEMPERATURE RISE OF 125-DEGREES AT FULL RATED LOAD. DIESEL GENERATORS SHALL BE PROVIDED WITH A SUB-BASE TANK SIZED TO PROVIDE 24-HOURS OF FULL-RATED LOAD. PROVIDE GENERATOR WITH AN EXTERIOR-RATED, WEATHER-PROOF ENCLOSURE WITH SILENCER MOUNTED WITHIN HOUSING. ENGAGE A FACTORY SERVICE REPRESENTATIVE TO INSPECT, TEST AND ADJUST ASSEMBLIES, COMPONENTS, EQUIPMENT INSTALLATION AND CONNECTIONS. TEST RESULTS SHALL BE PROVIDED TO THE OWNER PRIOR TO FINAL ACCEPTANCE. GENERAC, CUMMINS, KOHLER, CATERPILLAR OR EQUAL.
- PROVIDE AN AUTOMATIC-TRANSFER SWITCH (ATS) AS SHOWN ON DRAWINGS. ATS SHALL START ENGINE-GENERATOR SET AND TRANSFER LOAD BETWEEN NORMAL SOURCE AND GENERATOR, UPON LOSS OF NORMAL POWER. UPON RESTORATION OF NORMAL POWER, ATS SHALL SHUT DOWN ENGINE-GENERATOR SET AFTER A PRESET COOL-DOWN PERIOD. ENGAGE A FACTORY SERVICE REPRESENTATIVE TO INSPECT, TEST AND ADJUST ASSEMBLIES, COMPONENTS, EQUIPMENT INSTALLATION AND CONNECTIONS. TEST RESULTS SHALL BE PROVIDED TO THE OWNER PRIOR TO FINAL ACCEPTANCE. ASCO OR APPROVED EQUAL.

SECURITY AND COMMUNICATION SYSTEMS
ELECTRICAL CONTRACTOR SHALL INSTALL RACEWAYS, J-HOOKS AND BOXES REQUIRED FOR THE SECURITY AND COMMUNICATION SYSTEMS WHERE REQUIRED AND SHALL INSTALL PULL STRING IN ALL COMMUNICATIONS RACEWAYS. ELECTRICAL CONTRACTOR SHALL PROVIDE REQUIRED POWER CIRCUITS FOR SECURITY AND COMMUNICATION SYSTEM CONTROLLERS.

SECURITY AND COMMUNICATION SYSTEM CONTROLLERS AND COMPONENTS SHALL BE PROVIDED AND INSTALLED BY LICENSED SECURITY AND COMMUNICATIONS CONTRACTORS. PROVIDE A COMPLETE SYSTEM INCLUDING, BUT NOT LIMITED TO: DATA OUTLETS, CARD READERS, PUSHBUTTON STATIONS, DOOR LOCK HARDWARE, ALARM LIGHTS AND HORNS, CABLES, MONITORS AND CONTROLLERS AS DETAILED ON THE DRAWINGS.

SECURITY AND COMMUNICATIONS CONTRACTOR SHALL PROVIDE AND INSTALL ALL CABLES, OUTLETS, CONNECTORS AND DEVICES REQUIRED. DATA AND SECURITY CABLES SHALL BE CATEGORY 6, 6A OR AS REQUIRED. PROVIDE CONTINUOUS CABLES BETWEEN DEVICES AND CONTROLLERS, PATCH PANELS OR SERVERS. NO SPLICING IS ALLOWED. WORKSTATION OUTLETS SHALL ALL BE PROVIDED WITH TWO PORTS, ONE FOR VOICE AND ONE FOR DATA. PROVIDE AND INSTALL CABLES ABOVE SUSPENDED CEILINGS IN PATHWAYS, CABLE TRAY OR J-HOOKS. BOTH ENDS OF ALL CABLES SHALL BE IDENTIFIED. PROVIDE ALL REQUIRED TESTS. PROVIDE AS-CONSTRUCTED DRAWINGS TO THE OWNER. SIEMENS, JOHNSON CONTROLS, HONEYWELL, SCHNEIDER, ADT OR EQUAL.

ELECTRICAL - SPECIFICATIONS

HVAC NOTES

ROOF TOP UNITS: FIELD VERIFY LOCATION, WEIGHT OF UNITS, AND STRUCTURAL DESIGN LIMITATIONS. CONNECT DUCTWORK TO RTU ON SUPPLY AND RETURN AIRDUCT CONNECTIONS. PERFORM CHECK TESTS START-UP OF UNIT AND NOTIFY OWNER OF CONDITION AND OPERATIONAL STATUS. IF UNITS ARE EXISTING - INSPECT AND REPLACE THE FOLLOWING AS NEEDED, FANS, BELTS, FILTERS, ACTUATOR, CONTROL COMPONENTS, AND GREASE BEARINGS. BALANCE SYSTEM PER PLANS AND/OR AS REQUIRED.

THERMOSTATS: FURNISH AND INSTALL SEVEN-DAY PROGRAMMABLE THERMOSTAT WITH AUTO CHANGEOVER AND RELATED WIRING TO CONTROL ROOFTOP UNIT, MOUNT AT 40" A.F.F. VERIFY PROPER OPERATION IN THE FIELD.

FLUE VENT FOR WATER HEATER: EXTEND VENT UP THROUGH EXISTING ROOF AND TERMINATE WITH ROOF JACK, STORM COLLAR, AND ALL WEATHER CAP. FLUE VENT SHALL BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS AND IN ACCORDANCE WITH LOCAL CODE. COORDINATE WORK WITH LANDLORD.

CEILING MOUNTED RESTROOM EXHAUST FANS: EXTEND DUCT UP THROUGH EXISTING ROOF AND TERMINATE WITH ROOF JACK, STORM COLLAR, AND ALL WEATHER CAP. COORDINATE WORK WITH LANDLORD.

HVAC LEGEND

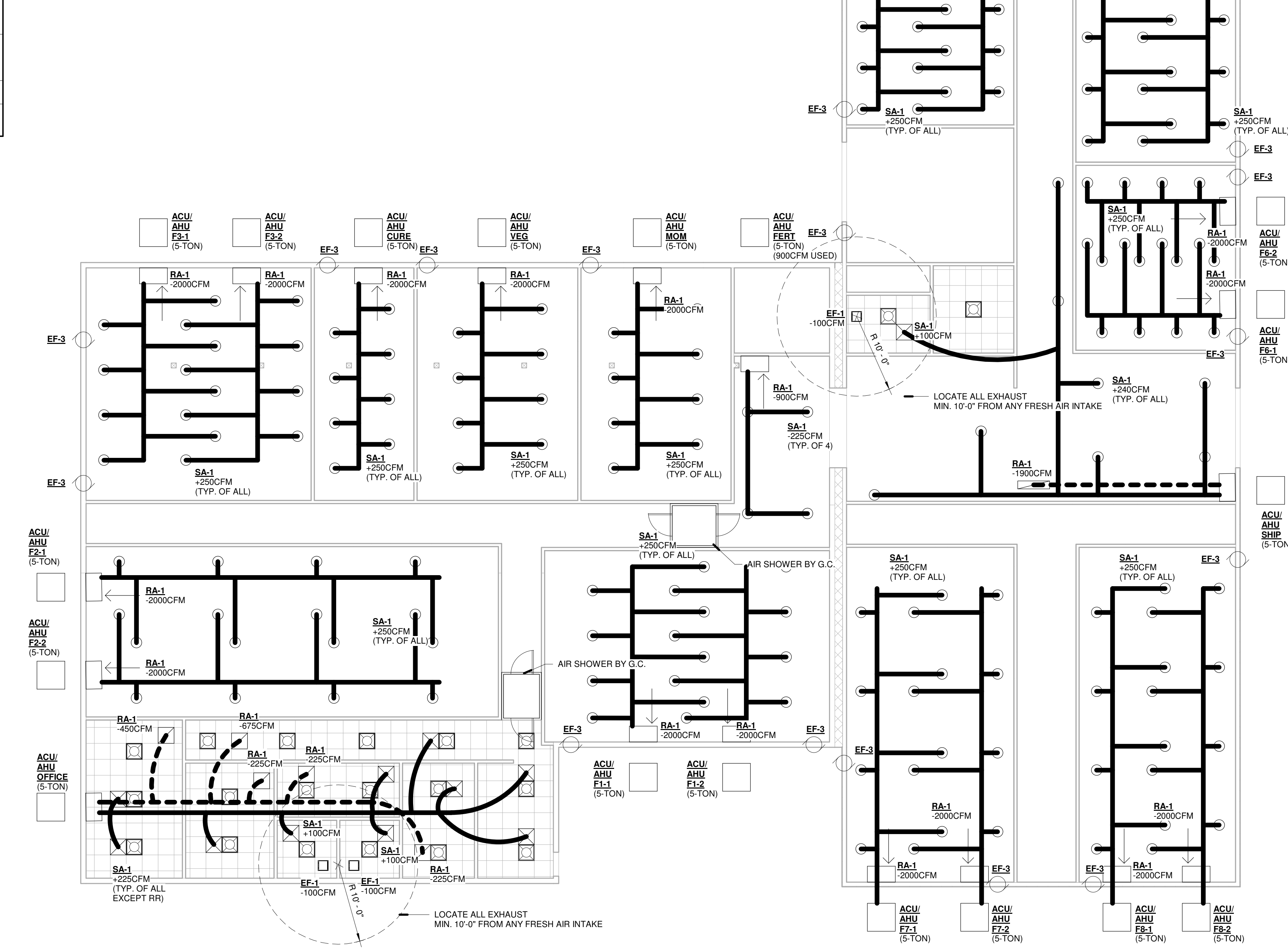
MARK	DESCRIPTION
	THERMOSTAT
	DUCT FIRE DAMPER
	AIR DAMPER
	RIGID SUPPLY DUCT CIRCULAR
	RIGID RETURN DUCT CIRCULAR
	BRANCH SUPPLY DUCT (USE FLEX WHERE APPLICABLE)
	BRANCH RETURN DUCT (USE FLEX WHERE APPLICABLE)
	DUCT SMOKE DETECTOR
	LAY-IN SUPPLY DIFFUSER
	LAY-IN RETURN GRILLE
	LAY-IN EXHAUST GRILLE
	WALL RETURN AIR VENT

NOTE:
G.C. TO FIELD VERIFY MAKE, MODEL AND CONDITION AS INSTALLED. NOTIFY ARCHITECT IMMEDIATELY IF UNIT CAN NOT COMPLY WITH THIS PLAN.

HVAC UNIT SCHEDULE

UNIT ID	COUNT	MANUF.	MODEL	AREA SERVED	NOMINAL TONS	SUPPLY		NOTES
						TOTAL CFM	OUTSIDE AIR	
ACU/AHU	22	BY M.C.	BY M.C.		5	2000	400 (TYP.)	
EF-1	3	BY M.C.	BY M.C.	REST.		-100	0	
EF-2	19	BY M.C.	BY M.C.					CHARCOAL FILTER AND REMOTE THERMOSTAT

NOTES:
1. ELECTRICAL CONNECTION TO BE SINGLE POINT AND TO BE THROUGH THE BOTTOM OF THE UNIT
2. PROVIDE DISCONNECT SWITCH AND AN UNPOWERED GFCI RECEPTACLE.
3. 14" INSULATED ROOF CURB (SLOPED TO MATCH PITCH OF ROOF, REFER TO ARCHITECTURAL DRAWINGS).
4. CONDENSATE DRAIN WITH 2" DEEP VENTED TRAP DISCHARGE TO SPLASH BLOCK ON ROOF.
5. CABINET WITH 3/4" FIBERGLASS INSULATION.
6. UNIT SHALL BE COMPLETE WITH GAS HEATING SECTION. GAS REGULATOR TO RECEIVE 7" GAS PRESSURE FROM MAIN.
7. DRY BULB ECONOMIZER WITH BAROMETRIC RELIEF 25% MANUAL OUTSIDE AIR DAMPER ASSEMBLY WITH HOOD (ZONE 'E' ONLY).
8. PROVIDE 8-WIRE, 24 VAC, AUTOMATIC CHANGEOVER, 2-STAGE HEAT / COOL, REMOTELY PROGRAMMABLE THERMOSTAT
9. REMOTE SENSORS SHALL BE PROVIDED IN SPACE WIRED BACK TO PROGRAMMABLE, 24 HOUR, 7 DAY, THERMOSTATS.
10. ANTI SHORT CYCLE TIMER.
11. THROWAWAY 2" FILTERS (MERV 8).
12. PROVIDE HIGH STATIC DRIVE ACCESSORY.
13. PROVIDE LOW AMBIENT COOLING CAPABILITY DOWN TO 0 DEGREES F.
14. PROVIDE ALL COMPRESSORS WITH 5 YEAR WARRANTY.
15. RETURN AIR SMOKE DETECTOR - UNIT MOUNTED, WHEN REQ'D BY CODE



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NOTES

- CO-ORDINATE ALL PLANS WITH "CONSTRUCTION MANUAL".
- ALL TRADES SHALL REVIEW AND HAVE ACCESS TO ENTIRE SET OF PLANS AND SPECS PRIOR TO BIDDING AND DURING CONSTRUCTION.
- G.C. IS RESPONSIBLE FOR OBTAINING, REVIEWING, AND DISTRIBUTING ALL DRAWINGS, DETAILS, AND EQUIPMENT AND MATERIAL SPECS.
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- G.C. SHALL FIELD VERIFY ALL EXISTING CONDITIONS & IMMEDIATELY NOTIFY ARCHITECT OF ANY INCONSISTENCIES.
- G.C. SHALL PROVIDE ON-SITE STORAGE FOR ALL EQUIPMENT AND MATERIAL DELIVERIES DURING CONSTRUCTION.
- ALL REQUEST FOR INFORMATION MUST BE SUBMITTED ELECTRONICALLY.
- WORK SHALL NOT COMMENCE PRIOR TO RECEIPT OF ALL APPROVED PERMIT(S).
- DO NOT SCALE DRAWINGS.
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PROJECT

21140B

GROW FACILITY
1007 INDUSTRIAL BLVD. ALBION, MI 49224

SEAL



DATE

11/08/2021	NO.	DESCRIPTION	DATE
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SUBMITTAL

PERMIT

SHEET NAME

HVAC PLAN

SHEET

M1

MECHANICAL PLAN

1/8" = 1'-0"

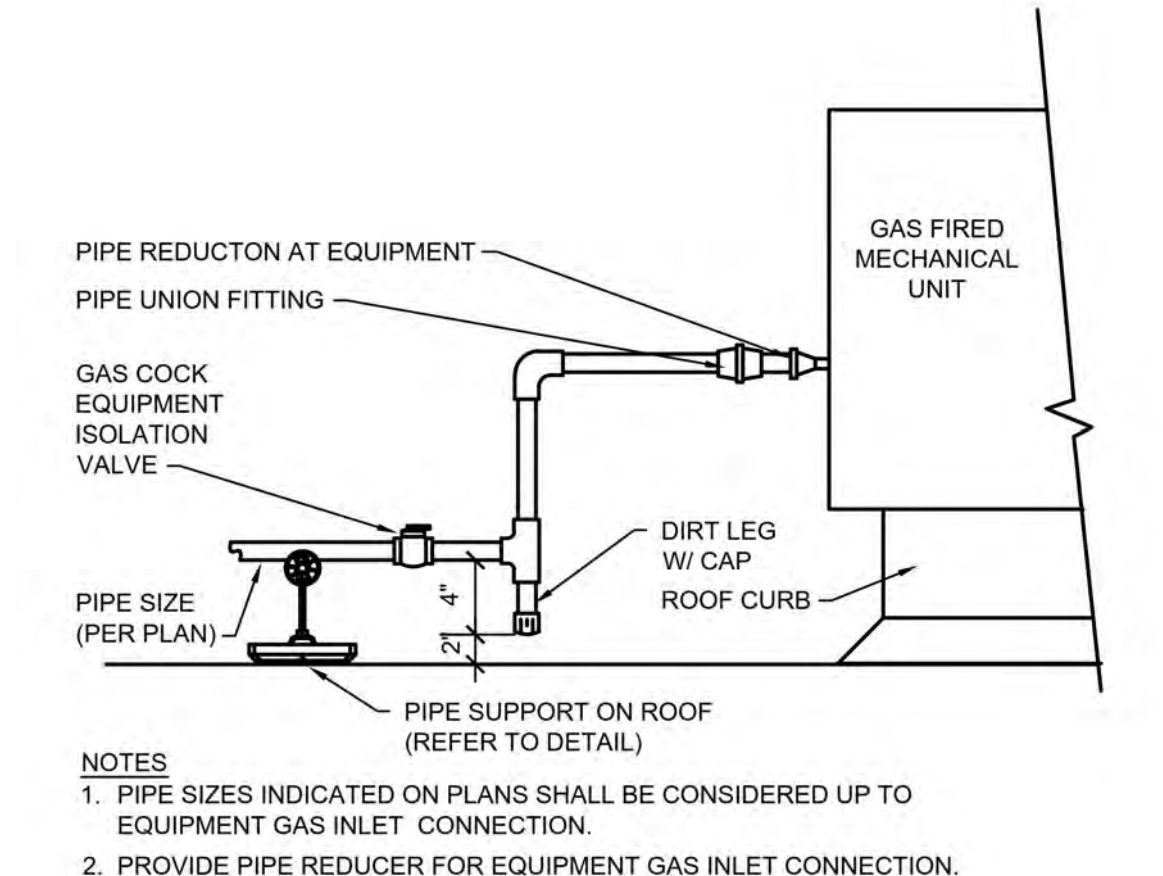
PLUMBING NOTES

- PLUMBING CONTRACTOR SHALL BE RESPONSIBLE TO FURNISH AND INSTALL ALL WATER DISTRIBUTION PIPING, SANITARY DRAIN, WASTE AND VENT PIPING, PLUMBING FIXTURES AND EQUIPMENT, AND APPURTENANCES AS IS NECESSARY FOR A PLUMBING SYSTEM, COMPLETE IN PLACE.
 - ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LOCAL ADOPTED PLUMBING CODE AND ALL APPLICABLE REGULATIONS.
 - CONTRACTOR SHALL VERIFY LOCATION OF EXISTING UTILITIES IN FIELD. ROUTE CONDENSATE LINES FOR ROOFTOP UNITS TO LOCAL DRAIN AS REQUIRED BY LOCAL CODE.
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 - VERIFY WITH ARCHITECTURAL DRAWINGS BEFORE INSTALLING ROUGH IN FOR PLUMBING FIXTURES. FIELD VERIFY ALL DIMENSIONS.
 - SEE SITE PLAN FOR THE EXTENT OF ALL PIPING LEAVING AND ENTERING THE BUILDING. SLOPES AND INVERT ELEVATIONS OF SEWERS, MANHOLES, ETC. SHALL BE ESTABLISHED AND VERIFIED BEFORE ANY PIPING IS INSTALLED TO INSURE THAT PROPER SLOPES WILL BE MAINTAINED AND NECESSARY INVERT ELEVATIONS MET.
 - COORDINATE THE LOCATION OF ALL PIPING WITH DUCTWORK, LIGHTS, ETC.
 - ALL PENETRATIONS OF FIRE RATED WALLS, FLOORS, OR CEILING BY WORK UNDER THIS DIVISION SHALL BE SEALED WITH MATERIAL OR PRODUCT LISTED FOR APPLICATION.
 - CONTRACTOR SHALL PROVIDE ALL VALVES, PRESSURE REDUCING STATION, SHOCK ABSORBERS, ACCESSORIES, EQUIPMENT, P-TRAPS, STRAINERS, ETC. TO PROVIDE A COMPLETE INSTALLATION.
 - MAKE PROPER HW, CW, HWR, W, V, FCO, ETC PIPING CONNECTIONS TO ALL FIXTURES AND EQUIPMENT. PROVIDE WATER STOP VALVES AT EACH EQUIPMENT ITEM.
 - PROVIDE PVC SLEEVE FOR PIPING PENETRATIONS OF MASONRY OR CONCRETE FLOORS AND WALLS. PACK AND SEAL PENETRATIONS MOISTURE TIGHT.
 - DIELECTRIC UNIONS SHALL BE INSTALLED WHERE PIPE OF DIFFERENT METALS ARE JOINED.
 - CLEANOUTS FOR SOIL AND WASTE LINES SHALL BE INSTALLED WHERE INDICATED ON DRAWINGS, AND EVERY 90 DEGREE CHANGE IN DIRECTION OR AS REQ'D BY LOCAL CODE
 - ALL FLOOR DRAINS AND OPEN HUB DRAINS SHALL BE INSTALLED WITH DEEP SEAL P-TRAPS. PROVIDE TRAP PRIMERS WHERE SHOWN ON PLANS AND AT ALL LOCATIONS REQUIRED BY CODE AND LOCAL AUTHORITY (CONTRACTOR TO VERIFY).
 - SUPPLIES, TRAPS AND WASTES FROM ACCESSIBLE LAVATORIES AND SINKS MUST BE FURNISHED WITH INSULATED PROTECTIVE COVERS.
- REFER TO SHEET A1-EQUIPMENT PLAN FOR MASTER EQUIPMENT LIST.
- RUN COOLER CONDENSATE LINE ALONG WALL AND DRAIN INTO FD-1.

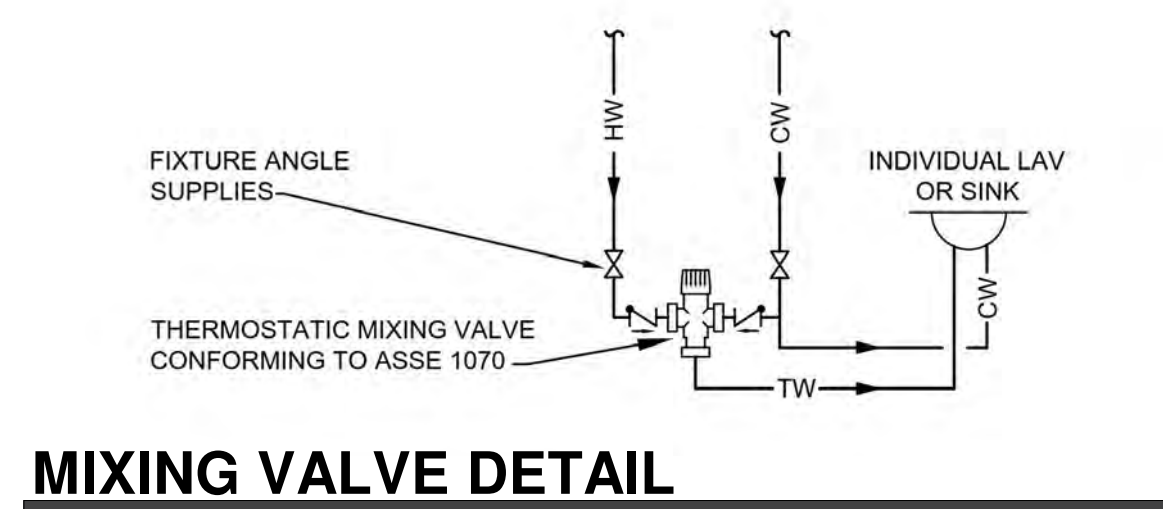
PLUMBING LEGEND

MARK	DESCRIPTION	SYMBOL	DESCRIPTION
---	FWC	---	FILTERED COLD WATER SUPPLY CPVC, PEX, OR COPPER (TYPE 'L' ABOVE GROUND/TYPE 'K' UNDERGROUND)
FCO	FLOOR CLEANOUT JONES C-59 SERIES CLEANOUT W/ BRASS TOP	---	---
CO	CLEANOUT	---	---
FD-1	FLOOR DRAIN ZURN MODEL Z-415-B (SEE PER PLAN)	---	---
SH-1	NEW SHOWER BY G.C.	---	---
FS-1	FLOOR SINK ZURN MODEL Z-1901-SANI-FLOOR RECEPTOR	---	---
GT-1	GREASE TRAP ZURN GT2700-50 OR APPROVED EQUAL	---	---
L-1	LAVATORY REFER TO EQUIPMENT PLAN	---	---
MV-1	MIXING VALVE (ASSE 1070 APPROVED) WATTS USG-B, REFER TO NOTE 2	---	---
PRBP-1	PRESSURE REDUCING BACKFLOW PREVENTER AS REQ'D BY LOCAL CODE- WATTS OR EQUAL	---	---
SS-1	SERVICE SINK REFER TO EQUIPMENT PLAN	---	---
WM-1	WASHING MACHINE REFER TO EQUIPMENT PLAN	---	---
WC-1	WATER CLOSET REFER TO EQUIPMENT PLAN	---	---
WH-1	WATER HEATER RHEEM TANKLESS GAS RTG-84DVLN OR APPROVED EQUAL SIZE SHALL MEET DEMAND & LOCAL REQUIREMENTS.	---	---
EWC-1	ELECTRIC WATER COOLER REFER TO EQUIPMENT PLAN	---	---
---	CW	---	COLD WATER SUPPLY CPVC, PEX, OR COPPER (TYPE 'L' ABOVE GROUND/TYPE 'K' UNDERGROUND)

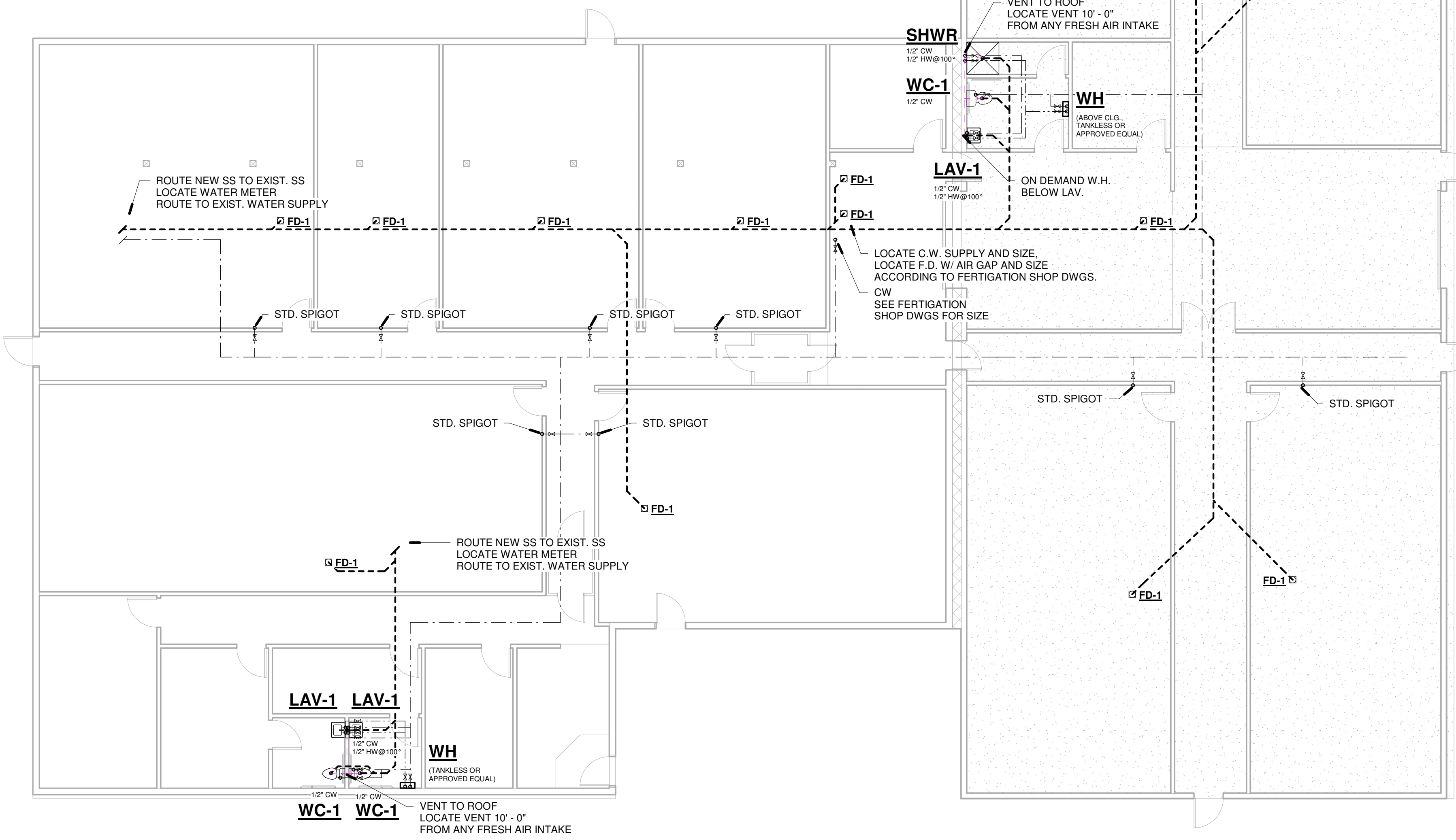
- REFER TO SHEET EQUIPMENT PLAN FOR EQUIPMENT LIST
- TEMPERED WATER SHALL BE DELIVERED FROM PUBLIC HAND-WASHING FACILITIES THROUGH AN APPROVED WATER TEMPERATURE LIMITING DEVICE THAT CONFORMS TO ASSE 1070.
- PROVIDE INDIRECT (1" AIR GAP) TO A FLOOR SINK AS REQUIRED BY CODE. INSTALL FLUSH WITH FLOOR & LOCATE AS TO BE READILY ACCESSIBLE FOR CLEANING AND REPAIR.
- PROVIDE INTEGRAL ATMOSPHERIC VACUUM BREAKER FAUCET. MUST PROVIDE MIN. 120°F WATER TO ALL SINKS.
- PLUMBING CONTRACTOR SHALL BE RESPONSIBLE TO FURNISH AND INSTALL ALL WATER DISTRIBUTION PIPING, SANITARY DRAIN, WASTE AND VENT PIPING, PLUMBING FIXTURES AND EQUIPMENT, AND APPURTENANCES AS IS NECESSARY FOR A PLUMBING SYSTEM, COMPLETE IN PLACE.
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GAS EQUIP. CONNECTION DETAIL



MIXING VALVE DETAIL



WATER AND GAS PLAN
1/8" = 1'-0"



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NOTES

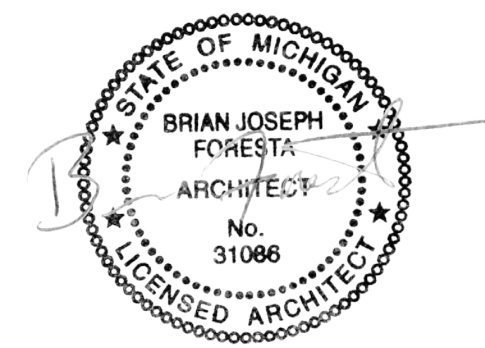
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PROJECT

21140B

GROW FACILITY
1007 INDUSTRIAL BLVD. ALBION, MI 49224

SEAL



DATE

11/08/2021	NO.	DESCRIPTION	DATE
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PERMIT

SHEET NAME

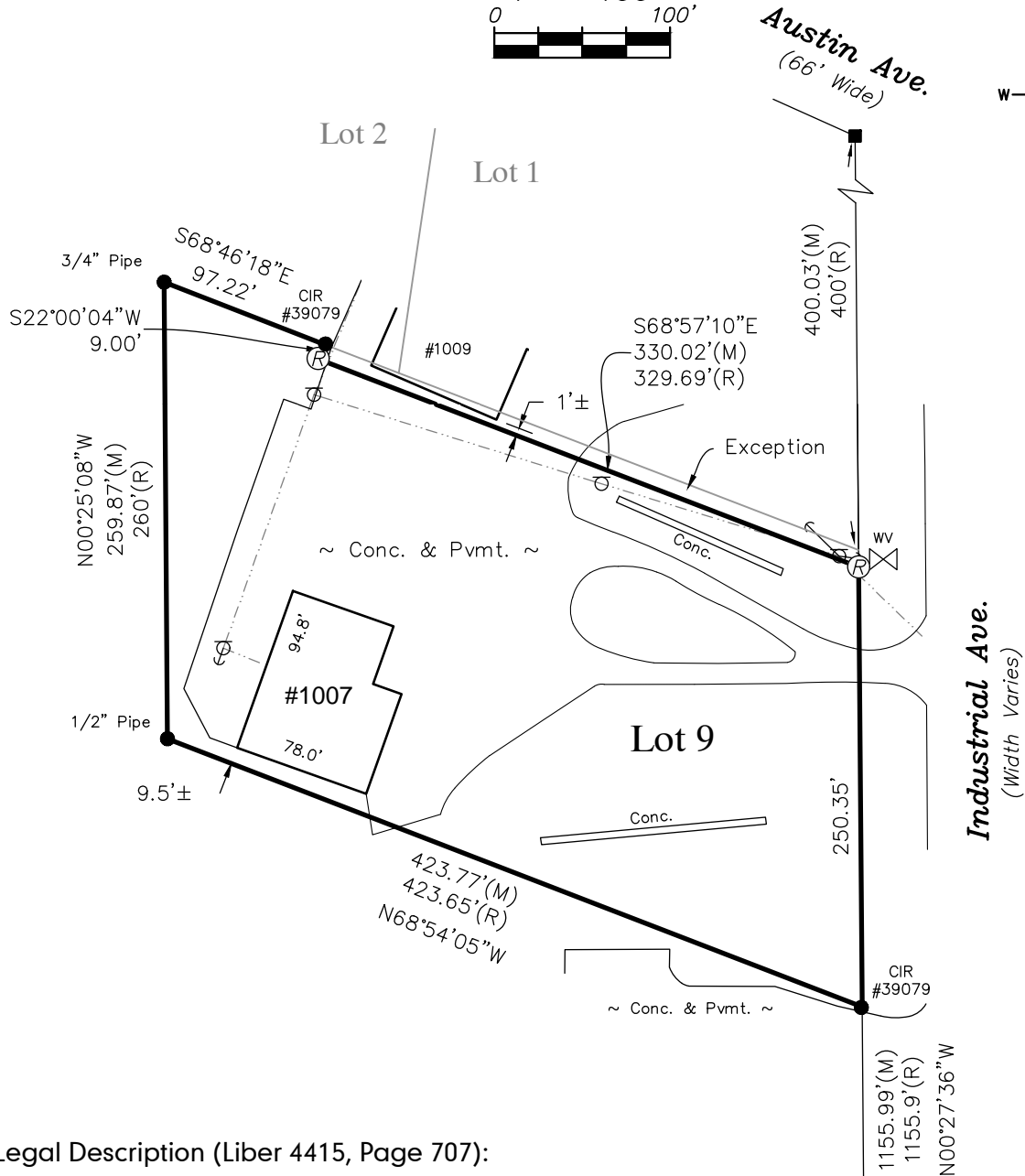
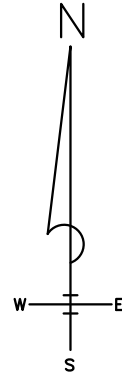
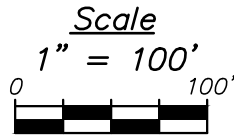
WATER AND GAS PLAN
SHEET #

P1

Lot Survey

Part of Lot 9 of Industrial Park
 NE 1/4 Sec. 33, T2S, R4W
 City of Albion, Calhoun County, MI

For:
 Michael J. Blum



Legal Description (Liber 4415, Page 707):

Albion City, Industrial Park Subdivision, Lot 9, Except beginning at the Southeast Corner of Lot 1, thence South along the East line of Lot 9, 9.68 feet, thence North 68°26'15" West parallel with and 9.0 feet South of the North line of Lot 9, 329.69 feet, thence North 22°23'53"E 9.0 feet, thence South 6826'15"E along the South line of Lot 2 and 1, 326.00 feet to the Point of Beginning.

Legend

- -- Found Plat Monument
- -- Found Iron
- Ⓡ -- Set Rebar W/ Cap "DEE 29245"
- (R) -- Record
- (M) -- Measured

Note

All Dimensions are Measured Unless Otherwise Noted

Basis of Bearings

State Plane Coordinate System
 Michigan South Zone 2113
 NAD83 2011 Geoid 12AUS

JOB # : 2021.4701		910 Fifth Street Michigan Center, MI 49254 517-764-0440 sheridansurveying.com	PROFESSIONAL SURVEYOR #29245
DRAWN : RST			
DATE : 11-4-21	I HEREBY CERTIFY TO THE PARTY NAMED HEREON, THAT I HAVE SURVEYED THE PARCEL OF LAND AS ABOVE SHOWN OR DESCRIBED ON 11-3-21 AND THAT THE RELATIVE POSITIONAL PRECISION IS WITHIN LIMITS ACCEPTED BY THE PRACTICE OF PROFESSIONAL SURVEYING.		
SCALE : 1" = 100'			
PAGE : 1 OF 1			

Lot 2

Site TBM

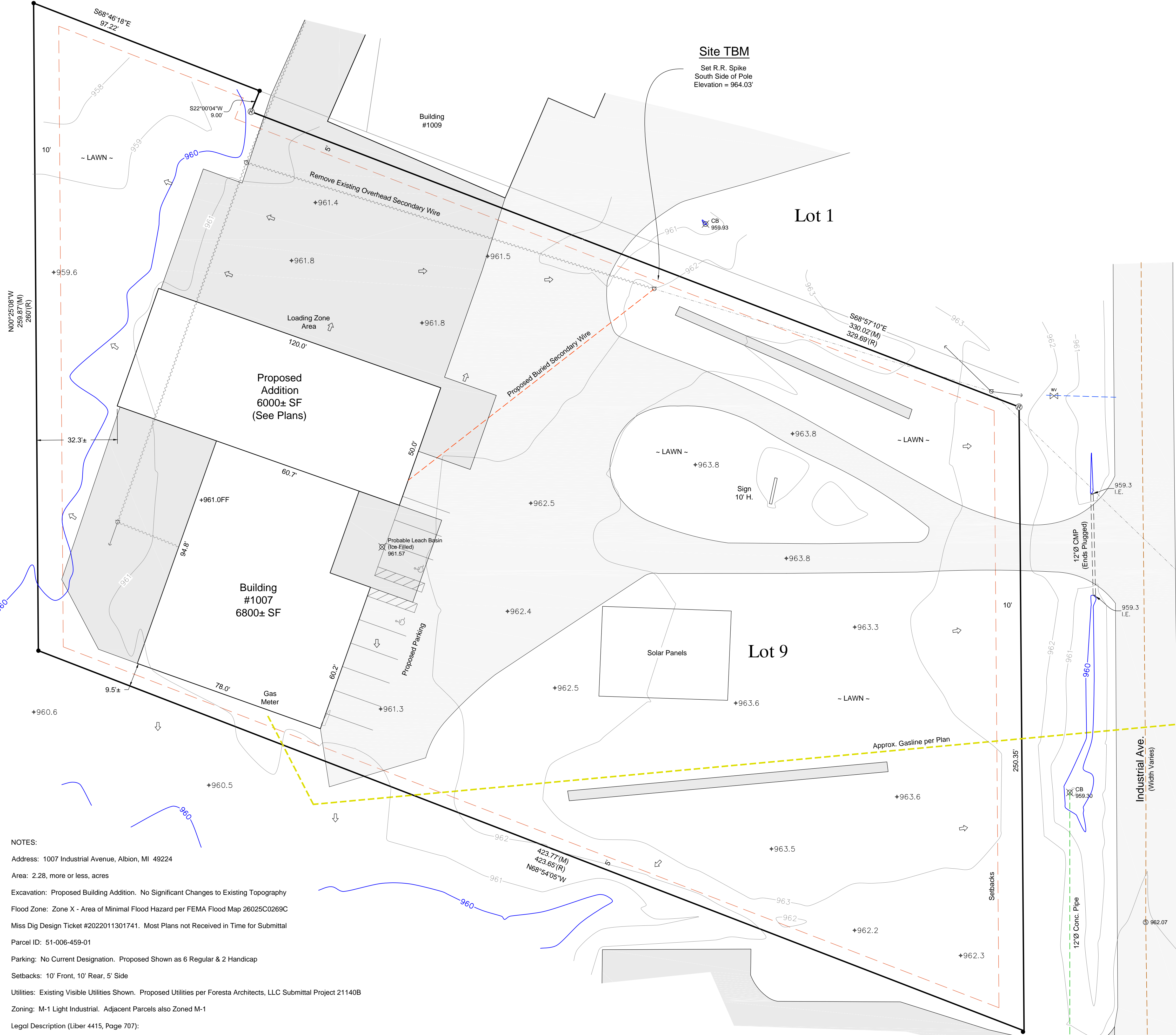
Set R.R. Spike
South Side of Pole
Elevation = 964.03'

Lot 1

Lot 9

Proposed Addition
6000± SF
(See Plans)

Building
#1007
6800± SF



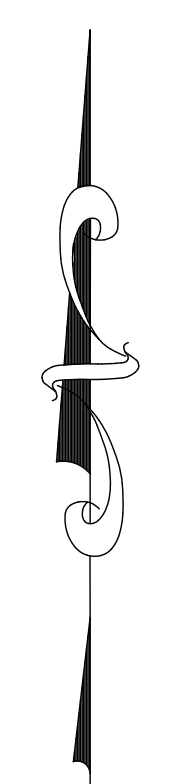
NOTES:

- Address: 1007 Industrial Avenue, Albion, MI 49224
- Area: 2.28, more or less, acres
- Excavation: Proposed Building Addition. No Significant Changes to Existing Topography
- Flood Zone: Zone X - Area of Minimal Flood Hazard per FEMA Flood Map 26025C0269C
- Miss Dig Design Ticket #2022011301741. Most Plans not Received in Time for Submittal
- Parcel ID: 51-006-459-01
- Parking: No Current Designation. Proposed Shown as 6 Regular & 2 Handicap
- Setbacks: 10' Front, 10' Rear, 5' Side
- Utilities: Existing Visible Utilities Shown. Proposed Utilities per Foresta Architects, LLC Submittal Project 21140B
- Zoning: M-1 Light Industrial. Adjacent Parcels also Zoned M-1
- Legal Description (Liber 4415, Page 707):
Albion City, Industrial Park Subdivision, Lot 9, Except beginning at the Southeast Corner of Lot 1, thence South along the East line of Lot 9, 9.68 feet, thence North 63°26'15" West parallel with and 9.0 feet South of the North line of Lot 9, 329.69 feet, thence North 22°23'53"E 9.0 feet, thence South 48°26'15"E along the South line of Lot 2 and 1, 326.00 feet to the Point of Beginning.



Sec. 33 City of Albion T2S, R4W Calhoun County

LOCATION MAP
NOT TO SCALE



1.0' Contours

BASIS OF BEARINGS

State Plane Coordinate System
Michigan South Zone 2113
NAD83 2011 Geoid 18

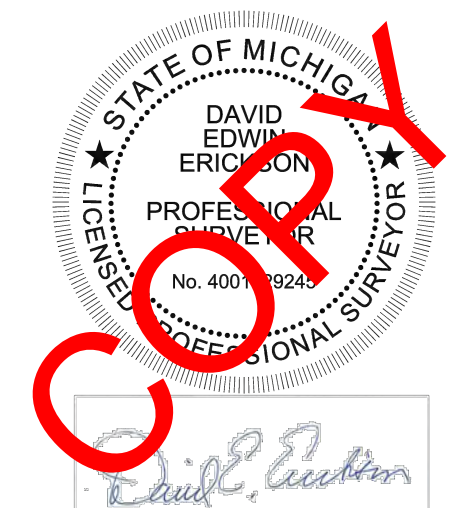
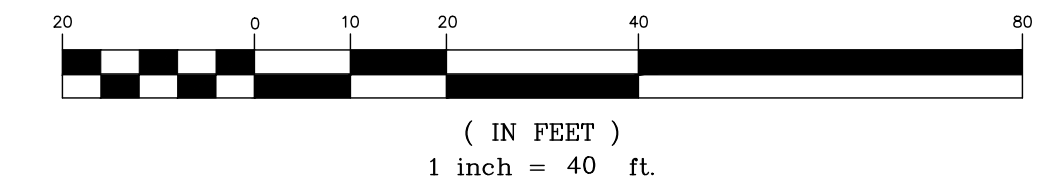
BASIS OF ELEVATION

MDOT CORS VRS Network - NAVD 88

LEGEND

- Found Survey Marker
- ⊗ Set Rebar w/ Cap #29245
- (R) Record
- (M) Measured
- ⊗ Catch Basin
- ↗ Surface Drainage
- ⊠ Riser Box
- ⊕ Sign
- ⊕ Utility Pole & Guy Anchor
- Fence
- Gas Line
- Overhead Wires - Existing
- Overhead Wires - to be Removed
- Sanitary Sewer
- Water Line
- ▭ Concrete
- ▭ Pavement

GRAPHIC SCALE



SSC SHERIDAN SURVEYING CO.
910 Fifth Street Michigan Center, MI 49254
517-764-0440 sheridansurveying.com

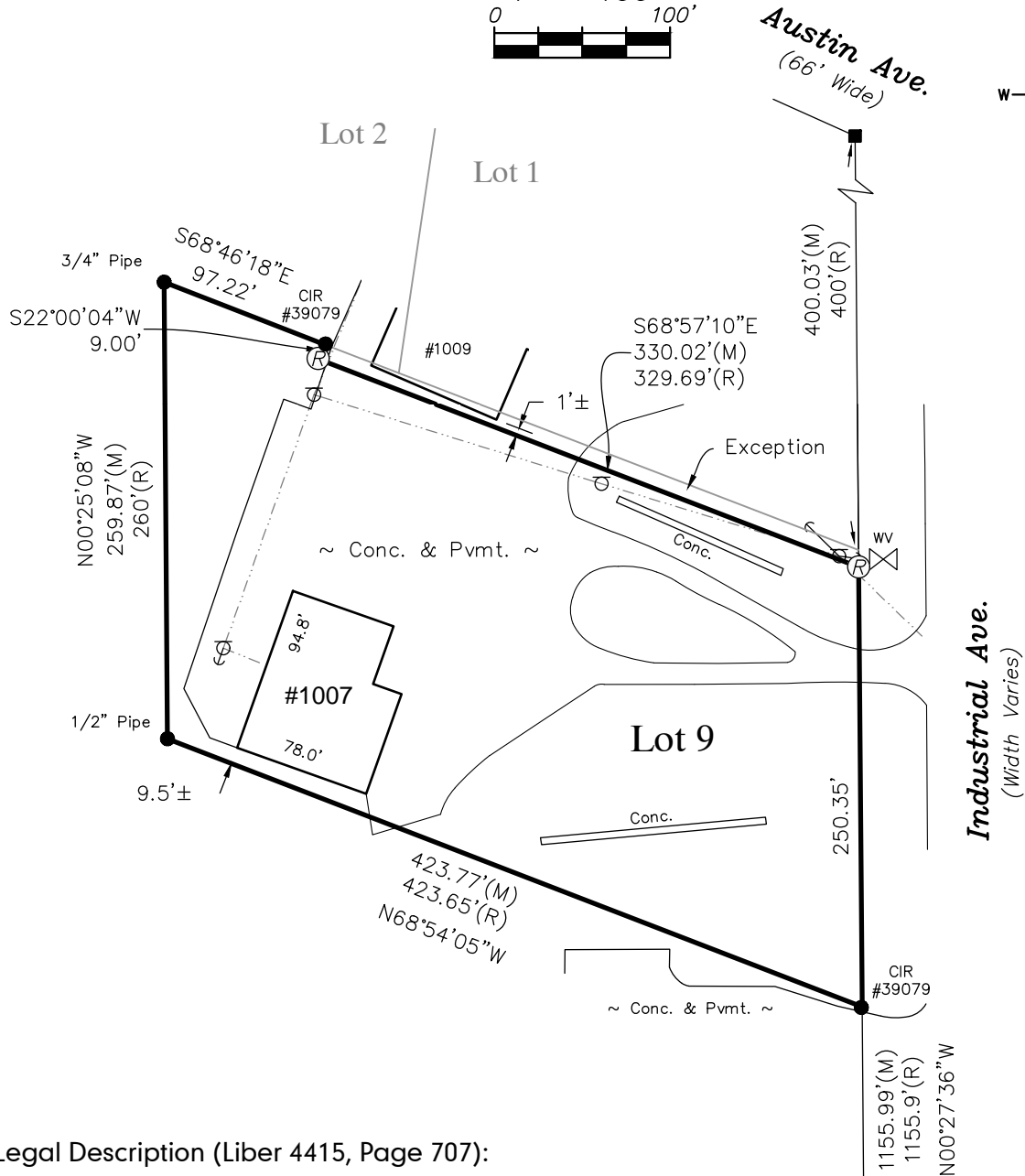
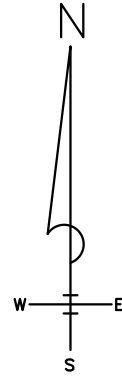
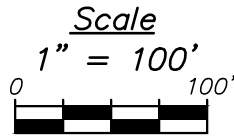
DRN.	RST	1-14-22			
FLD.	DEE	1-14-22			
FLD. BK.	#136				
CLIENT	Tarek Mazloun	REV.	DATE	DESCRIPTION	BY

Sec. 33 City of Albion		RX Operations 1007 Industrial Avenue		T2S, R4W Calhoun County
SCALE: 1" = 20'	DRAWING NO. 2022.4749	SHEET 1	REV.	
SSC FILENAME: 4749.DWG				

Lot Survey

Part of Lot 9 of Industrial Park
 NE 1/4 Sec. 33, T2S, R4W
 City of Albion, Calhoun County, MI

For:
 Michael J. Blum



Legal Description (Liber 4415, Page 707):

Albion City, Industrial Park Subdivision, Lot 9, Except beginning at the Southeast Corner of Lot 1, thence South along the East line of Lot 9, 9.68 feet, thence North 68°26'15" West parallel with and 9.0 feet South of the North line of Lot 9, 329.69 feet, thence North 22°23'53"E 9.0 feet, thence South 6826'15"E along the South line of Lot 2 and 1, 326.00 feet to the Point of Beginning.

Legend

- --- Found Plat Monument
- --- Found Iron
- Ⓡ --- Set Rebar W/ Cap "DEE 29245"
- (R) --- Record
- (M) --- Measured

Note

All Dimensions are Measured Unless Otherwise Noted

Basis of Bearings

State Plane Coordinate System
 Michigan South Zone 2113
 NAD83 2011 Geoid 12AUS

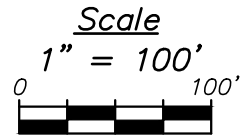
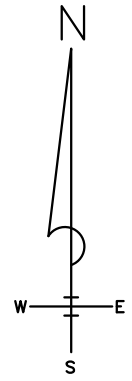
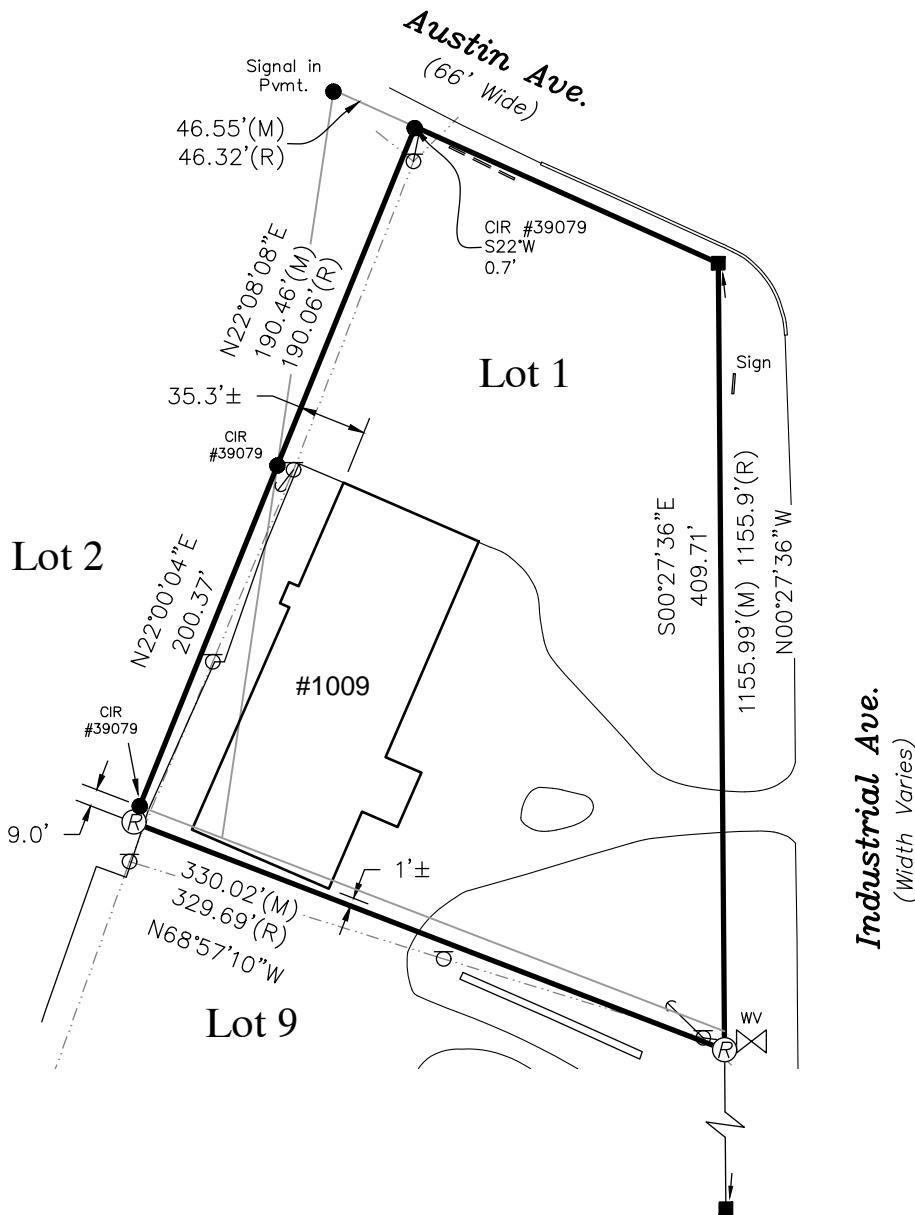
COPY

JOB # : 2021.4701	SSC SHERIDAN SURVEYING CO.	
DRAWN : RST	910 Fifth Street Michigan Center, MI 49254	PROFESSIONAL SURVEYOR #29245
DATE : 11-4-21	517-764-0440 sheridansurveying.com	
SCALE : 1" = 100'	I HEREBY CERTIFY TO THE PARTY NAMED HEREON, THAT I HAVE SURVEYED THE PARCEL OF LAND AS ABOVE SHOWN OR DESCRIBED ON 11-3-21 AND THAT THE RELATIVE POSITIONAL PRECISION IS WITHIN LIMITS ACCEPTED BY THE PRACTICE OF PROFESSIONAL SURVEYING.	
PAGE : 1 OF 1		

Lot Survey

Part of Lot 1, 2 & 9 of Industrial Park
 NE 1/4 Sec. 33, T2S, R4W
 City of Albion, Calhoun County, MI

For:
 Michael J. Blum



Legal Description (Liber 4028, Page 804):

Albion City, Industrial Park Subdivision, Lot 1, Except beginning at the Northwest Corner of Lot 1, thence S08°50'11"W along the West line of said Lot 1, 197.38 feet, thence N22°23'53"E 190.06 feet to the North line of said Lot 1, thence N65°21'00"W along said North line, 46.32 feet to the Point of Beginning. Also, that part of Lot 2 described as beginning at the Southwest Corner of Lot 1, thence N68°23'15"W along the South line of Lot 2, 46 feet, thence N22°23'53"E 191.31 feet to the West Line of said Lot 1, thence S8°50'11"W along said West line, 196.15 feet to Point of Beginning; Also that part of Lot 9 described as beginning at the Southeast Corner of Lot 1, thence South along the East line of Lot 9, 9.68 feet, thence N68°26'15"W parallel with & 9.0 feet South of the North line of Lot 9, 329.69 feet, thence N22°23'53"E 9 feet, thence S68°26'15"E along the South Line of Lot 2 and Lot 1 326.00 feet to point of beginning.

Legend

- --- Found Plat Monument
- --- Found Iron
- Ⓡ --- Set Rebar W/ Cap "DEE 29245"
- (R) --- Record
- (M) --- Measured

Note

All Dimensions are Measured Unless Otherwise Noted

Basis of Bearings

State Plane Coordinate System
 Michigan South Zone 2113
 NAD83 2011 Geoid 12AUS

COPY

JOB # : 2021.4701A	SSC SHERIDAN SURVEYING CO.	
DRAWN : RST	910 Fifth Street Michigan Center, MI 49254	PROFESSIONAL SURVEYOR #29245
DATE : 11-4-21	517-764-0440 sheridansurveying.com	
SCALE : 1" = 100'	I HEREBY CERTIFY TO THE PARTY NAMED HEREON, THAT I HAVE SURVEYED THE PARCEL OF LAND AS ABOVE SHOWN OR DESCRIBED ON 11-3-21 AND THAT THE RELATIVE POSITIONAL PRECISION IS WITHIN LIMITS ACCEPTED BY THE PRACTICE OF PROFESSIONAL SURVEYING.	
PAGE : 1 OF 1		

whose address is 5720 Pontiac Trail, Orchard Lake, 48322;
Quit Claim to HMF M Holdings, LLC
whose address is 5720 Pontiac Trail, Orchard Lake, 48322;
of Albion County of Calhoun
the following described premises situated in the city
and State of Michigan, to-wit:

see exhibit A
also known as property address: 100M
Industrial Ave, Albion, MI 49224
Parcel ID NO: 51-006-459-01

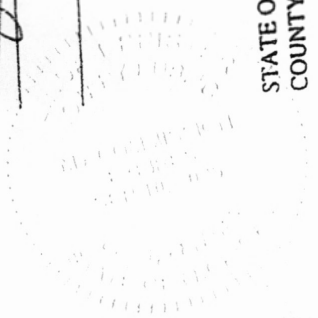
together with all and singular the tenements, hereditaments and appurtenances thereunto belonging or
in anywise appertaining, for the sum of

Dated this 8th day of December 19 2021

Signed by:

Signed in the presence of:

[Signature] Haitham Masci
[Signature] Mikee of
[Signature] M. Saad Holdings, LLC,
Notary Public - State of Michigan
County of Wayne
My Commission Expires Sep 10, 2025
Acting in the County of Wayne
STATE OF MICHIGAN
COUNTY OF
The foregoing instrument was acknowledged before me this 8th day of February 2022 by Linda Prister
Notary Public,
County, Michigan



My Commission expires September 10, 2025
When Recorded Return To: _____
Send Subsequent Tax Bills To: _____
Drafted by: _____
Business Address: _____
Tax Parcel # _____
Recording Fee _____
Revenue Stamps _____

**AFFIDAVIT
ATTORNEY**

LIBER 4576

PAGE 0756

13-21771090-CAN

WARRANTY DEED

KNOW ALL PERSONS BY THESE PRESENTS: That: Hydra Real Estate Development, LLC, a Michigan limited liability company, ("Grantor")

the address of which is: 2207 Orchard Lake Road, Sylvan Lake, MI 48320

convey(s) and warrant(s) to: Irsam Holdings LLC, a Michigan limited liability company, ("Grantee")

the address of which is: 5720 Pontiac Trail, Orchard Lake, MI 48323

the following described premises situated in the City of Albion, County of Calhoun, State of Michigan, to wit:

SEE EXHIBIT A

also known as Property Address: 1007 Industrial Avenue, Albion, MI 49224

Parcel ID No.: 51-006-459-01

together with all and singular the tenements, hereditaments and appurtenances thereunto belonging or in anywise appertaining, REAL ESTATE TRANSFER VALUATION AFFIDAVIT FILED.

Subject to zoning ordinances, building and use restrictions, if any, and easements of record.

When Recorded return to:
Irsam Holdings LLC
5720 Pontiac Trail
Orchard Lake, MI 48323

5-(3)30

Send Subsequent Tax Bills To:
Grantee

Drafted By:
Hydra Real Estate Development
Jeffrey Yatooma
2207 Orchard Lake Road
Sylvan Lake, MI 48320
Assisted by: ATA National Title Group,
LLC



STATE OF MICHIGAN - CALHOUN COUNTY
FILED
09/01/2021 08:43:24 AM
KIMBERLY A. HINKLEY, CLERK/REGISTER OF DEEDS

12175
9/1/21

City of Albion

Department of Planning and Building
112 West Cass Street
Albion, Michigan 49224

Phone: (517)-629-7189
Email: larnold@cityofalbionmi.gov



Report to Planning Commission – March 9, 2022 1007 Industrial Drive, Application for Site Plan Review

Background:

Herein is the Department of Planning and Building's recommendation on the Site Plan review application submitted for a Marihuana growing facility to be constructed at 1007 Industrial Drive by Tarek Mazloum of BRT Capital. This use is permitted under the City of Albion Zoning Ordinance for M-1 zoned parcels. The applicant has not at the time of writing this recommendation provided lot setback information, though there are no immediate issues with the size of the structure.

I have met with Mr. Mazloum on several occasions prior to his submittal of application for Site Plan Review. The application and site plan have been received, below are the outstanding data required for site plan review.

Ch 100. Sec 5.3 Site Plan Data Required.

10. Insufficient information provided to show lot setbacks and the plans compliance to those setbacks.

17. Existing parking and additional parking need shown.

18. Existing loading area and additional loading area need shown.

I am waiting to receive recommendations from the City Engineer, Building Official, Director of Public Works, and Chief of Public Safety. I did not solicit recommendations from them with enough lead time to provide their questions in this report. Provided that the applicant can satisfy the outstanding application materials, and provided the parties solicited for review provide no additional deficiencies, the application can be considered complete as of the March 15th Planning Commission meeting.

If there are additional deficiencies, or if the applicant cannot provide materials to satisfy those I've listed above, then we cannot consider the application complete for our review.

Recommendation:

The Department of Planning and Building recommends conditional approval contingent upon satisfaction of application materials and any relevant questions raised by solicited parties. If these conditions are met at the time of the Planning Commission's March 15th meeting, approval should be granted. If these conditions are not met, then approval should be reconsidered at the April Planning Commission meeting.